



REPORT

Heritage Impact Assessment

Former Victoria School Annex, 400 Maple Street, Town of Collingwood, Simcoe County, Ontario

Submitted to:

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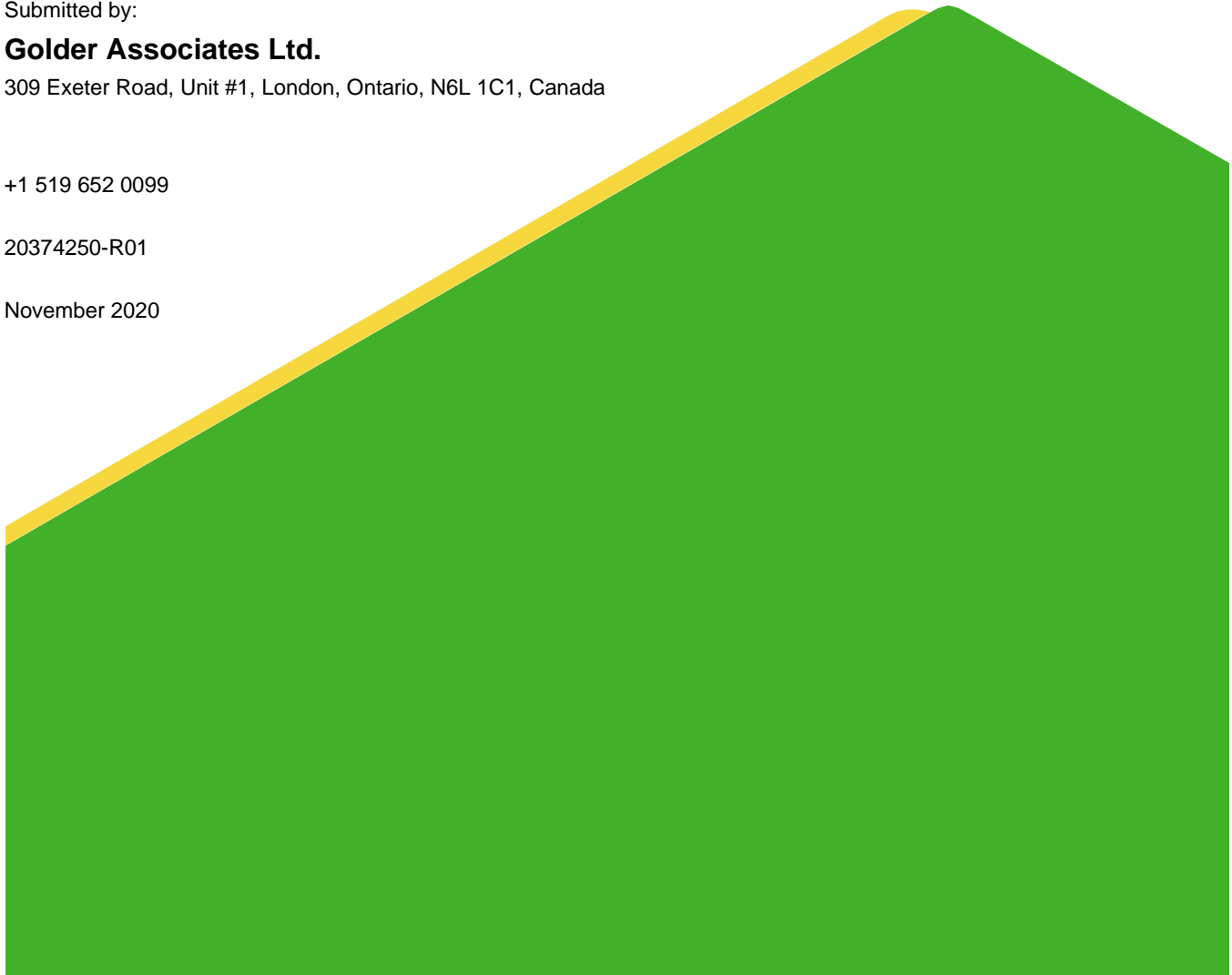
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Acknowledgements

Town of Collingwood	Kandas Bondarchuk, MCIP, RPP, CAHP, Community Planner (Heritage), Planning Services
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Executive Summary

In September 2020, Maple Street Limited Partnership (Maple Street LP) retained Golder Associates Ltd. (Golder) to conduct a Heritage Impact Assessment (HIA) of the former Victoria School Annex property at 400 Maple Street in the Town of Collingwood, Ontario. The 0.6-hectare (1.48-acre) property, bounded by Maple, Fifth, and Sixth Streets includes the two-storey brick Victoria School Annex, built in 1894. In 2019, the Town of Collingwood designated 400 Maple Street as a protected heritage property under By-Law 2019-083, enabled under Part IV of the *Ontario Heritage Act*. Southeast and adjacent to the property is a protected heritage property, 402 Maple Street, designated under Town of Collingwood By-Law 2012-004, enabled under Part IV of the *Ontario Heritage Act*.

Maple Street LP is proposing to develop the property with: four, single-detached dwellings at the northwest, northeast, southwest, and southeast corners of the property; ten, semi-detached dwellings with central recessed garages in the north-central, east-central, and south-central portions of the property; two apartment dwellings in the Victoria Annex with a detached garage; and a Coach House with integrated covered vehicle parking and three apartments. Since the property is a protected heritage property and adjacent to a protected heritage property, the Town of Collingwood required that an HIA be conducted as part of the application for site plan approval.

Following guidelines provided by the Ministry of Heritage, Sport, Tourism, and Culture Industries (MHSTCI), the Town of Collingwood *Official Plan* and *Collingwood Downtown Heritage Conservation District Plan (CDHCD Plan)*, and Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010), this HIA identifies the heritage policies applicable to new development, summarizes the property's geography and history, and describes the built and landscape features and cultural heritage significance of the protected heritage properties. Based on this understanding of the properties and their context, the potential impacts resulting from the proposed development are assessed and future conservation actions recommended.

The HIA concludes that the proposed design concept, developed and adapted by Maple LP, has the potential to make a positive contribution to the local neighbourhood through the redevelopment of underutilised parcel of land and the sensitive restoration of the Victoria Annex. The proposals are sympathetic to the scale and variety of surrounding properties and compatible with material precedents as specified in the guidelines for new development (*CDHCD Plan* guidelines).

In summary, the proposed development of the subject property:

- will directly impact the heritage attributes of the Annex through alteration to building fabric. These alterations are considered sympathetic and compatible and therefore of minor impact.
- will not indirectly impact — and is compatible in design and massing with — the adjacent protected heritage property at 402 Maple Street.
- will result in minor impacts to the setting of the Annex through the partial obstruction of significant views of the property from the north and northeast. However, the design of the proposed development reduces this potential impact to views stipulated in the approved building envelope schedule and is therefore deemed acceptable.
- will produce vibration effects that may result in impacts to the property's heritage attributes (fabric); these impacts will be mitigated through the demarcation and maintenance of a 10 m monitoring zone surrounding the Annex during construction and the establishment of a Heritage Conservation Plan.

Golder therefore recommends that the Client:

- be approved to develop the property as currently proposed; and
- completes the short-term and long term actions as recommended below.

Immediate Actions

- Ensure window and door openings are secured and boards covering the windows are painted to prevent rot
- Erect a high fence around the building to limit access to the structure
- Install a video monitoring system to dissuade vandalism or unlawful entry
- Establish a regular inspection and monitoring protocol until construction begins.
- Monitor construction within a 10-m zone around the Annex for vibration exceedance. This monitoring zone should be communicated to all site personnel.
- Where possible prevent heavy equipment traffic from being routed in the vicinity of the Annex to minimize potential effects from vibration.

Long-term Actions

- Document the Annex through measured drawings, rectified photography, and written notes prior to undertaking any intervention beyond minor stabilization or maintenance
- Prepare a Heritage Conservation Plan that outlines how the heritage attributes of the Annex will be conserved, protected, and enhanced, and the preferred conservation treatment (preservation, rehabilitation [or adaptive reuse], or restoration) that balances the objectives of heritage conservation with economic and social sustainability (see also Murdoch 2007:24)
- Stabilize the heritage attributes of the Annex through prioritized repairs by qualified heritage professionals, and ensure the building is protected and monitored during construction of the single-detached and semi-detached structures, the Annex garage and the Coach House Develop an inspection and monitoring schedule that specifically addresses the heritage attributes of the Annex
- Submit a request to the Town of Collingwood to revise the boundaries of the designated area in relation to the Victoria School Annex (currently the entire subject property lands). It is recommended that the revision should include the T-shaped area surrounding Annex and the internal access to Maple Street.
- Commemorate the former school site and Annex through interpretive panels that detail the history and heritage value of the Central/Victoria School property. For example, the inclusion of a brick entrance / gateway at the Maple Street access, similar in form to those at Connaught School (125 Napier Street). Suggested by the Town's Heritage Planner this could incorporate an interpretive feature (e.g. commemorative plaque) and ensure that the history of the property (including which elements are authentic) is well understood from this vantage point and from the public right of way.

Study Limitations

Golder has prepared this report in a manner consistent with the guidelines developed by the Ministry of Heritage, Sport, Tourism and Culture Industries (MHSTCI) and the Town of Collingwood's *Official Plan*, subject to the time limits and physical constraints applicable to this report.

This report has been prepared for the specific site, design objective, developments, and purpose described to Golder by Maple Street Limited Partnership (the Client). The factual data, interpretations and recommendations pertain to a specific project as described in this report and are not applicable to any other project or site location.

The information, recommendations and opinions expressed in this report are for the sole benefit of the Client. No other party may use or rely on this report or any portion thereof without Golder Associates Ltd.'s express written consent. If the report was prepared to be included for a specific permit application process, then upon the reasonable request of the Client, Golder Associates Ltd. may authorize in writing the use of this report by the regulatory agency as an Approved User for the specific and identified purpose of the applicable permit review process. Any other use of this report by others is prohibited and is without responsibility to Golder Associates Ltd. The report, all plans, data, drawings and other documents as well as electronic media prepared by Golder Associates Ltd. are considered its professional work product and shall remain the copyright property of Golder Associates Ltd., who authorizes only the Client and Approved Users to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. The Client and Approved Users may not give, lend, sell, or otherwise make available the report or any portion thereof to any other party without the express written permissions of Golder Associates Ltd. The Client acknowledges the electronic media is susceptible to unauthorized modification, deterioration and incompatibility and therefore the Client cannot rely upon the electronic media versions of Golder Associates Ltd.'s report or other work products.

Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Client in the design of the specific project.

