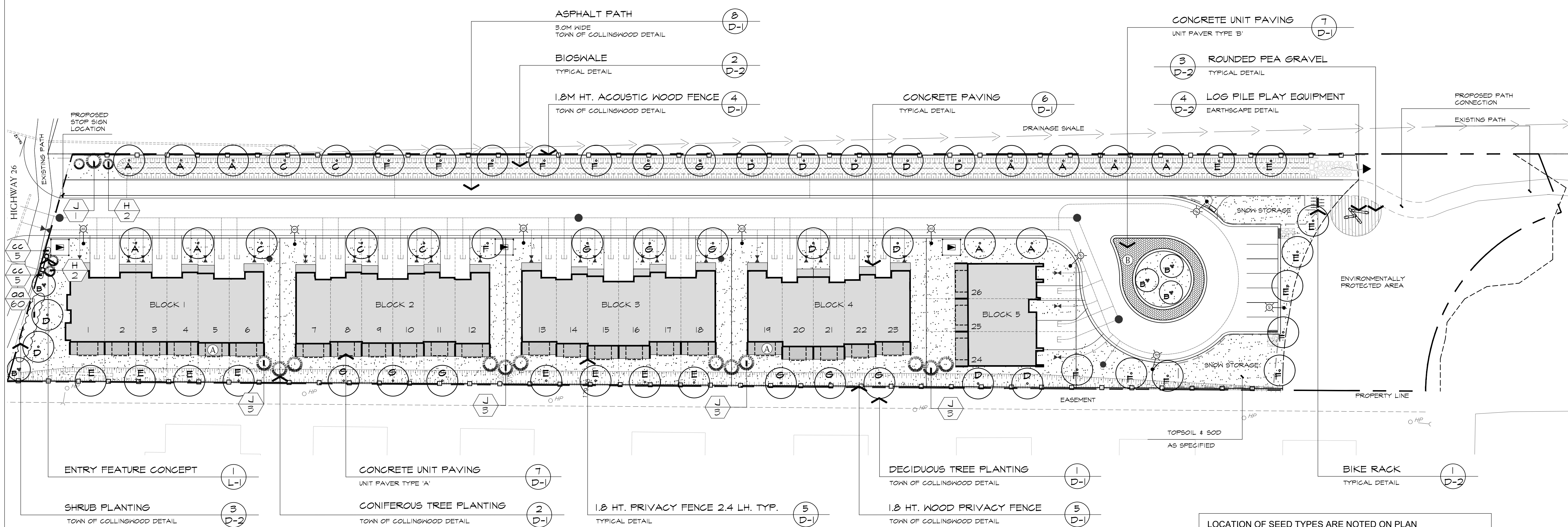


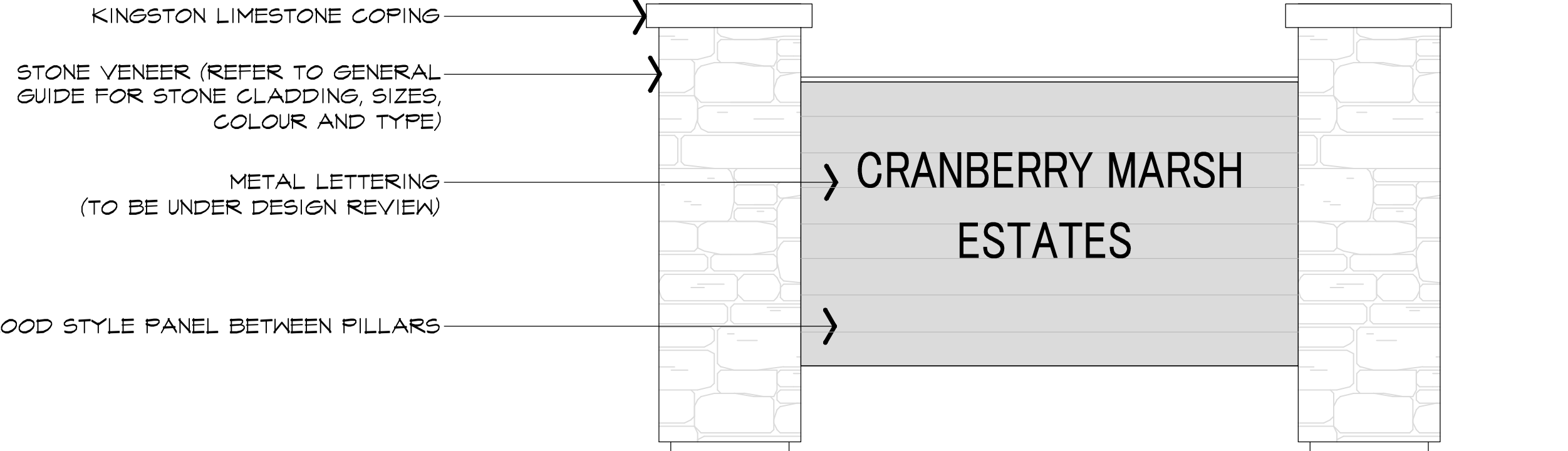


CONCRETE UNIT PAVER - TYPE 'A' (A)
MANUFACTURE: UNILOCK
STYLE: UMBRIANO
SIZE: RANDOM BUNDLE 6cm
PATTERN: UMBRIANO RANDOM B
COLOUR: SUMMER WHEAT

CONCRETE UNIT PAVER - TYPE 'B' (B)
MANUFACTURE: UNILOCK
STYLE: TOWN HALL PAVERS
SIZE: 4" X 12"
PATTERN: HERRINGBONE
COLOUR: BASALT

GENERAL GUIDE FOR STONE CLADDING:

	OVERALL PERCENTAGE BREAKDOWN FOR SIZES	REQUIRED SIZE	SIZES BREAKDOWN IN PERCENTAGE PER NATURAL STONE
LEDGESTONE	60%	2"-4"	80% KINGSTON LIMESTONE 20% KINGSTON HUE SANDSTONE - LANDSDOWNE BUFF
	40%	5"-8"	



1 ENTRY FEATURE CONCEPT
NOTE: CONTRACTOR RESPONSIBLE FOR PROVIDING SHOP DRAWINGS STAMPED BY A STRUCTURAL ENGINEER FOR FINAL APPROVAL BY LANDSCAPE ARCHITECT. STRUCTURAL WORKS TO BE REVIEWED AND CERTIFIED BY THE DESIGN ENGINEER.