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APPENDICES

APPENDIX A

Su Murdoch Historical Consulting Reports: Heritage Evaluation and Impact Assessment for the Former Victoria School Annex, March 2007;
Heritage Designation Report: Former Victoria School Annex Property, November 2015

APPENDIX B

Heritage Impact Assessment: The Former Victoria School Annex, Golder Associates, October 2016

APPENDIX C

Design Concept Documents

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Proposed Elevations and Streetscapes

1.0 INTRODUCTION

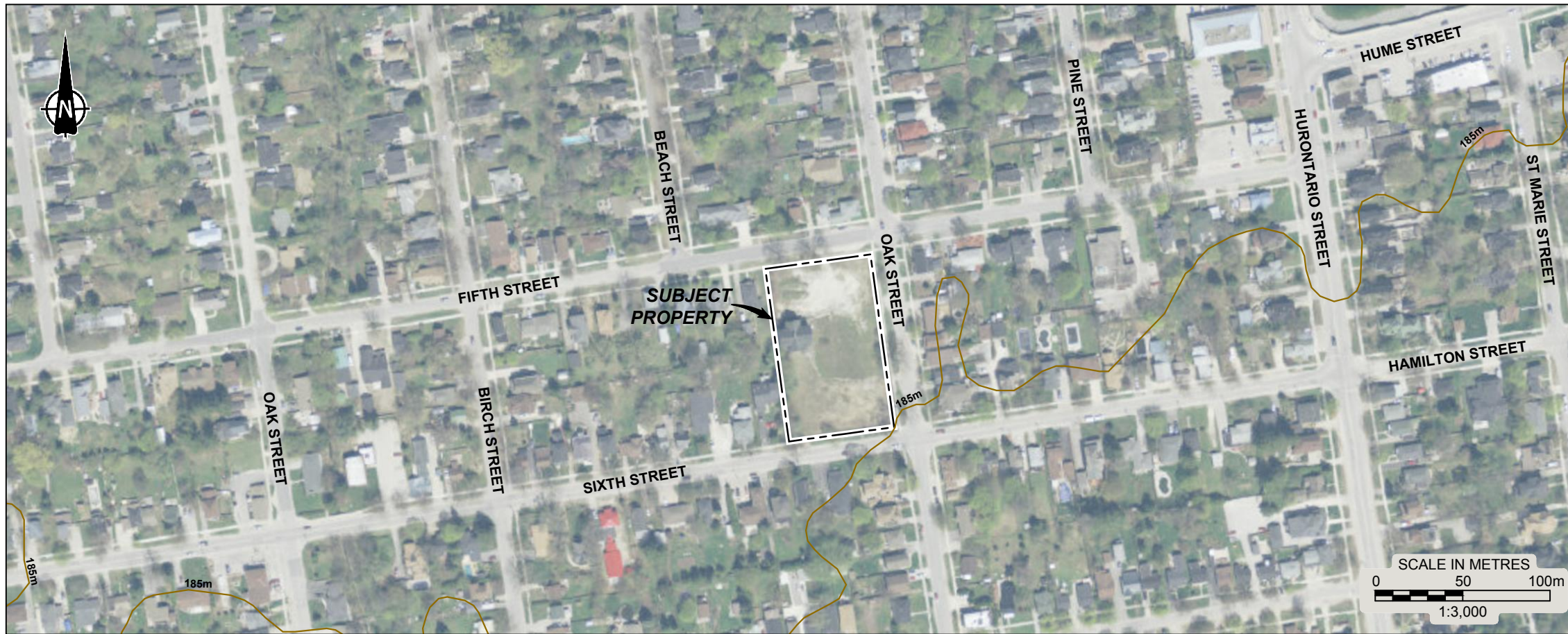
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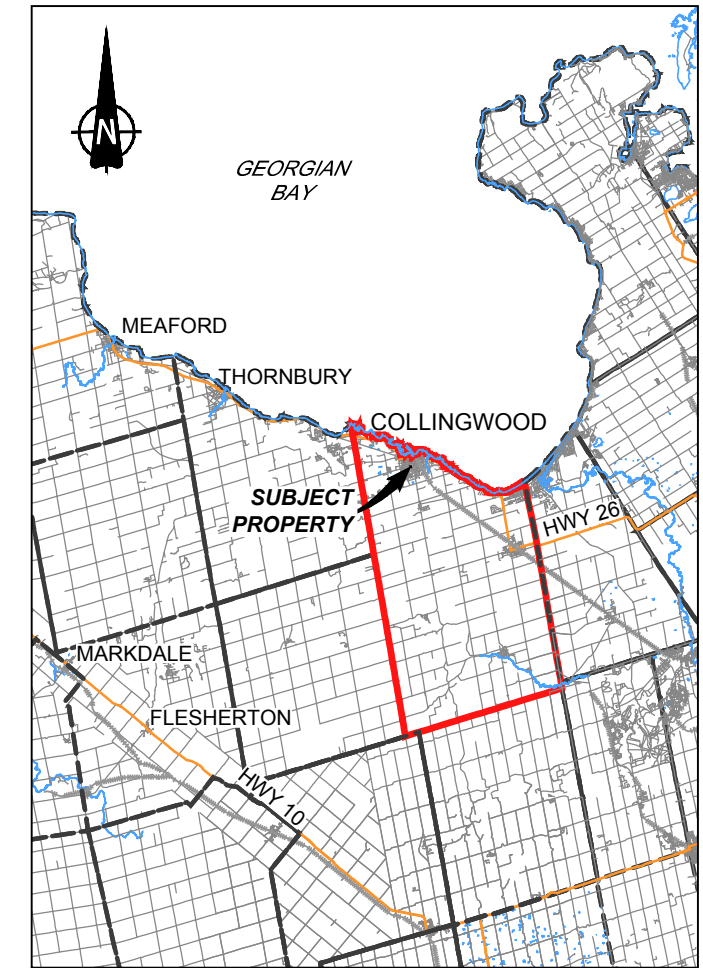
Following guidelines provided by the Ministry of Heritage, Sport, Tourism, and Culture Industries (MHSTCI), the Town *Official Plan* and *Collingwood Downtown Heritage Conservation District Plan (CDHCD Plan)*, and *Canada's Historic Places Standards and Guidelines for the Conservation of Historic Places in Canada* (2010), this HIA provides:

- a summary of the international, federal, provincial, and municipal heritage policies relevant to development of the property.
- a description of the property's geographic context, and documentary and structural history.
- an inventory of the property's setting and built elements, including a Statement of Cultural Heritage Value or Interest.
- a description of the proposed development and an assessment of potential adverse impacts.
- recommendations and mitigation measures to ensure that the property's cultural heritage value or interest and heritage attributes are conserved.

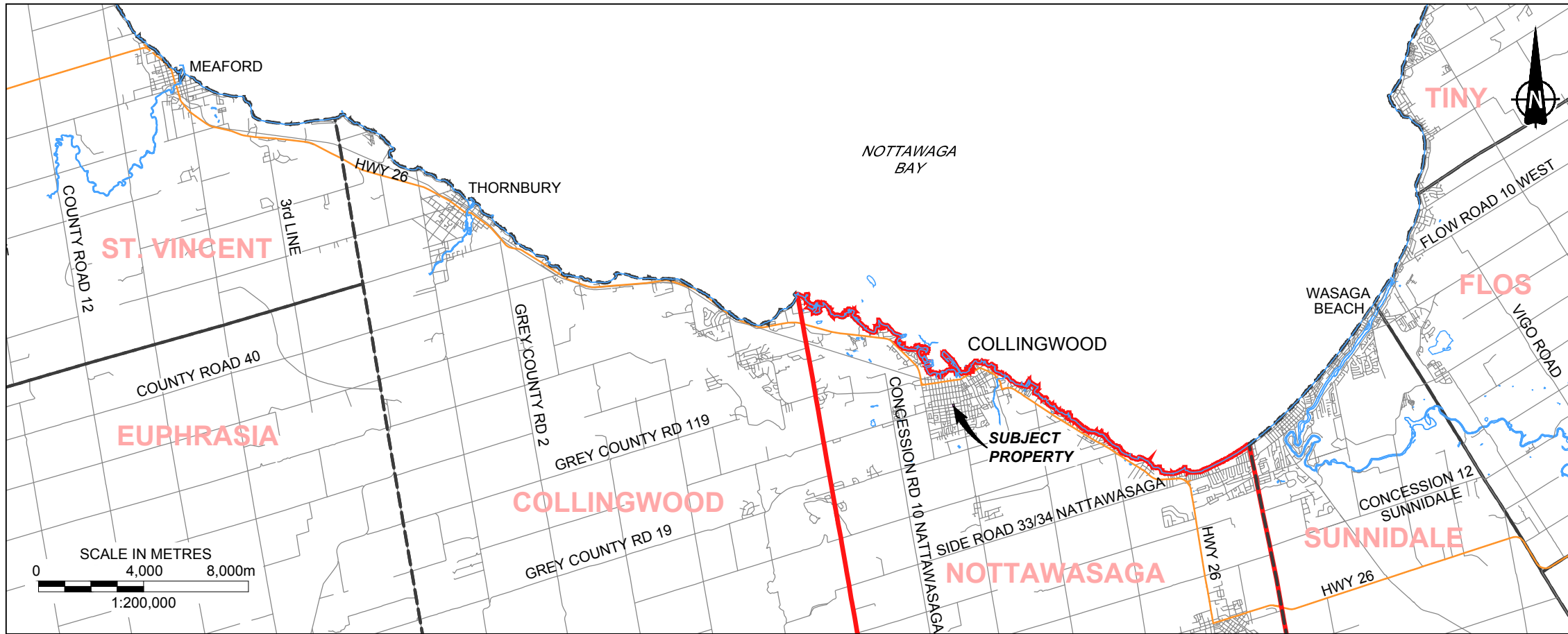
This HIA builds on an impact assessment produced previously to address draft plan clearances for the Annex project, and a heritage designation report (Murdoch 2007; Murdoch 2015, see APPENDIX A and APPENDIX B).



AERIAL IMAGERY and OBM MAPPING



KEY PLAN



REGIONAL MAP

LEGEND

- TOWNSHIP OF NOTTAWASAGA
- - - TOWNSHIP BOUNDARY
- FLOS TOWNSHIP

REFERENCE

DRAWING BASED ON MNR LIO, OBTAINED 2015,
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 COUNTY OF SIMCOE; AND
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NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ
 IN CONJUNCTION WITH ACCOMPANYING TEXT.
 ALL LOCATIONS ARE APPROXIMATE.

PROJECT			
HERITAGE IMPACT ASSESSMENT VICTORIA ANNEX PROJECT COLLINGWOOD, ONTARIO			
TITLE			
LOCATION MAP			
PROJECT No. 1650046		FILE No. 20374250-R01001	
SCALE AS SHOWN		REV. 0	
		CADD	AMS/DCH Nov. 18/20
		CHECK	
FIGURE 1			

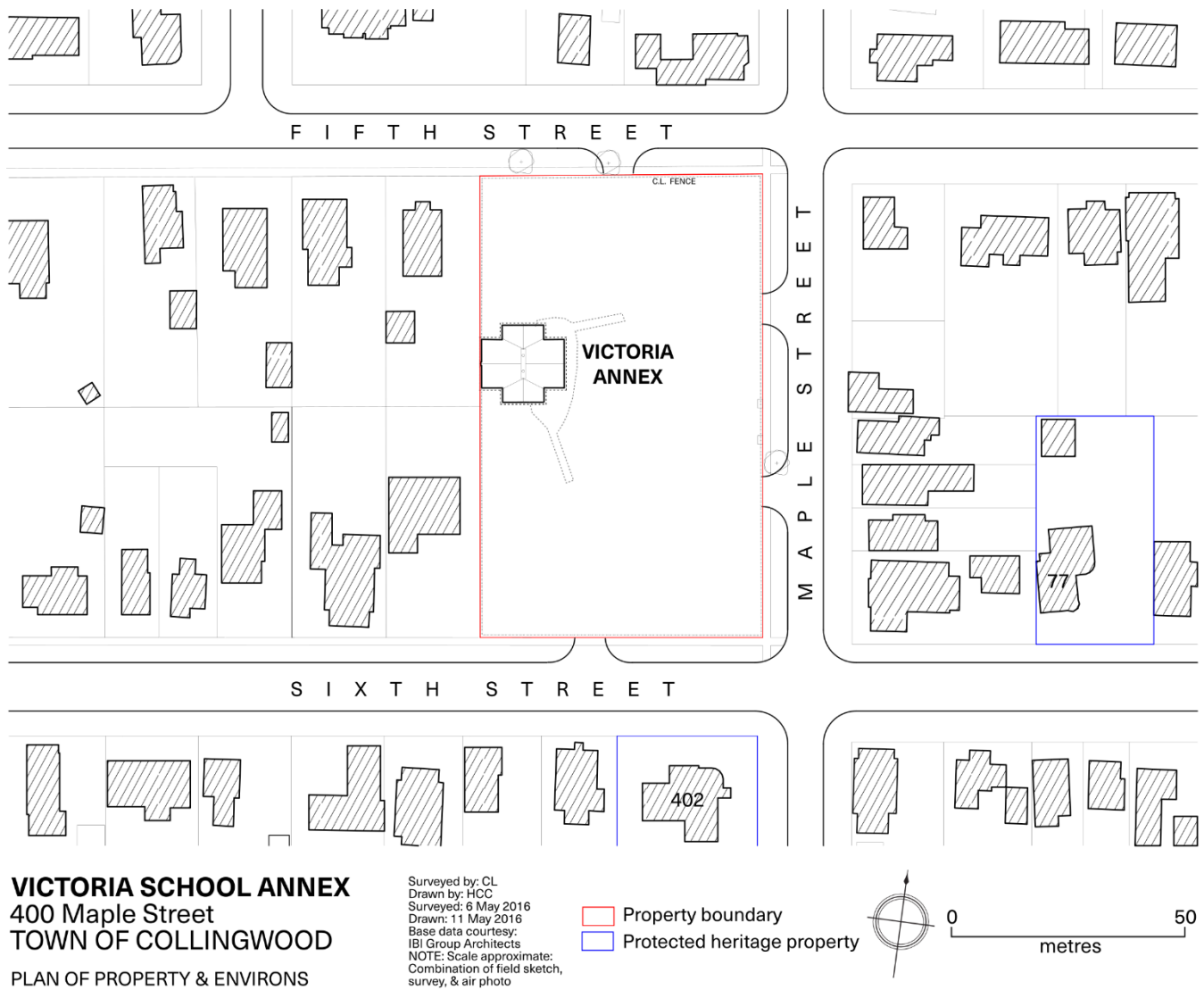


Figure 2: Plan of property and environs

2.0 OBJECTIVES, SCOPE, AND METHOD

The objectives of this HIA were to:

- determine the impacts from the proposed development on the cultural heritage value or interest and heritage attributes of the property and the adjacent protected heritage property
- consider alternatives to avoid or reduce the identified impacts; and
- recommend mitigation or conservation measures, if required.