NTS

PLANT LIST

KEY QUANTITY		BOTANICAL NAME	COMMON NAME	GALIPER	HEIGHT	SPREAD	ROOT	REMARKS	SPACING
DECIDUOUS TREES									
A	11	ACER X FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
B	5	AMELANCHIER CANADENSIS	SERVICEBERRY	3 X 50mm	3500mm	1500mm	W.B.	MULTI-STEM	----
C	5	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR TREE	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
D	11	QUERCUS TRIACANTHOS 'STREET KEEPER'	STREET KEEPER HONEY-LOCUST	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
E	13	CELTIS OCCIDENTALIS	HACKBERRY	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
F	11	QUERCUS RUBRA	RED OAK	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
G	11	TILIA AMERICANA	BASSWOOD	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
CONIFEROUS TREES									
H	4	THUJA OCCIDENTALIS 'DEGROOT'S SPIRE'	DEGROOT'S SPIRE CEDAR	----	2500mm	800mm	W.B.	SPECIMEN	----
J	13	PINUS STROBUS	EASTERN WHITE PINE	----	3500mm	1000mm	W.B.	SPECIMEN	----
DECIDUOUS SHRUBS AND PERENNIALS									
60	60	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	----	----	----	3 gal. POT MIN. 2 YRS. 6TH.	----	----
10	10	SEDUM 'AUTUMN JOY'	AUTUMN JOY STONECROP	----	----	----	3 gal. POT MIN. 2 YRS. 6TH.	----	----

PROJECT NAME: 11589 HIGHWAY 26
CRANBERRY MARSH ESTATES - (ABAL 3523)
In the event of a discrepancy between the planting plan and the plant list quantities, the planting plan shall govern.

LOCATION OF SEED TYPES ARE NOTED ON PLAN
SEED WITH THE FOLLOWING SEED MIXTURES
AS SUPPLIED BY ONTARIO SEED COMPANY (1-800-465-5849)
OR APPROVED EQUAL

OSC # 8175 - FACW WETLAND SEED MIXTURE

REBB'S SEDGE (Carex bebbii)	1%
BLUE LOBELIA (Lobelia siphilica)	1%
BLUE VERVAIN (Verbena hastata)	4%
BLUNT BROOM SEDGE (Carex scoparia)	1%
BONSET (Eupatorium perfoliatum)	1%
FOX SEDGE (Carex vulpinoidea)	25%
GREEN BULRUSH (Scirpus atrovirens)	8%
HEATH ASTER (Aster pilosus)	1%
LURID SEDGE (Carex lurida)	10%
NEW ENGLAND ASTER (Aster novae-angliae)	1%
PURPLE STEMMED ASTER (Aster puniceus)	1%
SOFT RUSH (Juncus effusus)	1%
SPOTTED JOE PYE WEED (Eupatorium maculatum)	1%
SQUARE STEMMED MONKEY FLOWER (Mimulus ringens)	1%
SWAMP MILKWEED (Asclepias incarnata)	1%
TALL MANNA GRASS (Glyceria grandis)	1%
VIRGINIA WILD RYE (Elymus virginicus)	40%
WOOLGRASS (Scirpus cyperinus)	1%

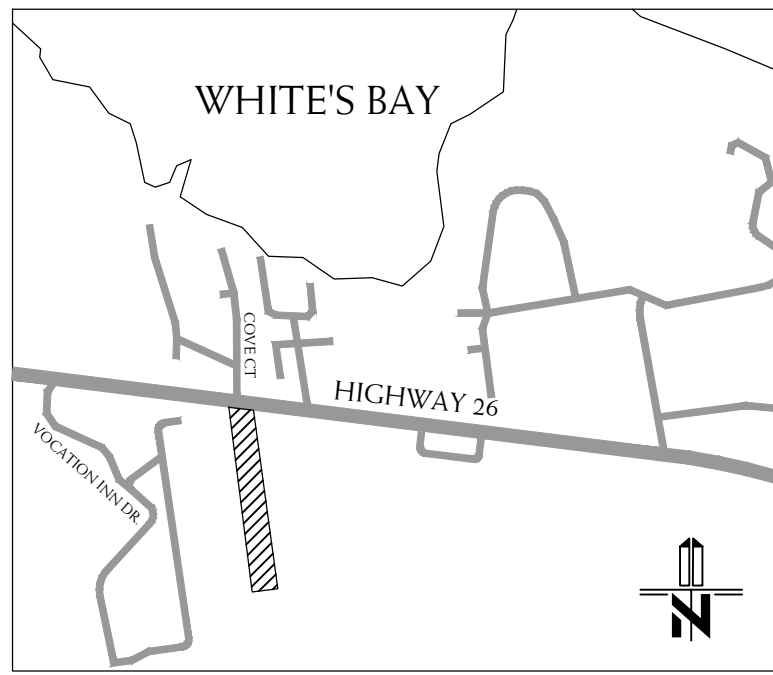
SEED RATE: 22-25 kg/ha

NURSE CROP

ANNUAL RYE GRASS (Lolium multiflorum)
SEED RATE: 28kg/ha

LEGEND

- DECIDUOUS TREE
- MULTI-STEM TREE
- CONIFEROUS TREE
- SHRUBS & PERENNIALS
- SODDED AREA
- SEEDED AREA



BASE INFORMATION OBTAINED ELECTRONICALLY FROM
2LS DESIGN (JOB NO. 2020-14; TEL. 647-456-2828)

1.	DEC 5 2022	ISSUED FOR SUBMISSION	KM /EK
0.	OCT. 22 2021	ISSUED FOR CLIENT REVIEW	NH
no.	date	version	by

All information hereon to be checked and verified at the site and any discrepancies must be reported to and clarified by the landscape architect before commencing work. All drawings, specifications, details, digital information, etc., prepared by the landscape architect are instruments of service and as such are his property and must be returned at his request.

ALEXANDER BUDREVICS
* ASSOCIATES LIMITED
LANDSCAPE ARCHITECTS

895 Don Mills Road, Second Tower, Suite 212
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MEMBER

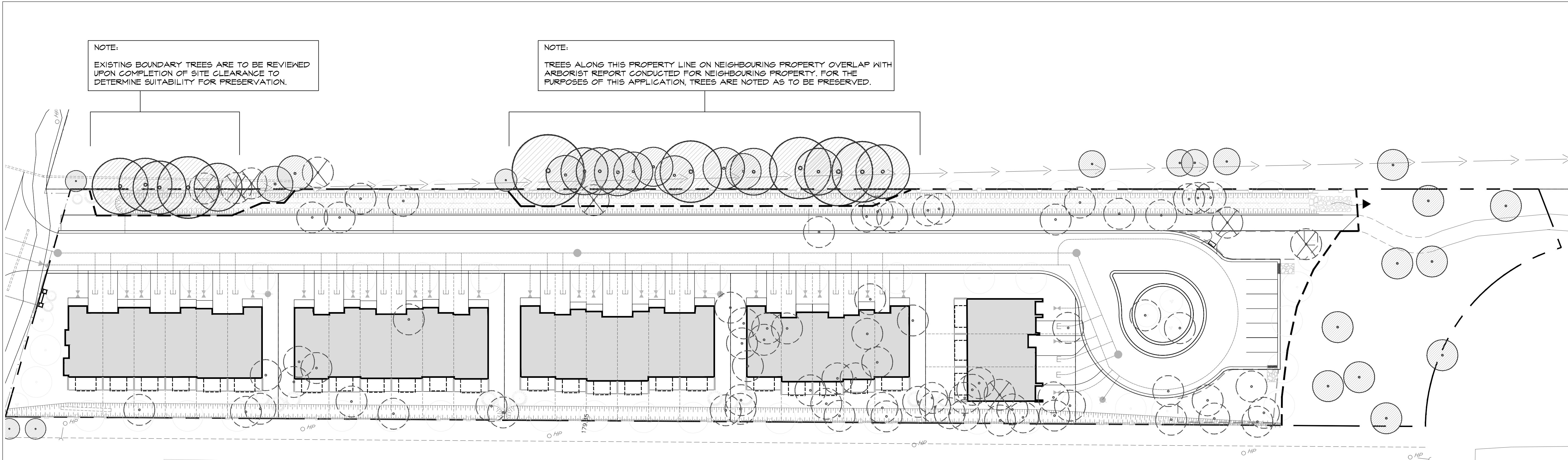
project
11589 HIGHWAY 26
CRANBERRY MARSH ESTATES
HIGHWAY 26
TOWN OF COLLINGWOOD
CRANBERRY MARSH ESTATES

drawing

LANDSCAPE PLAN

date	OCT 20 , 2021	drawn	NH
scale*	1:400	file	3523 L1 V1-221205
direction			
project no.	3523		
sheet no.	L-1		

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (34"x36") SIZE SHEET



ESTABLISH TREE PROTECTION ZONE

The purpose of the tree protection zone (TPZ) is to prevent root damage, soil compaction and soil contamination. Markers and machinery shall not disturb the tree protection zone in any way. To prevent access, the following is required:

- 1.1 Install hoarding as per attached Tree Protection Plan in Appendix I.
- 1.2 Hoarding shall consist of the following: Tree Protection Barriers (See Detail II on sheet D1).
- 1.3 When visibility is a consideration and upon approval from the City, 1.2-meter high orange plastic web snow fencing on a 2"x4" frame is recommended.
- 1.4 No fill, equipment or supplies are to be stored within the tree protection zone.
- 1.5 Activities, which are likely to injure or destroy tree(s), are not permitted within the TPZ.
- 1.6 No objects may be attached to tree(s) within the TPZ.
- 1.7 Tree protection barriers are to be erected prior to the commencement of any construction or grading activities on the site and are to remain in place in good condition throughout the entire duration of the project.
- 1.8 Once all tree/site protection measures have been installed you must notify Urban Forestry staff to arrange for an inspection of the site and approval of the site protection requirements.
- 1.9 All Hoarding shall not be removed until all construction activity is complete.
- 1.10 A sign that is similar to the illustration (see detail sheet D-1, detail II) must be mounted on all sides of a tree protection barrier for the duration of the project. The sign should be a minimum of 40cm x 60cm and made of white gator board, laminates or equivalent material.

TREE PROTECTION ZONE (TPZ)

No grade change, storage of materials or equipment is permitted within the TPZ. The tree protection barrier must not be removed without the written authorization of the Town of Collingwood.

ROOT PRUNING

When working within the tree protection zone, hand dig areas closest to each tree to prevent any unnecessary tearing or pulling of roots. Removal of roots that are greater than 2.5 centimetres in diameter or roots that are injured or diseased should be performed as follows:

- 2.1 Preserve the root bark ridge (similar in structure to the branch bark ridge).
- 2.2 All roots needing to be pruned or removed shall be cut cleanly with sharp hand tools, by a Certified Arborist or by the PCA.
- 2.3 No wound dressings/pruning paint shall be used to cover the ends of each cut.
- 2.4 All roots requiring pruning shall be cut using any of the following tools:
 - Large or small loppers
 - Hand pruners
 - Small hand saws

2.5 Avoid prolonged exposure of tree roots during construction - keep exposed roots moist and dampened with mulching materials, irrigation or wrap in burlap. If exposed for longer than 4 hours.

ESTABLISH MAINTENANCE PROGRAM

All maintenance work must be completed by the approved Project Consulting Arborist or an equivalent qualified arborist.