To meet these objectives, Golder:

- reviewed applicable provincial and municipal heritage policies and consulted the Town's heritage planner;
- reviewed previous heritage impact and designation reports for the property;
- assessed the impact of the proposed development on the cultural heritage value or interest and heritage attributes of the property and adjacent protected heritage property using the impact examples provided in provincial and municipal guidance; and
- developed recommendations for future action based on international, federal, provincial, and municipal conservation guidance.

Archival and published sources, including historic maps, aerial imagery, historical photographs, land registry data, municipal government documents, and research articles were compiled from online and archival sources. Reference was also made to Golder's previous reports on properties within and adjacent to the Collingwood Downtown HCD (Golder 2017a, Golder 2017b, Golder 2018).

Since the historical context for the property had been compiled in Murdoch's 2007 and 2015 reports, Golder carried out only limited historical research to address gaps or add new information.

Field investigations were conducted on April 30 and May 6, 2016 as part of Golder's 2016 HIA. This included photographing all exterior and interior features of the property with a Nikon D5300 digital single reflex camera and documenting the architectural features through measured sketches.

The proposed development was then assessed for adverse impacts using the guidance provided in the MHSTCI *Ontario Heritage Tool Kit: Heritage Resources in the Land Use Planning Process* (2006) and Appendix A of the *CDHCD Plan*. On the advice of the Town heritage planner, the architectural compatibility of the proposed new construction was assessed using guidance outlined in the *CDHCD Plan*. Several widely recognized manuals related to determining impacts and conservation approaches to cultural heritage resources were also consulted, including:

- *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010)
- *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation* (Fram 2003)
- *Informed Conservation: Understanding Historic Buildings and their Landscapes for Conservation* (Clark 2001)

2.1 Record of Engagement

Table 1 summarizes the results of engagement undertaken for this HIA in addition to the pre-consultation comments provided to the Client by the Town on January 22, 2020.

Table 1: Results of engagement

Contact	Date & Type of Communication	Response
Kandas Bondarchuk, Community Planner (Heritage), Town of Collingwood	Video conference call on 13 October 2020 to discuss developments about the property since 2016.	Kandas confirmed designation of the property and its current boundaries, the need to maintain access to the Annex from a public road in any revision of the designated property boundaries, that impact assessment of new construction on the property use the <i>CDHCD Plan</i> as guidelines, and that effects to 402 Maple Street be considered.

3.0 POLICY FRAMEWORK

Management of cultural heritage is guided by provincial and municipal legislation and planning policy regimes, as well as advice developed at the federal and international levels. These policies have varying levels of authority at the local level, though generally are all considered when making decisions about heritage assets.

3.1 International & Federal Heritage Policies

No federal heritage policies apply to the property, although many of the provincial and municipal policies detailed below align in approach to that of Canada's Historic Places (CHP) *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010; CHP *Standards and Guidelines*). This document was drafted in response to international and national agreements such as the *International Charter for the Conservation and Restoration of Monuments and Sites* (the Venice Charter, 1964), *Australia ICOMOS* [International Council on Monuments & Sites], *Charter for Places of Cultural Significance* (the Burra Charter, updated 2013) and *Canadian Appleton Charter for the Protection and Enhancement of the Built Environment* (1983). The CHP *Standards and Guidelines* define three conservation treatments—preservation, rehabilitation, and restoration—and outline the process and required and best practice actions relevant to each treatment.

At the international level, the International Council on Monuments and Sites (ICOMOS) has developed guidance on heritage impact assessments for world heritage properties, which also provide “best practice” approaches for all historic assets (ICOMOS 2011).

3.2 Provincial Heritage Policies

3.2.1 Planning Act and Provincial Policy Statement

The Ontario *Planning Act* (1990) and associated *Provincial Policy Statement 2020* (PPS 2020) mandate heritage conservation in land use planning. Under the *Planning Act*, conservation of “features of significant architectural, cultural, historical, archaeological or scientific interest” are a “matter of provincial interest” and integrates this at the provincial and municipal levels through the PPS 2020. Issued under Section 3 of the *Planning Act*, PPS 2020 recognizes that cultural heritage and archaeological resources “provide important environmental, economic, and social benefits”, and that “encouraging a sense of place, by promoting well-designed built form and cultural planning, and by conserving features that help define character, including *built heritage resources* and *cultural heritage landscapes*” supports long-term economic prosperity (PPS 2020:6,22).

The importance of identifying and evaluating built heritage and cultural heritage landscapes is recognized in two policies of PPS 2020:

- Section 2.6.1 – *Significant built heritage resources* and *significant heritage landscapes* shall be conserved
- Section 2.6.3 – Planning authorities shall not permit *development* and *site alteration* on *adjacent lands* to *protected heritage property* except where the proposed *development* and *site alteration* has been evaluated and it has been demonstrated that the *heritage attributes* of the *protected heritage property* will be conserved

Each of the italicised terms is defined in Section 6.0 of PPS 2020, and those relevant to this report are provided below:

- **Adjacent lands:** for the purposes of policy 2.6.3, those lands contiguous to a *protected heritage property* or as otherwise defined in the municipal official plan

- **Built heritage resource:** means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property’s cultural heritage value or interest as identified by a community, including an Indigenous community. *Built heritage resources* are located on property that may be designated under Parts IV or V of the *Ontario Heritage Act*, or that may be included on local, provincial, federal and/or international registers.
- **Conserved:** means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision-maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments.
- **Cultural heritage landscape:** means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the *Ontario Heritage Act*, or have been included in on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.
- **Development:** means the creation of a new lot, a change in land use, or the construction of buildings and structures requiring approval under the Planning Act
- **Heritage attributes:** the principal features or elements that contribute to a protected heritage property’s cultural heritage value or interest, and may include the property’s built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property)
- **Protected heritage property:** property designated under Parts IV, V or VI of the *Ontario Heritage Act*; property subject to a heritage conservation easement under Parts II or IV of the *Ontario Heritage Act*; property identified by the Province and prescribed public bodies as provincial heritage property under the Standards and Guidelines for Conservation of Provincial Heritage Properties; property protected under federal legislation, and UNESCO World Heritage Sites.
- **Significant:** means, in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the *Ontario Heritage Act*.

Importantly, the definition for *significant* includes a caveat that “criteria for determining significance...are recommended by the Province, but municipal approaches that achieve or exceed the same objective may also be used”, and that “while some significant resources may already be identified and inventoried by official sources, the significance of others can only be determined after evaluation.” The criteria for significance recommended by the Province as well as the need for evaluation is outlined in the following section.

3.2.2 Ontario Heritage Act and Ontario Regulation 9/06

The *Ontario Heritage Act (OHA)* enables the Province and municipalities to conserve significant individual properties and areas. For Provincially-owned and administered heritage properties, compliance with the

Standards and Guidelines for the Conservation of Provincial Heritage Properties is mandatory under Part III of the *OHA* and holds the same authority for ministries and prescribed public bodies as a Management Board or Cabinet directive. For municipalities, Part IV and Part V of the *OHA* enables council to “designate” individual properties (Part IV), or properties within a heritage conservation district (HCD) (Part V), as being of “cultural heritage value or interest” (CHVI). Evaluation for CHVI under the *OHA* (or *significance* under PPS 2020) is guided by *Ontario Regulation 9/06 (O. Reg. 9/06)*, which prescribes the *criteria for determining cultural heritage value or interest*. *O. Reg. 9/06* has three categories of absolute or non-ranked criteria, each with three sub-criteria:

- 1) The property has **design value or physical value** because it:
 - i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method;
 - ii) Displays a high degree of craftsmanship or artistic merit; or
 - iii) Demonstrates a high degree of technical or scientific achievement.
- 2) The property has **historic value or associative value** because it:
 - i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;
 - ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or
 - iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
- 3) The property has **contextual value** because it:
 - i) Is important in defining, maintaining or supporting the character of an area;
 - ii) Is physically, functionally, visually or historically linked to its surroundings; or
 - iii) Is a landmark.

A property needs to meet only one criterion of *O. Reg. 9/06* to be considered for designation under Part IV of the *OHA*. If found to meet one or more criterion, the property’s CHVI is then described with a Statement of Cultural Heritage Value or Interest (SCHVI) that includes a brief property description, a succinct statement of the property’s cultural heritage significance, and a list of its heritage attributes. In the *OHA* heritage attributes are defined slightly differently to the PPS 2020 and directly linked to real property¹; therefore, in most cases a property’s CHVI applies to the entire land parcel, not just individual buildings or structures.

Once a municipal council decides to designate a property, it is recognized through by-law and added to a “Register” maintained by the municipal clerk. The property at 400 Maple Street is designated under Town of Collingwood By-Law 2019-083 while the adjacent 401 Maple Street is designated under Town of Collingwood By-Law 2012-004. A municipality may also “list” a property on the Register to indicate it as having potential cultural

¹ The *OHA* definition “heritage attributes means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest.”

heritage value or interest. The Town has not listed any properties but does maintain an inventory of properties with potential cultural heritage value or interest.

3.2.3 Provincial Heritage Guidance

As mentioned above, heritage conservation on provincial properties must comply with the MHSTCI *Standards and Guidelines for the Conservation of Provincial Heritage Properties* (MHSTCI S&Gs), but these also provide “best practice” approaches for evaluating cultural heritage resources not under provincial jurisdiction. For heritage impact assessments, *Information Bulletin 3: Heritage Impact Assessments for Provincial Heritage Properties* (MHSTCI 2017) of the *Standards and Guidelines for the Conservation of Provincial Heritage Properties* advises on the contents and possible strategies.

To advise municipalities, organizations, and individuals on heritage protection and conservation, the MHSTCI developed a series of products under the *Ontario Heritage Tool Kit*. Of these, *Heritage Resources in the Land Use Planning Process* (MHSTCI 2006) provides an outline for the contents of an HIA, which it defines as:

is a study to determine if any cultural heritage resources (including those previously identified and those found as part of the site assessment)...are impacted by a specific proposed development or site alteration. It can also demonstrate how the cultural heritage resource will be conserved in the context of redevelopment or site alteration. Mitigative or avoidance measures or alternative development or site alteration approaches may be recommended.