Pre-Construction:

3.1 Prune trees to remove deadwood, objectionable limbs while maintaining crown form.

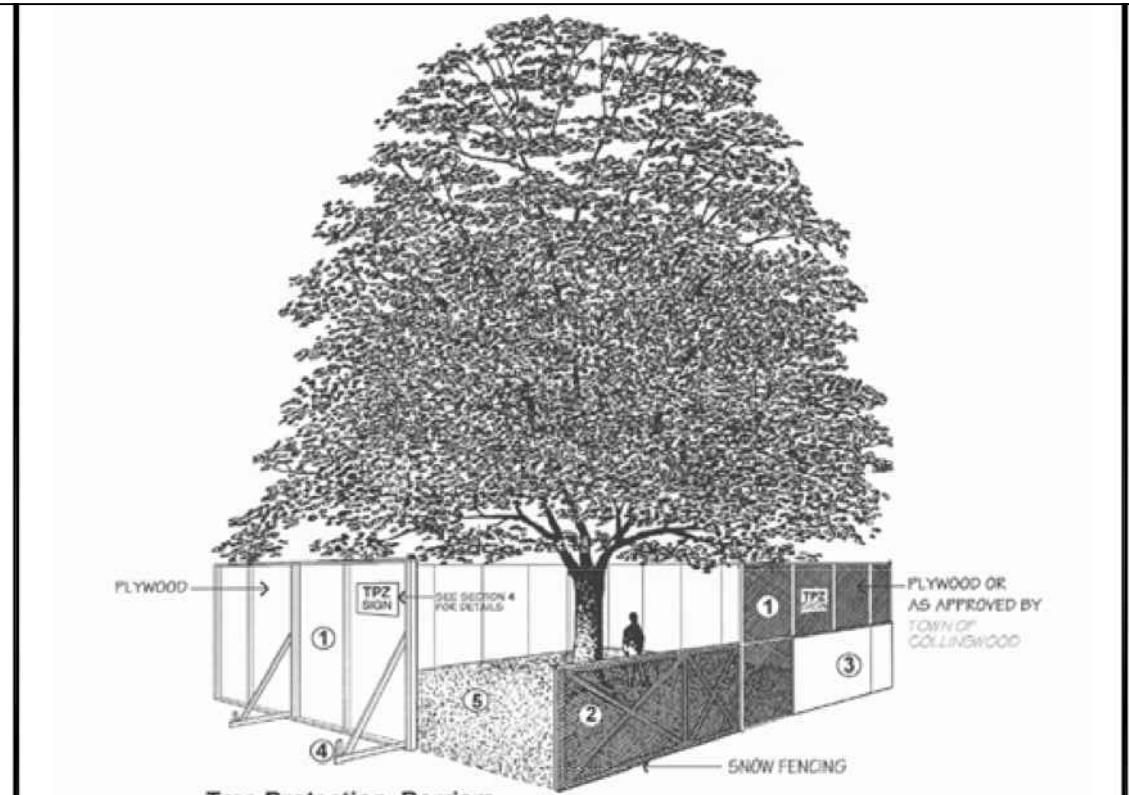
During- Construction:

3.2 Irrigate tree preservation zones during drought conditions, June - September, to reduce drought stress.

3.3 Inspect the site every month to ensure that all hoarding is in place and in good condition. Inspect the trees to monitor condition.

Post-Construction:

3.4 Inspect the trees two times per year - May and September - to monitor condition for a minimum of 2 additional years.



Tree Protection Barriers

- 1 Tree protection barriers must be 2.4m (8ft) high, plywood clad hoarding or an equivalent approved by Town of Collingwood.
- 2 Tree protection barriers for trees situated on road allowance where visibility must be maintained can be 1.2m (4ft) high and consist of orange plastic web snow fencing on a wood frame made of 2"x 4"s.
- 3 Where some excavate or fill has to be temporarily located near a tree protection barrier, plywood must be used to ensure no material enters the Tree Protection Zone.
- 4 All supports and bracing should be outside the Tree Protection Zone. All such supports should minimize damaging roots outside the Tree Protection Barrier.
- 5 No construction activity, grade changes, surface treatment or excavations of any kind is permitted within the Tree Protection Zone.

NO.	REVISION	APRD	DATE
TOWN OF COLLINGWOOD		APRD: EDH	DATE: JAN/03
TREE PROTECTION		DRAWN:	SCALE: NTS
		STD. No.	1110

LANDSCAPING

Any landscaping completed within the tree preservation zones, after construction is completed and hoarding has been removed, cannot cause damage to any of the trees or their roots. The trees must be protected for the same reasons listed above but without using hoarding.

- 4.1 No grade changes are permitted which include adding and/or removing soil.
- 4.2 No excavation is permitted that can cause damage to the roots of the tree.
- 4.3 No heavy equipment can be used to compact the soil within the tree preservation zone.
- 4.4 Any hard surface sidewalks, paths, etc. should be constructed using permeable products such as interlocking stone, etc.

NOTE:
IF REQUIRED TREE PROTECTION HOARDING IS SET UP WITHIN THE TREE PROTECTION ZONE, NO MATERIALS ARE TO BE STORED IN THE VICINITY OF TREE PROTECTION BARRIERS

NOTE:
FOR TREE PRESERVATION PLAN AND TREE INVENTORY, REFER TO ARBORIST REPORT PREPARED BY CANOPY CONSULTING DATED DECEMBER 7, 2021

LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO REMOVE
- EXISTING DEAD TREE
- TREE PROTECTION HOARDING

BASE INFORMATION OBTAINED ELECTRONICALLY FROM
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project
11589 HIGHWAY 26
CRANBERRY MARSH ESTATES
HIGHWAY 26
TOWN OF COLLINGWOOD
CRANBERRY MARSH ESTATES

drawing
TREE PRESERVATION
PLAN

date	OCT 20 , 2021	drawn	NH
scale*	1:400	file	3523 TPPM1-221205
direction			
		project no.	3523
		sheet no.	TPP-1

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (34"x36") SIZE SHEET

SPECIFICATIONS

GENERAL

THESE SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH THE GENERAL CONDITIONS OF THE CONTRACT AS PREPARED BY AND AVAILABLE AT THE OFFICE OF ALEXANDER BUDREVICS & ASSOCIATES LTD.

- PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL:
1. FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS AND SPECIFICATIONS OF THIS PROJECT, VISIT THE SITE TO ASCERTAIN AND TAKE ACCOUNT OF EXISTING CONDITIONS AND ANY DEVIATIONS FROM THE PLANS IN WORK BY EXISTING, AND
 2. FINALIZE ALL DESIGN ALTERNATIVES IN CONSULTATION WITH THE LANDSCAPE ARCHITECT.

PRIOR TO EXCAVATING, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES. IN THE EVENT OF A CONFLICT BETWEEN A PROPOSED TREE LOCATION AND AN UNDERGROUND SERVICE, THE EXACT LOCATION OF THE TREE SHALL BE DETERMINED ON SITE BY THE LANDSCAPE ARCHITECT.

THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, FACILITIES, ETC. DONE IN THE PERFORMANCE OF HIS WORK.

ALL SITE WORK SHALL CONFORM TO THE SCANDIAN NATIONAL MASTER CONSTRUCTION SPECIFICATIONS, A COPY OF WHICH CAN BE OBTAINED FROM CONSTRUCTION SPECIFICATIONS CANADA, Tel: (416) 777-2198, Fax: (416) 777-2119, Email: info@psc-dcc.ca. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE THOROUGHLY FAMILIAR WITH THESE SPECIFICATIONS AND THEIR IMPLICATIONS FOR THIS PROJECT.

SOFT LANDSCAPING

PLANT MATERIALS

ALL PLANTS SHALL BE INSTALLED TRUE TO SPECIFIED NAMES, SIZES, GRADES, ETC. AND SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADES ASSOCIATION.

ALL PLANTS SHALL BE NURSERY-GROWN.

IN THE EVENT OF A DISCREPANCY IN PLANT QUANTITY BETWEEN THE PLANTING PLAN AND THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.

THE CONTRACTOR SHALL MAKE PLANTS AVAILABLE FOR INSPECTION BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. MATERIAL NOT CONFORMING TO THE SPECIFICATIONS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER OR THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY OF THE MATERIAL ON SITE.

THE LANDSCAPE ARCHITECT MAY UPON COMPLETION OF THE WORK AND NOTWITHSTANDING PRIOR APPROVAL AT SOURCE, REJECT PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS.

THE CONTRACTOR SHALL USE STANDARD INDUSTRY METHODS FOR PLANTING TREES. TREES SHALL BE TURNED TO GIVE THE BEST APPEARANCE; THEY SHALL ALSO BE GUDED AND STAKED IMMEDIATELY AFTER PLANTING AND AS DETAILED ON THE DRAWINGS.

BED PREPARATION

THE CONTRACTOR SHALL BACKFILL TREE PITS AND PLANTING BEDS TO SPECIFIED DEPTHS WITH EITHER PRE-MIXED TOPSOIL (VIZ., "TRIPLE-MIX") OR A MIXTURE COMPRISED OF:

1. PART SANDY LOAM
2. PART FINELY PULVERIZED CANADIAN PEAT MOSS
3. PART WELF ROTTED FARM MANURE WITH "AGROMORF" 20-10-5 TABLETS (OR APPROVED EQUIV.) ADDED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

THE CONTRACTOR SHALL CONSTRUCT TREE PITS AND SHRUB BEDS WITH SOIL SAUCERS, MULCH, AND SUBSURFACE DRAINAGE AS DETAILED.

THE CONTRACTOR SHALL CONSTRUCT SHRUB BEDS IN CONTINUOUS FORMS, THE SHAPE OF WHICH SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER. ON SLOPES, SHRUB BEDS SHALL BE FASHIONED TO ALLOW FOR PROPER DRAINAGE.

TOPSOIL & FINE GRADING

THE CONTRACTOR SHALL PLACE 100mm OF RICH TOPSOIL ON APPROVED SUBGRADES. TOPSOIL SHALL BE IMPORTED WHERE REQUIRED. 10-6-4 FERTILIZER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AT A RATE OF 7-32 kg/100m² FOR SOILED AREAS. THE MIXTURE AND RATE OF APPLICATION SHALL BE ADJUSTED FOR SEED AREAS.

SODDING

THE CONTRACTOR SHALL SOD ALL AREAS SO INDICATED ON THE DRAWINGS. SOD SHALL BE FRESHLY CUT NO.1 GRADE NURSERY-GROWN TURF 50-75mm THICK.

SOD FOR SUNNY, EXPOSED AREAS SHALL BE 50% KENTUCKY BLUEGRASS AND 50% MERION BLUEGRASS. SOD FOR SHADED AREAS SHALL BE 50% NUGGET KENTUCKY BLUEGRASS AND 50% CREeping RED FESCUE.

SOD SHALL BE PLACED ON PREPARED TOPSOIL WITH JOINTS STAGGERED AND SECTIONS ABUTTED TIGHTLY. IMMEDIATELY AFTER LAYING, IRRIGATION SUFFICIENT TO ENSURE MOISTURE PENETRATION TO A DEPTH OF 100mm SHALL BE APPLIED.

SOD SHALL BE MACHINE ROLLED TO ENSURE UNIFORM CONTACT WITH TOPSOIL. SOD ON ALL SLOPES SHALL BE PEGGED WHERE REQUIRED.

MINOR GRADE DEFICIENCIES AND IRREGULARITIES SHALL BE ELIMINATED PRIOR TO SODDING.

WOODWORK

ALL WOOD SHALL BE NO. 1 GRADE DRESSED CLEAR CEDAR, PRESSURE-TREATED RED PINE, OR PRESSURE-TREATED JACK PINE, AS SPECIFIED ON THE DRAWINGS.