Heritage Resources in the Land Use Planning Process also provides advice on how to organize the sections of an HIA, although municipalities may draft their own terms of reference. For example, the Town provides an outline of the required components for an HIA as an Appendix in the *CDHCD Plan*.

Determining the optimal conservation strategy where an impact is identified is further guided by the MHSTCI *Eight Guiding Principles in the Conservation of Historic Properties* (2007):

- 1) Documentary evidence (restoration should not be based on conjecture)
- 2) Original location (do not move buildings unless there is no other means to save them since any change in site diminishes heritage value considerably)
- 3) Historic material (follow ‘minimal intervention’ and repair or conserve building materials rather than replace them)
- 4) Original fabric (repair with like materials)
- 5) Building history (do not destroy later additions to reproduce a single period)
- 6) Reversibility (any alterations should be reversible)
- 7) Legibility (new work should be distinguishable from old)
- 8) Maintenance (historic places should be continually maintained)

The *Ontario Heritage Tool Kit* partially, but not entirely, supersedes earlier MTCS advice. Criteria to identify cultural landscapes is provided in greater detail in the *Guidelines on the Man-Made Heritage Component of Environmental Assessments* (1980:7), while recording and documentation procedures are outlined in the *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (1992:3-7).

3.3 Town of Collingwood Heritage Policies

3.3.1 Official Plan

For municipalities, PPS 2020 is implemented through an Official Plan, which may outline further heritage policies. The Town's *Official Plan*, last consolidated in January 2019, informs decisions on issues such as future land use, transportation, infrastructure, and community improvement within the Town limits until 2031. Section 7.0 of the *Official Plan* outlines the goal and policies for cultural heritage, which is not defined but includes "significant archaeological and built heritage resources and cultural landscapes." Under Section 7.2.3.1, when properties recognized or believed to have CHVI are proposed for development, Council "may require the owner of such lands to carry out studies to:

- Survey and assess the value of the historical, architectural and/or archaeological heritage resource;
- Assess the impact of the proposed development or redevelopment on the historical, architectural, and/or archaeological heritage resource; and
- Indicate the methods proposed to be used to mitigate any negative impact of the proposed development or redevelopment on the historical, architectural, and/or archaeological heritage resource."

Guidance for evaluating heritage resources is provided in the *Section 11.1 Cultural Heritage Evaluation Criteria* of the *Official Plan* and generally follows the *O. Reg. 9/06* criteria.

If a development application proposes demolishing or altering a cultural heritage resource, Section 7.2.3.6 requires that Council be provided with "accurate and adequate architectural, structural and economic information to determine the feasibility of rehabilitation and reuse versus demolition". If Council does grant approval to demolish or significantly alter a cultural heritage resource, it may additionally require that the applicant document the resource "for archival purposes with a history, photographic record and measured drawings".

Conservation of cultural heritage resources adjacent to a proposed development are addressed in Section 7.2.3.3, which states that:

- In considering applications for development and site alteration for lands adjacent to identified cultural heritage resources, Council shall defer approval until it has been demonstrated to their satisfaction that the proposed work can be undertaken in accordance with the municipality's heritage conservation policies.

3.3.2 Collingwood Downtown Heritage Conservation District Plan

Although non-binding, since the property is not within or adjacent to the Collingwood Downtown HCD (designated under Town By-law 02-12 and enabled under Part V of the *Ontario Heritage Act*), the Town has advised that the principles outlined in the *CDHCD Plan* be considered when assessing the proposed development. Not only does the *CDHCD Plan* provide design guidelines for existing historic assets, new construction, and streetscapes and landscaping, it also outlines the Town's requirements for heritage impact assessments and conservation plans. The design guidelines relevant to the proposed development of the property are addressed more fully Section 7.2.1 of this HIA, and in general this HIA follows the headings and content for a heritage impact statement as provided in Appendix A of the *CDHCD Plan*.

3.3.2.1 Guidance on New Construction

Section 14.0 of the *CDHCD Plan* outlines the Design Guidelines for New Construction within the HCD. Although these policies do not apply outside the HCD, they help to guide design of compatible new construction on adjacent lands. The general principles that may be relevant to such new developments are:

- The design of a new building, or an addition, does not need to replicate historic design model to be compatible with the HCD. Attention to the form, alignment, height, massing, setback, architectural features, colour schemes, and materials can result in a design that maintains the architectural rhythm of the neighbouring buildings and streetscape, and thus the heritage character of the District.
- New construction must conform to the established design principles, qualities, and characteristics of the neighbourhood and the streetscape.
- If adjacent buildings are not in keeping with the heritage character of the district, principles of scale, materiality, mass, setback, and form should be consistent with the overall streetscape.
- New buildings should be designed to allow pedestrian amenities such as wider sidewalks, lack of obstruction to barrier free entry, and shelter at building entries.

Section 7.2.1 considers the application of the Design Guidelines to the proposed development.

3.3.3 Special Policies & Zoning

Cultural heritage is sometimes addressed through Secondary Plans, Special Policy Areas, or other policies such as Master Plans and site-specific zoning. Under Official Plan Amendment (OPA) 24, the property is zoned R3-38 Residential Third Density Exception 38, which allows the following permitted uses:

- Single-detached dwellings and townhouse dwellings to a maximum of 19 units and with overall density not exceeding 32 units per gross hectare
- One walk-up apartment dwelling consisting of a maximum of seven units
- Home occupations and public uses

OPA#24 has a defined building envelope plan (within Appendix C) which requires that the architectural and landscape design for any new development must be sympathetic to the existing Victoria School Annex and the neighbourhood context. It also requires as a condition of site plan approval that the design guidelines be approved by the Town.

4.0 GEOGRAPHIC & HISTORICAL CONTEXT

4.1 Geographic Context

The property is in southwestern Ontario and approximately 1.3 km from the southwest shore of Georgian Bay, in the east portion of Lake Huron. It is also within the Nottawasaga Basin of the Simcoe Lowlands physiographic region, which consists of a broad plain of deltaic and lacustrine deposits (Chapman & Putnam 1984:177-178). The primary watershed of the area is the Pretty River, which flows in a north-easterly direction approximately 1.5 km east of the property, eventually emptying into Georgian Bay approximately 2.2 km to the northeast. Trees in the vicinity are a mix of deciduous and coniferous varieties.

In reference to political boundaries, the property is at the southwest portion of Simcoe County, and in the west portion of the Town of Collingwood. It is bounded on the north and south by Fifth and Sixth Streets, and by Maple Street on the east. The area immediate to the property is primarily residential and typified by low rise, single-detached dwellings.

4.2 Historical Context

4.2.1 Town of Collingwood, Nottawasaga Township, Simcoe County

Following the Toronto Purchase of 1787, today's southern Ontario is within the old Province of Quebec and divided into four political districts: Lunenburg, Mechlenburg, Nassau, and Hesse. These became part of the Province of Upper Canada in 1791, renamed the Eastern, Midland, Home, and Western Districts, respectively. The property was within the former Western District, which included all lands between an arbitrary line running north from Long Point on Lake Erie to Georgian Bay, and the western Ontario/ Michigan border. Each district was further subdivided into counties and townships, with the property falling within Simcoe County and Nottawasaga Township.

The Township of Nottawasaga was named for the Algonquin word *nahdowasaga*, meaning “outlet of the river of the Iroquois” (Rayburn 1997:251). Although the Crown had annexed the area from the Chippewa Nation under Treaty No. 18 in 1818, Nottawasaga Township was not officially surveyed until 1832 when Thomas Kelly and Charles Rankin organized the township according to the 2,400-Acre Sectional System (Hunter 1909). This system of lot distribution, which was typically used between 1829 and 1861 (Schott 1981), established concessions containing 200 acre lots with blind rear lot lines, divided every three lots by side roads (Figure 3). In Nottawasaga Township, the concessions were oriented east to west, with the side roads crossing the township from south to north.

Shortly after the Crown survey was completed in 1833, Scottish, Irish, and German families began establishing small communities near the shore of Georgian Bay on the northeastern edge of the Township, and along the banks of the Batteau and Noisy Rivers (Hunter 1909). Due to the township's remote location, the pace of growth and development proceeded slowly at first. By 1842, the population was comparatively small at 420 residents, with only three sawmills and three grist mills having been constructed in the area (Smith 1846).

In 1853, the area at the northeastern edge of the Township, then known as “Hens-and-Chickens” for its offshore islands, was selected as the northern terminus of the Toronto, Simcoe and Lake Ontario Railway (later Northern Railway of Canada) that was to connect the Toronto area with Georgian Bay (Town of Collingwood 2014; Rayburn 1997:76). This decision spurred land speculators and businessmen to move to the area, and in 1853 local landowner Joel Underwood requested William Gibbard survey a village plot (Hunter 1909). Then general manager of the Toronto, Simcoe and Lake Ontario Railway renamed the Hens-and-Chickens community as

Collingwood after the Collingwood Township in Grey County, which in turn had been named for Cuthbert Collingwood, a famous Royal Navy admiral (Rayburn 1997:76).

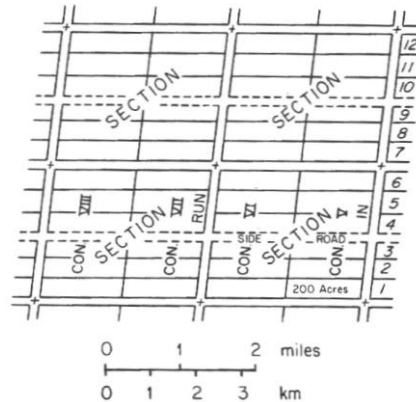


Figure 3: The 2400-acre survey system, used from 1829 to 1861. As depicted here, each lot is 200 acres and each section made of 12 farms (Schott 1981:81-82)

Following completion of the rail line in 1855, Collingwood quickly developed into an important centre for shipping and ship building, supporting a large export trade of lumber, grain, and produce to the United States and western Canada (Town of Collingwood 2014). In fact, the pace of growth and development was so rapid that the community managed to bypass village incorporation and directly attained the status of town with its own municipal borders on January 1, 1858 (Hunter 1909). By 1873, Collingwood was home to 2,829 residents and contained 'one tannery, one brewery, one steam flour mill, sash, door, blind, and pump factories, several hotels and churches, a number of stores, two printing offices, two telegraph agencies, a branch bank, and several ship yards and grain elevators' (Lovell 1873).

The Town continued to prosper throughout the late 19th century. When the Queen's Dry Dock was constructed in 1882, the corporate ship building industry flourished and the town eventually gained an international reputation for quality work and design in this field (Town of Collingwood 2014). The success of the ship building industry brought many workers to the area, and by 1895 Collingwood boasted a population of 4,939 (Lovell 1895).

Events of the early to mid-20th century slowed the Town's growth and development, and by the time the St. Lawrence Seaway was completed in 1959, the Town was no longer an important shipping centre (Collingwood Public Library 2016). Throughout the late 20th century, the shipping and ship building industries were replaced by recreational and retirement developments made popular by the local beaches and the nearby Blue Mountain. In 2016, the Town of Collingwood, now a lower-tier municipality within the County of Simcoe, was home to 21,793 residents (Statistics Canada 2016).

4.2.2 Subject Property

Since Murdoch's reports provide comprehensive histories of education in Collingwood and events on the property, only a brief chronological summary is provided here (Table 2), with emphasis placed on events specifically relevant to the Annex site.

Table 2: Key events in the property's history.