PRESSURE TREATMENT SHALL BE FACTORY-APPLIED COPPER CHROME ARSENATE OR EQUAL, AS PER CSA-080 SPECIFICATIONS.

CLEAR CEDAR OR SPECIALTY WOODS SHALL BE STAINED WITH TWO (2) COATS OF STAIN, PAINT OR PRESERVATIVE.

THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED FINISHES FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER PRIOR TO ITS APPLICATION. THE CONTRACTOR MAY ALSO BE ASKED TO SUBMIT SAMPLES OF ALTERNATIVES TO THE MATERIALS OR FINISHES SPECIFIED ON THE DRAWINGS.

MAINTENANCE

THE CONTRACTOR SHALL MAINTAIN ALL LANDSCAPED AREAS FOR A PERIOD OF FOUR (4) GROWING MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION.

MAINTENANCE SHALL INCLUDE:

- PROPER IRRIGATION TO ENSURE OPTIMUM GROWTH OF TREES, SHRUBS, AND SOD
- GRASS MOWING TO MAINTAIN AN APPROXIMATE HEIGHT OF 50mm
- THE CULTIVATION AND WEEDING OF TREE PITS AND PLANTING BEDS
- INSECT AND DISEASE CONTROL.

AT THE END OF THE SPECIFIED MAINTENANCE PERIOD, PROVIDED ALL PLANT MATERIAL IS ALIVE AND IN A HEALTHY GROWING CONDITION, THE OWNER WILL ASSUME THE RESPONSIBILITY OF MAINTAINING THE LANDSCAPE WORK.

PERFORMANCE ACCEPTANCE (SUBSTANTIAL COMPLETION)

WRITTEN NOTICE OF PERFORMANCE ACCEPTANCE BY THE LANDSCAPE ARCHITECT FOR SUBSTANTIAL COMPLETION OF THE PROJECT LANDSCAPE WORKS SHALL MARK THE START OF THE GUARANTEE PERIOD.

SHOULD LOCAL LAW REQUIRE MUNICIPAL ACCEPTANCE, THE LANDSCAPE ARCHITECT WILL SUBMIT THE SUBSTANTIAL COMPLETION CERTIFICATE TO THE MUNICIPALITY SO THAT THEY MAY PROCEED TO INSPECT THE WORK, ISSUE THEIR PERFORMANCE ACCEPTANCE CERTIFICATE, AND REDUCE THE AMOUNT OF SECURITIES.

GUARANTEE

ALL PLANT MATERIAL SHALL BE GUARANTEED FOR TWO (2) YEAR FROM THE DATE, ON THE PERFORMANCE ACCEPTANCE CERTIFICATE ISSUED BY THE LANDSCAPE ARCHITECT. PLANTS THAT EXPIRE OR OTHERWISE FAIL TO THRIVE DURING THE GUARANTEE PERIOD SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

SIMILARLY, ALL OTHER LANDSCAPE WORK PERFORMED UNDER THIS CONTRACT SHALL BE FULLY GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF PERFORMANCE ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

FINAL ACCEPTANCE

ALL WORK SHALL BE INSPECTED AT THE END OF THE GUARANTEE PERIOD BY THE LANDSCAPE ARCHITECT. ANY DEFICIENCIES SHALL BE RECTIFIED BY THE CONTRACTOR TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT AND THE OWNER. THE LANDSCAPE ARCHITECT WILL THEN ISSUE A FINAL ACCEPTANCE CERTIFICATE.

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ACROUSTIC WOOD FENCE DETAIL

TOWN OF COLLINGWOOD DETAIL

DECIDUOUS TREE PLANTING DETAIL

TOWN OF COLLINGWOOD DETAIL

CONIFEROUS TREE PLANTING DETAIL

TOWN OF COLLINGWOOD DETAIL

SHRUB PLANTING DETAIL

TOWN OF COLLINGWOOD DETAIL

ASPHALT PATHWAY DETAIL

TOWN OF COLLINGWOOD DETAIL

CONCRETE UNIT PAYER DETAIL

TYPICAL INSTALLATION

CONCRETE WALKWAY DETAIL

TYPICAL INSTALLATION

HARD LANDSCAPING

POURED-IN-PLACE CONCRETE WORK

THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL OF FORMWORK PRIOR TO POURING CONCRETE. ALL CONCRETE, STEEL REINFORCING, AND FORMWORK SHALL BE AS DETAILED AND SPECIFIED ON THE DRAWINGS.

THE STYLE, COLOUR, AND FINISH OF CONCRETE ELEMENTS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONCRETE WORK.

ALL BRICKWORK, STONEWORK, AND CONCRETE UNIT PAVING SHALL CONFORM TO LOCAL BUILDING CODES AND REGULATIONS.

BRICKWORK, STONEWORK & CONCRETE UNIT PAVING

WHERE APPLICABLE, THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OF ALL STRUCTURAL CONCRETE WORK BEFORE COMMENCING BRICKWORK, STONEWORK OR PAVING WORK.

ALL BRICKWORK, STONEWORK, AND CONCRETE UNIT PAVING SHALL BE AS DETAILED AND SPECIFIED ON THE DRAWINGS, UNLESS THE LANDSCAPE ARCHITECT AND/OR THE OWNER APPROVE SUBSTITUTIONS IN WRITING.

ALL BRICKWORK, STONEWORK, AND CONCRETE UNIT PAVING SHALL CONFORM TO LOCAL BUILDING CODES AND OTHER MUNICIPAL REQUIREMENTS.

WOODWORK

ALL WOOD SHALL BE NO. 1 GRADE DRESSED CLEAR CEDAR, PRESSURE-TREATED RED PINE, OR PRESSURE-TREATED JACK PINE, AS SPECIFIED ON THE DRAWINGS.

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MAINTENANCE

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MAINTENANCE SHALL INCLUDE:

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SIMILARLY, ALL OTHER LANDSCAPE WORK PERFORMED UNDER THIS CONTRACT SHALL BE FULLY GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF PERFORMANCE ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

FINAL ACCEPTANCE

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SHOULD LOCAL LAW REQUIRE MUNICIPAL ACCEPTANCE, THE LANDSCAPE ARCHITECT WILL SUBMIT THE FINAL ACCEPTANCE CERTIFICATE TO THE MUNICIPALITY SO THAT THEY MAY PROCEED TO INSPECT THE WORK, GIVE FINAL APPROVAL, AND RELEASE ALL OUTSTANDING LANDSCAPE SECURITIES.

ACROUSTIC WOOD FENCE DETAIL

TOWN OF COLLINGWOOD DETAIL

DECIDUOUS TREE PLANTING DETAIL

TOWN OF COLLINGWOOD DETAIL

CONIFEROUS TREE PLANTING DETAIL

TOWN OF COLLINGWOOD DETAIL

SHRUB PLANTING DETAIL

TOWN OF COLLINGWOOD DETAIL

ASPHALT PATHWAY DETAIL

TOWN OF COLLINGWOOD DETAIL

CONCRETE UNIT PAYER DETAIL

TYPICAL INSTALLATION

CONCRETE WALKWAY DETAIL

TYPICAL INSTALLATION

WOODEN PRIVACY FENCE

TYPICAL INSTALLATION

ASPHALT PATHWAY DETAIL

TOWN OF COLLINGWOOD DETAIL

CONCRETE UNIT PAYER DETAIL

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CONCRETE WALKWAY DETAIL

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WOODEN PRIVACY FENCE