Date	Event
June 1857	Residents of Collingwood petition Simcoe County Council to establish a grammar school.
1858	Benjamin Walker Smith, Simcoe District's first sheriff, donates half an acre for a frame school building on the east side of Pine Street, in the Centre Ward.
June 6, 1870	School Board trustees request plans and specifications to improve the Pine Street school.
February 11, 1874	School Board trustees discuss plans to enlarge the Pine Street school.
April 6, 1874	William Hayer is commissioned to build a two-storey brick addition to the Pine Street school.
September 28, 1874	School Board trustees discuss purchasing Lot 24 East Pine Street to extend the Pine Street school grounds to the north.
June 18, 1883	The School Board decides to add to the brick section of the Pine Street school but later requests \$10,000 to build new schools in the Centre and East Wards.
January 1884	The School Board appeals to Council to make a decision on construction of new schools since there are now 1,300 children of school age in the Town.
April 1884	The School Board purchases for \$1,100 the quarter-acre Lots 10, 11, 12, south side, Fifth Street and Lots 10, 11, 12, north side, Sixth Street, Plan 45, known today as 400 Maple (the property).
May 27, 1884	The contract to build a "school with brick additions" is awarded to Collingwood architect Marshall B. Aylesworth, who estimated the work at \$9,400.
October 7, 1884	Construction of the "Central School" is reported as nearly complete.
May 5, 1885	The School Board requests an additional \$3,000 from Council to complete the Central School
September 1885	The Pine Street school is damaged by fire.
December 1885	Pupils attend the first classes at the Centre School, but landscaping at the site is not complete.
April 30, 1894	The School Board requests an estimate for a new structure or four room addition to the Central School.
June 11, 1894	Builder and contractor Francis W. Bryan is commissioned to design a new schoolhouse with four rooms as a separate structure on the Central School grounds, and construction is initiated by local contractors John Chamberlain and D. Peterman & Sons.
February 5, 1895	Construction of the Annex is believed to have been completed by this date.
May to September 1897	The Central School and Annex is converted to steam heating.
1906	The first kindergarten class is admitted to Central School.
June 6, 1906	The School Property Committee clears all trees on the north side of the property, plants poplars and maples on the south side, plants maples on the east side, and trims the existing firs on the east side. Garden plots are also added.

Date	Event
August 1908	Architect John Wilson drafts plans for new toilets at the Central School, which are to be placed in an expanded cellar in the main building that is linked to the Annex.
October 6, 1909	The Provincial Health Inspector files a report detailing poor ventilation in the Central School and the inadequacy of the 12 x 16 feet brick exterior toilets for boys and girls.
1910	The cellar beneath the Annex is excavated to full basement height.
1910-1911	Work to address the ventilation and toilet issues at the Central School are carried out and the basements of the Annex and Central School are joined via a tunnel.
1911	Central School is re-named the Victoria School.
1912	The Board of Education reserves two rooms in the Annex for manual training.
March 8, 1945	The "Victoria School Annex" is re-opened after years of declining enrollment.
1954	The Admiral Collingwood School is opened for grades 6, 7, and 8, and the Victoria School is made a junior public school.
1969	The Victoria School is demolished, and the Victoria Annex becomes home to the Association for Retarded Children.
October 2001	The Victoria Annex, then known as the Collingwood Alternative School, ceases use as a school.
2004	The Simcoe County District School Board sells six of the original lots and the Victoria Annex is vacated.
January 24, 2007	The property owner applies to Council to demolish the Annex.
February 26, 2007	Council introduces a motion to consider designation of the Annex under Part IV of the <i>Ontario Heritage Act</i> .
March 12, 2007	The demolition application is withdrawn and an HIA is commissioned to evaluate plans to develop the property with a 3-unit condominium, 10 single-detached and 1 semi-detached residential units, and convert the Annex to a four-unit condominium.
2015	The Town commissions a Heritage Designation Report for the Annex to determine if it meets the criteria to be designated under Part IV of the <i>Ontario Heritage Act</i> .
2016	Developer Victoria Annex Development Corporation (VAD) commissions Golder to conduct an HIA for two model homes. VAD later dissolves.
November 2018	The Town issues a Notice of Intent to Designate the property under Part IV of the <i>Ontario Heritage Act</i> but it the owner Vogel Construction appeals the decision to the Local Planning and Appeals Tribunal (LPAT).
July 2019	Vogel Construction proposes to build 18 units. In October 2019, the LPAT rules against the appeal to designate the property.
December 2019	Vogel Construction applies for a demolition permit. The Town designates the property under By-law 2019-083, enabled under Part IV of the <i>Ontario Heritage Act</i> . Vogel Construction later sells the property.

4.2.2.1 Structural History

Surprisingly, given the age of the building, there are no clearly defined periods of structural development, but rather evidence of minor changes through time. Based on the available historical data, the structural history can be divided into only three phases: the initial construction until circa 1918, the occupation between 1918 and the mid-20th century, and modifications and alterations over the past sixty years.

4.2.2.1.1 Phase 1: 1895 to circa 1918

Although the Annex is known to have been constructed in 1895, the earliest visual evidence for the building dates to nearly a decade later. The 1904 Fire Insurance Plan shows the same footprint for the Annex as exists today, including the brick basement access near the southwest corner; at that time the access would have been to the more restricted cellar space.

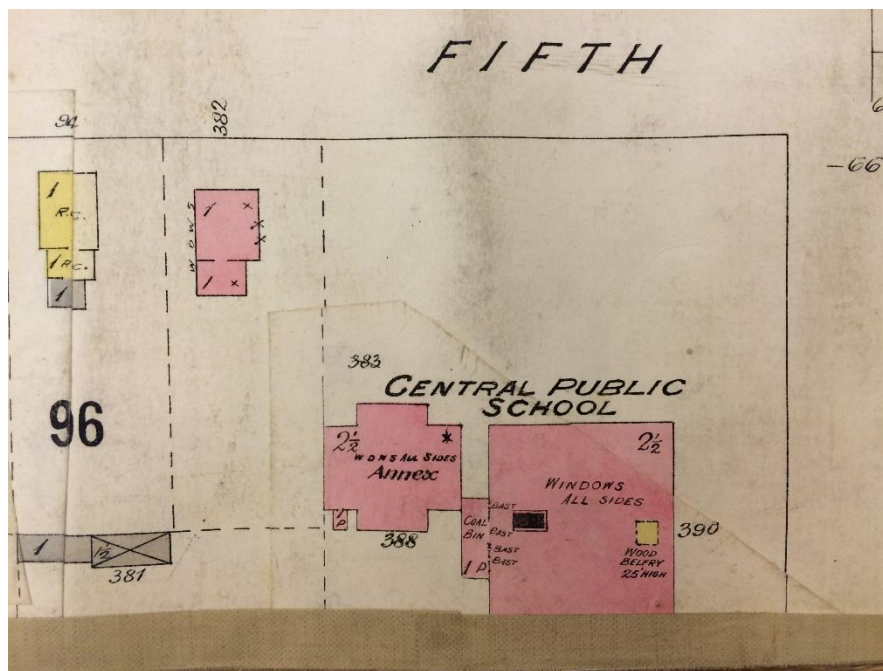


Figure 4: Portion of the 1904 Collingwood, Simcoe County Fire Insurance Plan, Sheet 13 (Western Archives, Western University).

A photograph taken circa 1905 of the north façades of the Central School and Annex shows far more detail (Figure 5:). Features shown in the photograph that are not present on the structure today include the:

- Whitewash covering the east façade;
- Possible lightning protection on the north gable ridge line (or possibly finials, see Murdoch 2007:14);
- Chimneys on the east and west gables; and,
- A window in west portion of north façade foundation.



Figure 5: North façade of Central School and Annex circa 1905 (from Murdoch 2015:16, orig. Collingwood Museum X969-152-1).

4.2.2.1.2 Phase 2: circa 1918 to 1955

The next available evidence is a photograph believed to have been taken in June 1918 (Figure 6)(Murdoch 2015:16). The east façade is still whitewashed and the gable chimneys are present, but there have been several additions or alterations. These include the:

- East entrance porch;
 - This has the same roof construction as seen today but the deck, stairs, railing and balustrade appear to be of wood construction.
- Small, north façade first-level window within the west blind window;
 - Based on similarities in shape, size, and the voussoirs, it is presumed that the small window on the south west blind window was added at the same time.
- Window in the east portion of the north façade foundation (this may have followed work to transform the cellar into a basement in 1910);
- Blind window in the west portion of the north façade foundation (shown as open in Phase 1); and,
- Large central chimney.
 - This chimney is also prominent on a 1919 oblique aerial photo recently digitized by the British Library (Figure 7).



Figure 6: North façade of Central School circa 1918 (from Murdoch 2015:16, orig. Collingwood Museum X969-152-1).



Figure 7: Portion of the 1919 oblique aerial photograph “Collingwood, Ontario from the Air, Bishop Barker Co.” The view faces north and the Annex is indicated by the red arrow (HS85/10/36582 British Library Online Collection).

The 1955 Fire Insurance Plan (Figure 8) indicates that a single-storey wood addition had been added to the central portion of the south façade sometime after 1919, but otherwise the footprint was unaltered from its 1904 configuration.

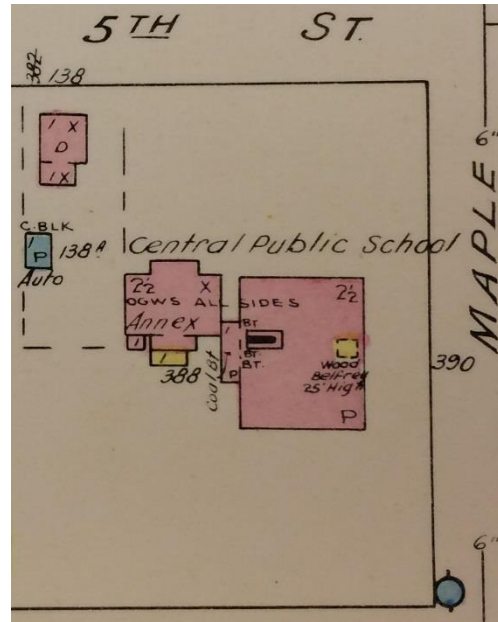


Figure 8: Portion of the 1955 Collingwood, Ontario Fire Insurance Plan, Sheet 16 (Western Archives, Western University).

4.2.2.1.3 Phase 3: circa 1955 to 2020

A number of alterations have been made to the Annex since 1955. The most significant of these was to the building's context and landscape. Demolition of the Victoria Public School in 1969 also included removing the auxiliary toilet facilities, leaving the Annex as the only building on the property. Additionally, the principal façade of the Annex was now regarded to be the one on the east, as represented in its address as 400 Maple Street.

Other exterior modifications include the:

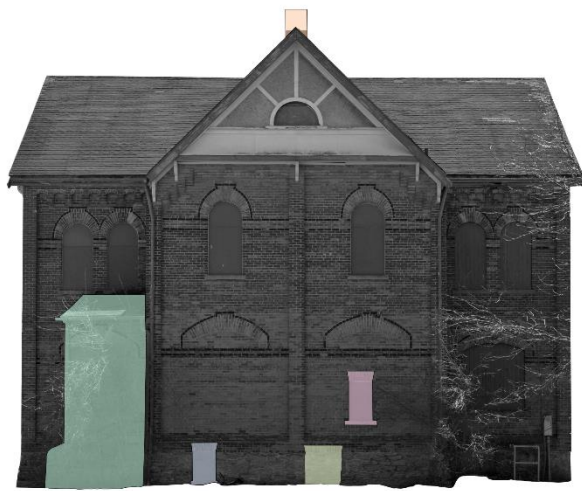
- Concrete porch decks with iron pipe railings and balustrade;
- Light fixtures;
- Sectional aluminum gutters and downpipes; and,
- Removal of the south, single-storey wood addition.

Changes also occurred on the interior, and include:

- Office partitions, walls, and drop ceilings on the first level;
- Metal window inserts on the first level;
- Removal of many sections of flooring on the second level;

- Interior transoms are covered;
- Removal of the central stairs; and,
- Installation of male and female washroom facilities in the basement level.

A composite view of the structural phases seen on the exterior today is shown in Figure 9.



NORTH FAÇADE



EAST FAÇADE



SOUTH FAÇADE

Phase 3:
c. 1955-2020

- 7 Concrete porches
- Other changes: South addition removed / interior offices and bathrooms / removal of stairs, floorboards

Phase 2:
c. 1918-c. 1955

- 4 5 6 Small windows in blind arch / Basement windows / Central chimney
- Other structures (now demolished): East entrance porches / south wood addition

Phase 1:
1895-c. 1918

- 3 Orig. basement windows (now blind)
- 2 Basement access addition
- 1 Annex construction w. dual chimneys, whitewash on E. façade/ finials or lightning protection

Figure 9: Rectified photography showing phasing on the north, east, and south façades of the Annex.