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ASPHALT PATHWAY DETAIL

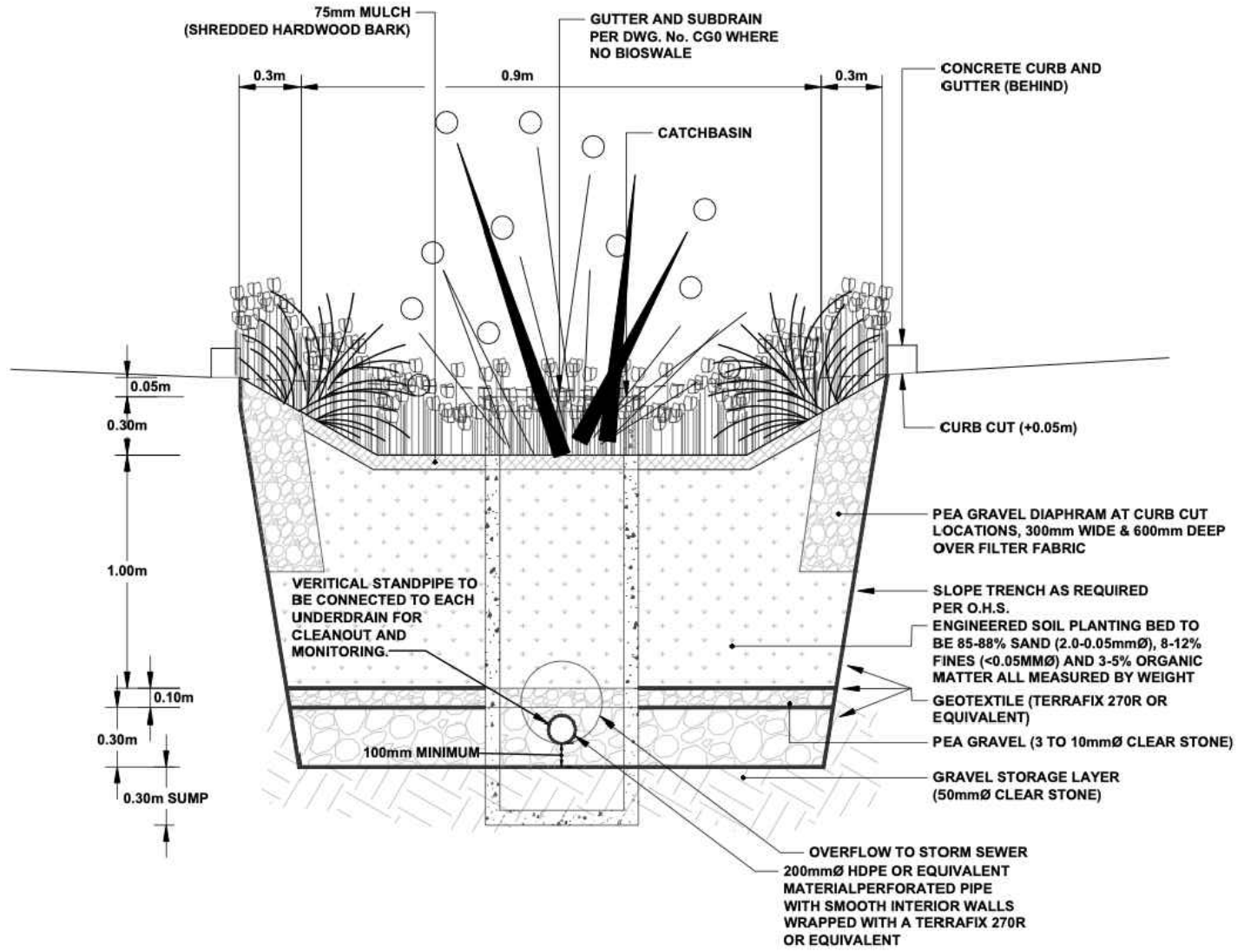
TOWN OF COLLINGWOOD DETAIL

CONCRETE UNIT PAYER DETAIL

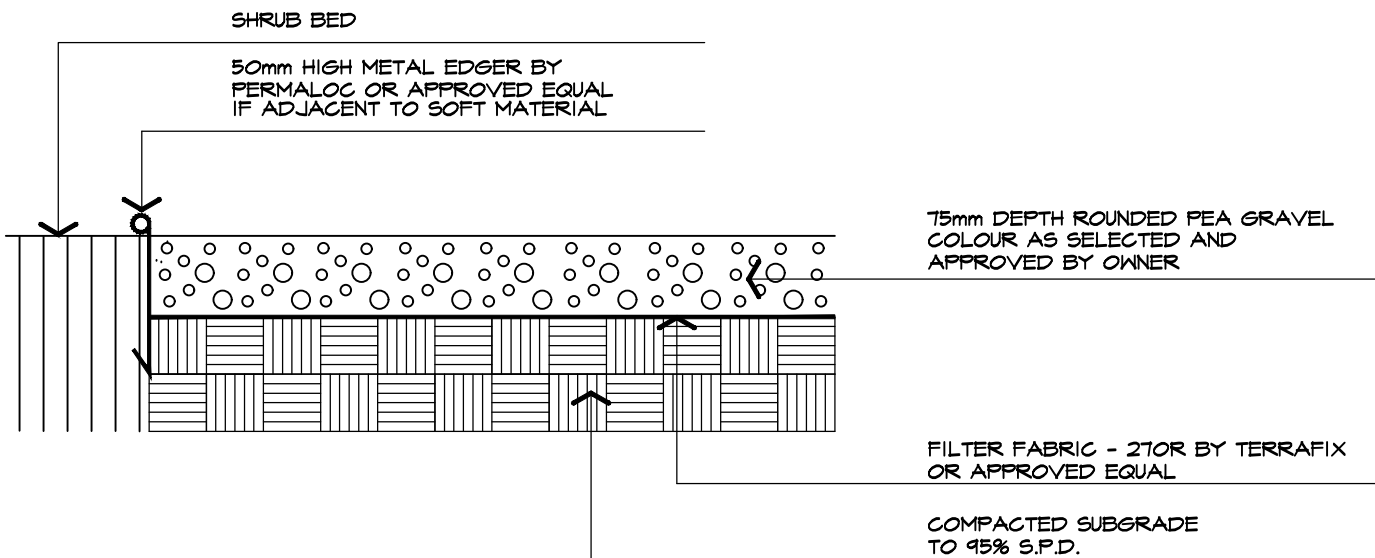
TYPICAL INSTALLATION



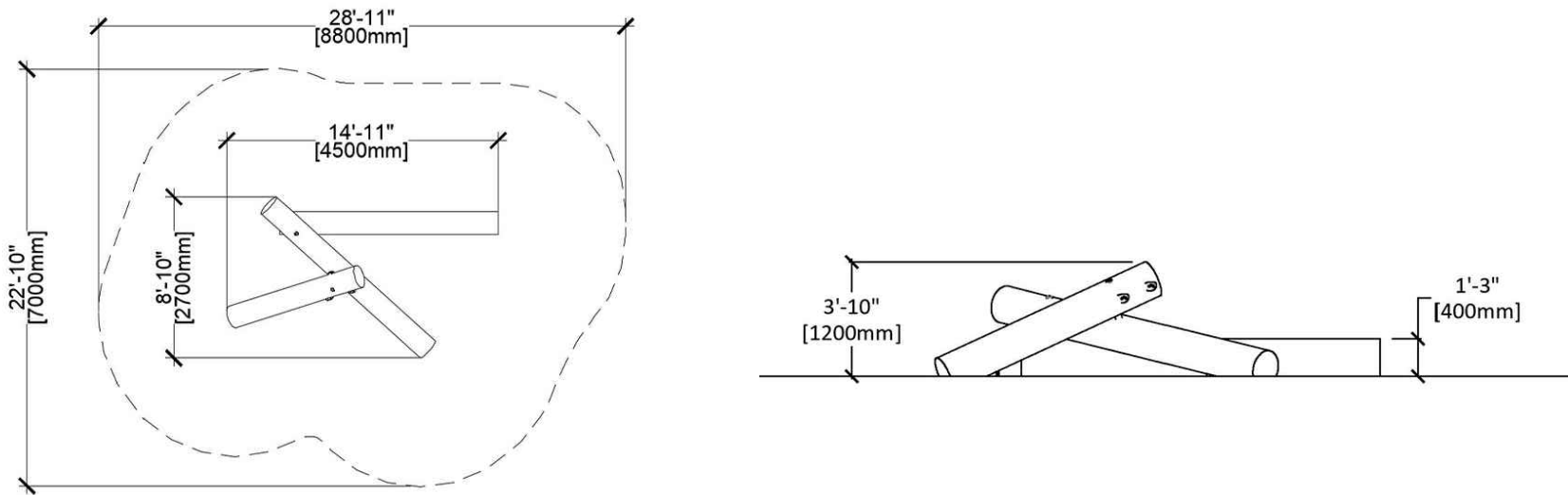
1 BIKE RACK
MAGLIN 350 SERIES BIKE RACK (3 RINGS) NTS



2 BIOSWALE DETAIL NTS



3 ROUNDED PEA GRAVEL NTS
TYPICAL DETAIL ABAL H604 - 000910



4 LOG PILE PLAY EQUIPMENT NTS
EARTHSCAPE "LOG PILE 3.1"

1.	DEC 5 2022	ISSUED FOR SUBMISSION	KM /EK
0.	OCT. 22 2021	ISSUED FOR CLIENT REVIEW	NH
no.	date	version	by

All information hereon to be checked and verified at the site and any discrepancies must be reported to and clarified by the landscape architect before commencing work. All drawings, specifications, details, digital information, etc., prepared by the landscape architect are instruments of service and as such are his property and must be returned at his request.

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project
11589 HIGHWAY 26
CRANBERRY MARSH ESTATES
HIGHWAY 26
TOWN OF COLLINGWOOD
CRANBERRY MARSH ESTATES

drawing

LANDSCAPE DETAILS

date	OCT 20 , 2021	drawn	NH
scale*	AS SHOWN	file	3523 D2 V1-221205
direction		project no.	3523
		sheet no.	D-2

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (34"x36") SIZE SHEET