5.0 EXISTING CONDITIONS

The information provided in the following sections are intended to supplement or clarify the property and Annex descriptions found in the Murdoch reports (APPENDIX A and APPENDIX B). The setting and views into and from the property are only briefly mentioned by Murdoch, and some of the dimensions and architectural terms for the Annex have been further defined. A full description of the interior features is described here since Murdoch could not access these spaces during her investigations.

5.1 Setting

The property is rectangular in shape and oriented north-south, covering 0.599 hectares (1.48-acres) and measuring 60.6 m on the north and south frontages, and 99.4 m long on the east and west boundaries (Travis Planning Consultants 2020:4). The topography is flat and rises very gradually toward the footprint of the Annex, which is on the west-central portion of the lot (Figure 10 and Figure 11).

Most of the property is cleared and covered in grass. North of the Annex there is a large area of gravel, while immediately to the east is an area of concrete that surrounds the east façade. Two short sections of paver footpaths extend from the Annex entrances, one travelling northeast from the east entrance, and the other directed to the southeast. Further to the east of the Annex is a grassed area with isolated small trees. Larger trees line the western boundary of the lot or are found interspersed among the other street lines. All boundaries are demarcated by a medium-height, metal chain-link fence that has three gates, one on each of the surrounding streets.

The flat topography and small number of mature trees allow for clear views of surrounding properties, particularly from the second level of the Annex. Several adjacent properties appear to have heritage potential, but only one — a brick Queen Anne-style residence at 402 Maple Street southeast of the property— is designated under Part IV of the *Ontario Heritage Act*. Further east, at 77 Sixth Street, is another municipally designated brick Queen Anne-style house, but this cannot be seen from the property, nor is the property visible from that address. However, views of the Annex from the nearest surrounding streets and properties are clear and unimpeded, and the surrounding architecture is a mix of historic and contemporary residential styles, none of which exceed two storeys in height.



Figure 10: View of the property facing south showing east and north lawns and north façade of the Annex (April 2016).



Figure 11: View of the property facing southwest of the Annex showing the flat and gently rising topography (April 2016).



Figure 12: View of the property facing west, showing the south, east, and north lawns and the east façade of the Annex (April 2016).



Figure 13: View of the property facing northwest (April 2016).



Figure 14: View from the property facing north (April 2016).



Figure 15: View of the property facing northwest from the southeast side of Sixth Street (April 2016).



Figure 16: View from the centre of the property facing south toward 402 Maple Street (May 2016).



Figure 17: View facing southwest of the municipally designated heritage property at 402 Maple Street (April 2016).



Figure 18: View facing west of the municipally designated heritage property at 402 Maple Street (April 2016).



Figure 19: View facing northwest showing the visual relationship between 402 Maple and the Annex (April 2016).



Figure 20: View facing north of the municipally designated heritage property at 77 Sixth Street (April 2016).



Figure 21: Streetscape of Fifth Street facing west from east of Maple Street (April 2016).



Figure 22: Streetscape of Fifth Street facing east from near the corner of Beech Street (April 2016).



Figure 23: View facing southeast of a heritage structure on Fifth Street northwest of the Annex (which can be seen in the background) (May 2016).



Figure 24: Streetscape of Maple Street facing south from north of Fifth Streets (April 2016).



Figure 25: Streetscape of Sixth Street facing west from near the intersection with Maple Street (April 2016).

5.2 Built Environment

5.2.1 The Annex

5.2.1.1 Exterior

The Annex is a single-detached, four-bay structure with overall dimensions of 58 feet east-west by 54 feet north-south. It has a cruciform plan composed of a tall, east-west oriented main block with gable roof, and shorter north and south transepts with cross-gables. The long façades of the main block are oriented parallel with Fifth and Sixth Streets, while the shorter east end wall and gable faces Maple Street. On the north transept, the wall height is 25 feet from top of the foundation to bottom of the eave, while the height of the main block's east end wall from the top of the foundation to the soffit is 28 feet.

Golder concurs with the architectural descriptions provided by Murdoch with the following terms added as preference:

- The building is composed of a *main block* and *transepts* (the latter is preferred to Murdoch's 'smaller gabled projections') (Figure 26, Figure 27, Figure 28, Figure 29, and Figure 30);
- Instead of 'rubblestone', the material and masonry technique used for the foundation can be described as *coursed rubble* (see Brunskill 1978:39) (Figure 31). The courses of buff-coloured brick laid in step-like fashion four courses above the coursed rubble foundation can be referred to as the *water table* (various sources) (Figure 32);
- The non-structural columns in the centre of the façade walls are referred to by Murdoch as 'pilasters'. However, since these lack a base and capital, the preferred term is *lesene* (also known as pilaster strip) (see Pevsner 2010:79) (Figure 33);
- The vertical mullions and division of lights in the arched windows on the east façade identify them as *Diocletian windows* (various sources) (Figure 34);
- The preferred term for the 'bands' of buff and black-coloured brick are *belt courses* (various sources) (Figure 35);
- The 'brick arcading' seen on the north and south façades is an *arched corbel table* (see Atkinson 2004:77) (Figure 36);
- The 'carved wood brackets' can be described as *grooved and perforated quarter-round brackets* (see Alcock et al. 2014:F31) (Figure 37); and,
- The 'geometric block pattern' on the main block gables and the 'sunburst' of the north and south cross-gables may be termed *decorative half timbering* (common in the Tudor Revival style), but are more probably 'stick' decoration, indicating the design of the building also incorporates the 'Eastern Stick' style, popular between 1860 and 1910 (Blumenson 1981:54; Penney 1989:86-87). Additionally, the gables have a *pent roof* (Stephen 1972:49) (Figure 38 and Figure 39).



Figure 26: The north façade of the Annex (May 2016).



Figure 27: The east and north façades of the Annex (May 2016).



Figure 28: The east façade of the Annex (May 2016).



Figure 29: The south and east façades of the Annex (May 2016).



Figure 30: The south façade of the Annex (May 2016).



Figure 31: The coursed rubble foundation (northeast corner of the main block) (May 2016).



Figure 32: The brick water table (northeast wall of the main block) (May 2016).



Figure 33: Lesenes or pilaster strips on the corners and centre of the north transept (May 2016).



Figure 34: Diocletian windows on the east end wall of the main block (May 2016).

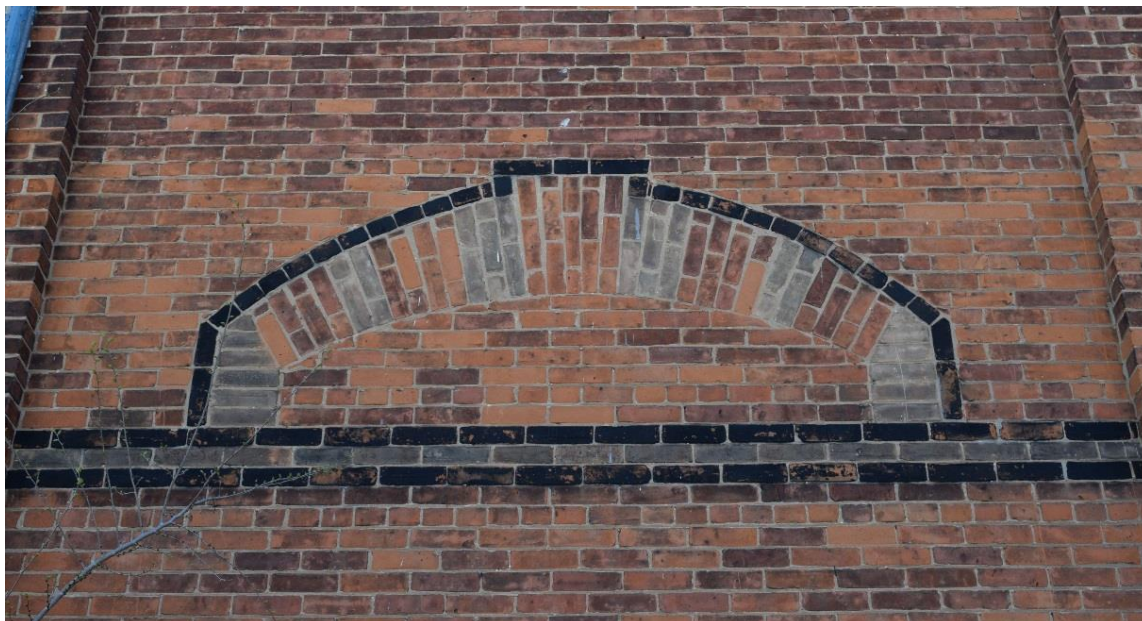


Figure 35: Dichromatic brick belt course and blind window voussoirs on the north wall of the north transept (May 2016).



Figure 36: Arched corbel table on the east wall of the south transept (left) and south wall of the main block (right) (May 2016).



Figure 37: Grooved and perforated quarter-round brackets at the eaves and pent roof of the north transept (May 2016).



Figure 38: 'Stick' decoration on the east gable of the main block (May 2016).



Figure 39: 'Sunburst' Stick decoration and pent roof on the south transept cross-gable (May 2016).

5.2.1.2 Interior

The Annex interior has four levels—a basement, first level, second level, and attic—which are described individually below (Figure 40).

5.2.1.2.1 Basement

Access to the basement is from both the interior and exterior, the former via staircases in the south and north transepts, and the latter through the one-storey addition on the Annex' southwest corner. The basement space is divided into seven spaces: three large rooms, two bathrooms, a hot-water heater room; and a furnace room (Figure 41, Figure 42, and Figure 43). Nine windows light the space and are present on all facades.

The basement stands approximately six feet high and is finished with a concrete floor and industrial tube lighting fixtures, although the brick and stone walls have simply been painted white, and the piping that runs along the ceilings is exposed. A modern furnace with aluminum ducts is centrally located, but the original 'Oxford' hot air furnace is still extant in the wall dividing the central east and west spaces (Figure 44). Also present, and likely related to the Oxford furnace, is a brick-lined channel extending east from the furnace and covered by wood planking (Figure 45), and large brick coal bins built into the north and east walls of the furnace room.

Some of the bathroom sinks and taps have been removed but based on the surviving features these are likely to have been modern fixtures. A metal shower remains in the 'boys' bathroom, as do the metal partitions for two stalls (Figure 46 and Figure 47). A higher number of metal stalls are present in the 'girls' bathroom, and this space has been painted a lime green (Figure 48).

In the north and south rooms are some surviving original windows, and in the north room there is an original cast hot-water radiator with floral design placed unusually in the ceiling. In some places the floor joists are visible, and these are 2 × 10-inch circular sawn planks laid running east-west on a 24-inch centre.

5.2.1.2.2 First Level

There are two entrances to the first level, both on the east façades of the north and south transepts (Figure 49 and Figure 50). From the location of the boys' and girls' bathrooms in the basement, it is presumed that the boys' entrance was in the south transept, while the girls' entrance was in the north transept. Both entrances lead directly to the stairways for access to the basement or second level, and therefore would enforce gender separation for all movement through the building until students entered the central classrooms. Unfortunately both stairways to the second level have been completely removed.

Overall the first level has been divided into nine spaces. Early alterations include placing a bathroom in the north transept and a custodial supply room in the south transept (Figure 51). The classrooms are centrally located and each are 32-feet square. The east room retains this original space, but the west room has been divided into a common area and three office spaces using metal dividers and fibreboard partitions. These partitions and walls do not extend to the full 10-foot wall height but to a lower drop ceiling. Original trim and transom spaces are visible in the interior doorways (Figure 52, Figure 53, Figure 54, and Figure 55)

Most of the walls retain wood wainscoting, high chair rails, and transoms, indicating the original plaster may also survive in most rooms. A slate blackboard with wood chalk well hangs in the south wall of the east classroom and another may survive beneath a corkboard on the room's west wall. Some sections of the wood flooring in the east room has been entirely removed, although in one portion a more recent flooring has been pulled up to reveal varnished tongue-and-groove flooring marked with circles, likely for shuffleboard or similar game. The light fixtures have been replaced with modern industrial types and in some cases the wood doors have been unhinged. Also

missing are the hot-water radiators, the former location of which is evident from paint patterns on the walls and pipes extending from the floor (Figure 56, Figure 57, and Figure 58).

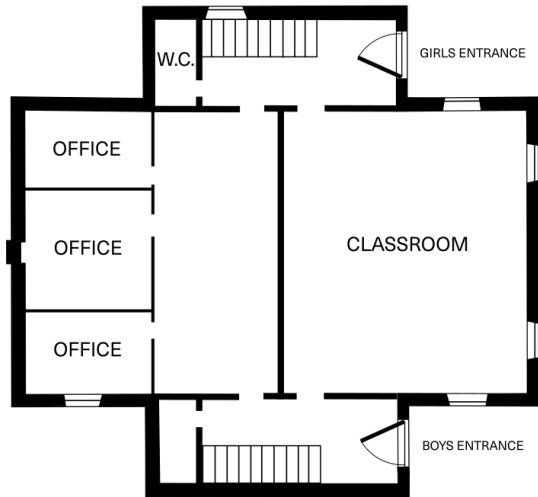
5.2.1.2.3 Second Level

The overall division of space —two stairways and two central classrooms— is continued on the second level. The north and south transepts have also been subdivided into offices, although the walls for these have been removed (Figure 59 and Figure 60). The classrooms are identical except that in the west room there is a single slate blackboard, and a 'lab'-type cabinet and desk near the east wall. Two blackboards also survive in the east room, one on the west dividing wall and the other on the south wall. Like the first level, sections of the floor have been taken out, and in the east room there are also concentric rings on the floor. However, the latter have been painted on a coarse fabric or sackcloth floor covering rather than directly on the wood floorboards. A notable feature of the west room is a coal chute and cleanout with metal plate door (Figure 61, Figure 62, Figure 63, Figure 64, Figure 65, and Figure 66).

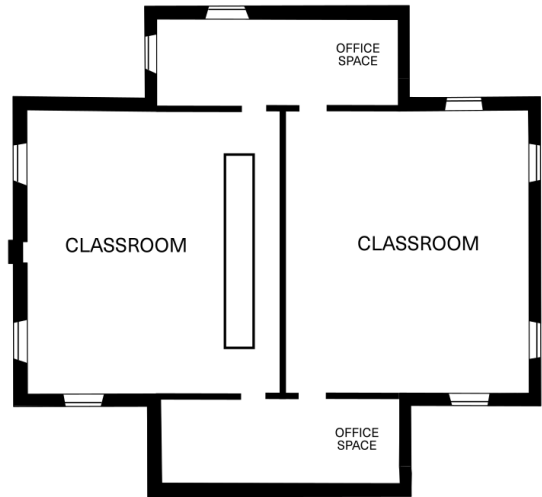
The finishes of the second level are the same as those of the first, and the walls are plastered. Where some of the covering has been removed, the plaster 'keys' are clearly visible (Figure 67). Preservation on this floor is more extensive than the first level despite total removal of the landing and stairs, and radiators. Like the first level, the ceilings are high.

5.2.1.2.4 Attic

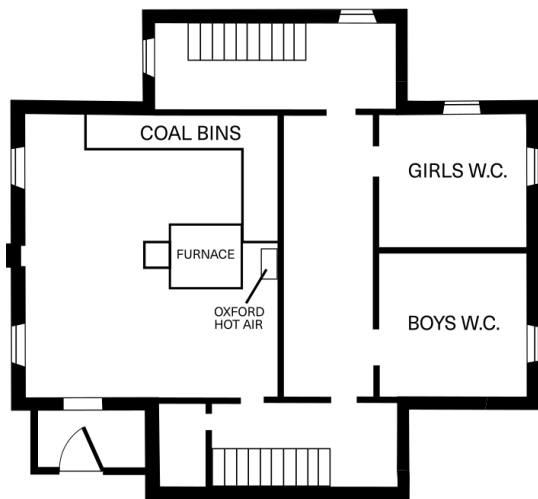
Entrance to the attic is through a hatch on the ceiling of the second level but this space was not accessed during Golder's investigations. However the roof structure was photographed through the hatch and revealed the construction to be relatively light rafters with flush-laid roof boards rather than purlins (Figure 68).



FIRST LEVEL



SECOND LEVEL



BASEMENT

VICTORIA SCHOOL ANNEX 400 Maple Street TOWN OF COLLINGWOOD

SCHEMATIC FLOOR PLANS

Surveyed by: CL
Drawn by: HCC
Surveyed: 6 May 2016
Drawn: 11 May 2016
Base data courtesy:
IBI Group Architects
NOTE: Not to Scale

Figure 40: Schematic floor plans for the Annex interior.



Figure 41: Basement of the north transept, facing west (May 2016).



Figure 42: Basement of the south transept, facing west (May 2016).



Figure 43: The west furnace room, facing north (May 2016).



Figure 44: The Oxford furnace on the east wall of the furnace room, facing northeast (May 2016).



Figure 45: Interior of the brick channel running west from the furnace (May 2016).



Figure 46: View facing north of the 'Boys' bathroom showing the former location of sinks (May 2016).

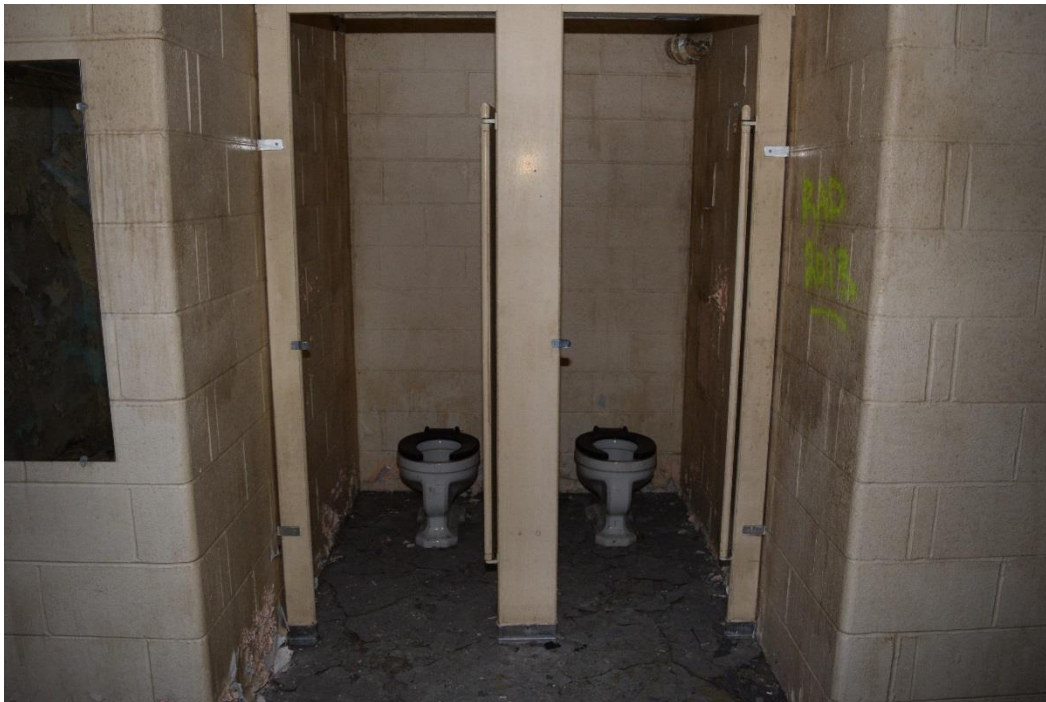


Figure 47: Toilet stalls in the 'Boys' bathroom (May 2016).



Figure 48: Toilet stalls in the 'Girls' bathroom, facing east (May 2016).



Figure 49: First level of the north transept, facing west (May 2016).



Figure 50: First level of the south transept, facing west (May 2016).



Figure 51: Toilet in the first level of the north transept, facing northwest (May 2016).



Figure 52: View facing southeast of the east, first-level classroom (May 2016).



Figure 53: View facing south of the east first-level classroom (May 2016).



Figure 54: View facing south of the west first-level classroom, now divided into offices (May 2016).



Figure 55: View facing north of the west classroom offices (May 2016).



Figure 56: Former hot-water radiator location, wainscoting, chair rail, and window trim in the east first-level classroom (May 2016).



Figure 57: Door architrave and transom in the east first-level classroom (May 2016).



Figure 58: Concentric ring markings in the floor of the east first-level classroom (May 2016).

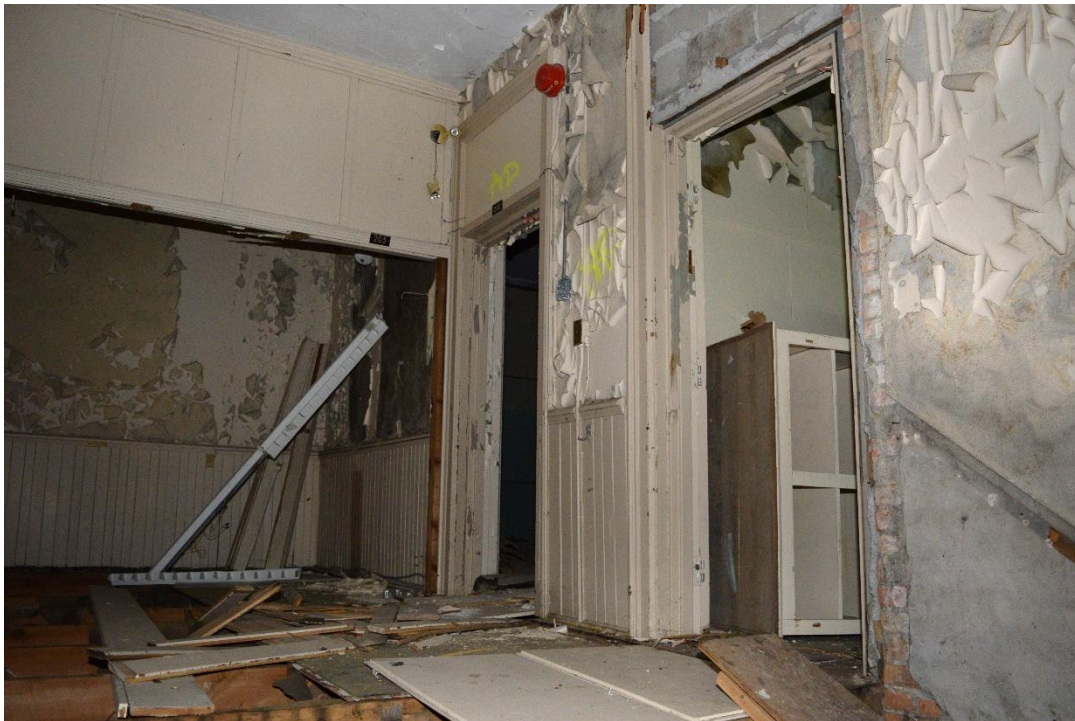


Figure 59: Second level of the south transept, facing west (May 2016).



Figure 60: Second level of the north transept, facing east (May 2016).



Figure 61: View facing north of the west second-level classroom (May 2016).



Figure 62: View facing south of the west second-level classroom (May 2016).



Figure 63: View facing north of the east second-level classroom (May 2016).



Figure 64: View facing east of the east second-level classroom (May 2016).



Figure 65: Painted sackcloth flooring in the second level classroom (May 2016).



Figure 66: Coal chute in the second level classroom (May 2016).



Figure 67: Plaster 'keys' as seen in the second-level classroom (May 2016).



Figure 68: Room framing and planking as seen through the attic access (May 2016).

5.2.1.3 Integrity

The concept of ‘heritage integrity’ is closely linked to ideas about preservation and authenticity, rather than structural condition. In this context heritage integrity refers to the literal definition of ‘wholeness’ or ‘honesty’ of a historic place, and is measured by understanding how much of its historic, social, spatial, aesthetic or contextual value survives (English Heritage 2008:45; Historic Scotland 2007:18).

Unlike structural integrity, heritage integrity can prove difficult to quantify, in part because there is no widely accepted criteria. The MTCS *Ontario Heritage Tool Kit: Heritage Property Evaluation* (MTCS, 2006) stresses the importance of assessing the heritage integrity and physical condition of a structure in conjunction with evaluation under *O. Reg. 9/06*, yet does not provide specific guidelines for how this should be carried out. Similarly, Kalman’s *Evaluation of Historic Buildings* includes ‘integrity’ as a criteria, yet offers only general statements to determine overall integrity under the sub-elements of ‘Site’, ‘Alterations’, and ‘Condition’.

Research commissioned by Historic England in 2004, however, proposed a method for determining levels of change in conservation areas (The Conservation Studio 2004) that also has utility for evaluating the integrity of individual structures. To evaluate the heritage integrity of the Annex, Kalman’s and the Historic England approaches have been combined, and the results presented in Table 3:

Table 3: Integrity Analysis for the Annex (2016).

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Site location	400 Maple Street	None	100	Very Good	Original site and lot size
Footprint	Cruciform-plan	Wood frame addition removed	100	Very Good	No comment
Wall	Brick	Repointing on all façades in Portland cement	95	Very Good	Overall good
Foundation	Stone	Repointing on all façades in Portland cement	95	Very good	No comment
Exterior doors	Wood	All exterior doors replaced with wood composite doors	60	Good	The original wood doors have been removed and replaced with double-leaf composite doors, but still constructed in wood.
Windows	Wood	Steel insert	70	Good	The original wood framing survives but most windows have been replaced with steel inserts.
Roof	Unknown covering, wood fascia, frieze, soffit, and brackets	Asphalt shingle	90	Very good	Apart from the asphalt shingles (which may have also been applied historically), the roof maintains its original shape and details

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Chimneys	Three	All but central chimney removed	50	Fair	The gable chimneys are still evident in the gables and appear to have been removed only above the ridgeline.
Water systems	Unknown, likely iron	Steel gutters and rain water leaders	0	Poor	No comment
Exterior decoration	Window lug sills, polychromatic brick, brackets, gable framing, whitewashed east façade	East façade whitewash removed	100	Very Good	No comment
Porches/ exterior additions	One-storey brick addition to south façade pre-1904 Porch added to east façade doorway by 1918 One-story wood addition to south façade pre-1954	New porch added over south façade door	60	Good	Only one addition has been removed, and it may not have been intended as a permanent structure. The porch over the south façade is incompatible as the roof slope is steep and the base construction is entirely in poured concrete.
Interior plan	All details of interior plan are unknown but likely follow existing divisions	New rooms for custodial and bathrooms on all levels	75	Good	Overall the original floorplan survives intact.
Interior walls	Lathe-and-plaster	Some sections replaced with plasterboard	60	Good	The extent of change to the walls is unknown but the presence of original wainscoting, chalk rails, slate blackboards, and interior doors and transoms suggests that a high proportion of the original wall fabric is intact

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Interior trim	Wainscoting, chalk rails, and door surrounds	Minimal replacement	90	Very good	The extent of change to the interior trim was not calculated but even in renovated spaces the tall moulded trim is still extant
Interior features (e.g., hearth, stairs, doors)	Slate blackboards Interior door transoms, 'Oxford' furnace	Stairs from first to second floor removed, some flooring removed; hot air radiators removed	60	Good	There is a significant level of preservation for interior features, including original heating and vent systems
Landscape features	Garden plots, brick toilets and presumed features such as play areas	All features removed when the Central School was demolished in 1969	50	Fair	Landscape rating of poor is based on the assumption that a number of structures and features were present in the property to support its use as a playground and for outdoor education
AVERAGE OF RATE OF CHANGE/HERITAGE INTEGRITY			72	Good	Rating of Good is based on original element survival rate of between 50-75%

Overall, the Annex has a high (Good) level of heritage integrity.

5.2.1.4 Physical Condition

The condition of the foundations, exterior walls, roofing, and interior of the Annex ranges from fair to good. The condition assessment presented in Table 4 is based on a checklist developed by Fram (2003), but these observations are based solely on non-specialist, non-systematic, superficial inspection and should not be used to determine the overall structural integrity of the building.

Table 4: Physical Condition Assessment (2016).

Element	Observed Conditions
Building site	In general the topography appears to slope away from the Annex and there were no areas of standing water Vegetation is thick along the west façade and appears to be impacting the foundation
Roofs	There is no sagging in the roof ridge lines Rot or damage is not visible in the fascias, soffits, brackets, or eaves and the flashing and gutters appear sound The asphalt roof covering is in poor condition in some sections of the south faces, and some shingles are missing Water damage to the lathe-and-plaster is evident in the ceiling in the northwest corner of the west second-level classroom, indicating a roof leak (Figure 69)

Element	Observed Conditions
	The chimney and cap appears sound
Walls	<p>Overall the masonry appears sound, although some areas have been extensively repointed in Portland cement, which has exacerbated the opening of mortar joints, spalling, and exfoliation</p> <p>A section of outer wythe on the brick basement access has collapsed (Figure 70)</p> <p>A section of the corbel table on the south façade has collapsed and is surrounded by displaced bricks (Figure 71)</p> <p>In the same section as the corbel table damage, bricks have been displaced from the voussoirs and central column of the combined arched windows (Figure 71)</p> <p>In some areas brick above and below the water table has eroded, spalled, and exfoliated (Figure 72)</p> <p>Efflorescence was not observed</p>
Foundations	<p>On the southeast corner the mortar joint has opened and there is some displacement of the stones</p> <p>Elsewhere the foundation appears sound, with the exception that there has been some mortar wash-out or poorly executed repointing in Portland cement that has exfoliated, creating open joints.</p> <p>No buckling or bulging was observed</p> <p>A section of the foundation has been poorly breached to run cast-iron piping</p>
Windows and Doors	Most windows are covered in plywood but the wood framing as seen from the interior appears to be in good condition
Porches and Extensions	<p>The porches exhibit minor cracking and exfoliation</p> <p>The roof systems and supports appear sound</p>
Basements	<p>There is standing water in the central furnace room</p> <p>Exfoliated brick is present in the southeast exterior access stairway</p> <p>Exfoliated paint and rust on metal surfaces in the basement spaces suggests a high level of moisture infiltration</p> <p>No sagging was noticed in the basement ceiling</p>
Living and working spaces	<p>There is considerable damage to the interior spaces through partial demolition, the most significant of which is the removal of the first and second level stairways.</p> <p>However, despite superficial vandalism and moisture damage, many of the original wall finishes remain intact.</p> <p>The paint exfoliation suggests a high level of moisture infiltration</p>
Attics, shafts, and concealed spaces	Not assessed



Figure 69: Water damage in the northwest corner of the west second-level classroom (May 2016).

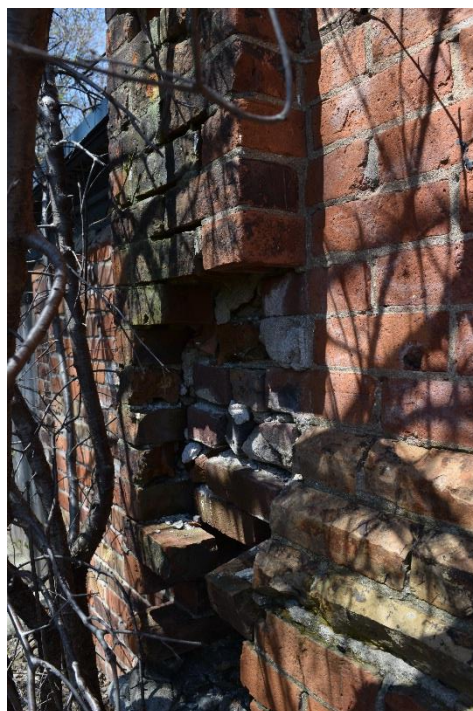


Figure 70: Section of collapsed outer wythe on the brick basement access addition (May 2016).



Figure 71: Missing and displaced section of arched corbel table, voussoir, and window column on the southwest façade of the main block (May 2016).



Figure 72: Erosion, exfoliation and spalling of the brick and stone construction on the southeast corner of the main block (May 2016).

5.2.1.5 Interpretation

Although victim to repairs with inappropriate material, long-term vacancy, and environmental damage from the late 20th Century onward, the Annex retains much of its original appearance, fabric, and division of space on both on the exterior and interior. All three of these elements contribute to understanding the building as a school, which was designed explicitly with quality, permanence, and gender separation in mind. The architecture of the Annex is therefore not simply a product of an aesthetic preference for the Romanesque Revival style (with possible Eastern Stick influence on the gables) but a tangible reflection of the high quality of education provided within, and a structurally reinforced philosophy that this level of education required reducing fraternization between boys and girls until supervised within the classroom. However, there were also considerations for an open and bright internal environment, effected through high ceilings, provisions for natural light through large windows and transoms, and sophisticated heating and ventilation systems. Other surviving details are more directly practical. High wainscoting is often seen in historic school buildings to prevent plaster damage, and large spaces in the stairways of the Annex may have served had clothing hooks and storage areas. Similar attitudes and spatial concepts were expressed in school buildings erected across Canada during the same period (such as the Lunenburg Academy National Historic Site of Canada, see Hale 1983:233 and Cary 2013).

In terms of social significance, school buildings are often central to community identity and memories, sometimes experienced and appreciated by individuals and groups as much as a church, if not more (Historic England 2005:Sec. 2.3). This heritage is recognized today: the UK's heritage body Historic England has developed a 'model brief' specifically for school buildings, and in Ontario alone, there are 53 schools listed in the *Canadian Register of Historic Places* (search terms 'education' and 'primary or secondary school'). The latter number does not include institutional buildings such as Collingwood's East Ward/Connaught School at 125 Napier Street, which is deemed significant by the Town but is not recorded on the national Register (Figure 73). The long period of vacancy has diminished the importance of the Annex to some degree, since there is no longer yearly output of alumni, but it is still regarded as a local landmark for its imposing height and location on a large and open lot.

This prominence is now greater than when originally constructed because it is no longer an annex to a larger structure. With demolition of the Victoria School, the Annex assumed its Maple Street address and perhaps its principal façade then moved to the east; however, for the preceding seventy-four years the most visible side of the building was its north façade, with the south partially obscured by additions and toilet outbuildings. There are several other architectural details that suggest the north façade was intended as the public face of the building. These are:

- The longer and taller axis of the main block, which is oriented north-south and parallel with Fifth Street.
- In early photographs, the east façade is shown as uniformly white-painted or whitewashed, unlike the polychromatic brick used for the other facades.
- The arched corbel table is more prominent on the north and south façades of the main block.
- The more decorative 'sunburst' gable design is only used on the north and south transept façades.
- The now demolished gable chimneys were meant to convey symmetry for the north and south façade; these would have disrupted the symmetry of the east façade.
- An additional opening type—the segmental arch with 'keystone' design—is found only on the north and south transept façades.

Despite the original intent to have the north face as the principal façade, the east façade has been building's primary face for the past forty-seven years. Views of this east façade have been selected for preservation in the draft of subdivision approved by the Town.



Figure 73: The rehabilitated and adaptively re-used East Ward/ Connaught School at 125 Napier Street in the Town of Collingwood (April 2016).

5.2.2 402 Maple Street

402 Maple Street is a single-detached, two-storey residence on the corner of Maple and Sixth Streets, south of the property. The residence dates to 1901 and is of a modest Queen Anne style, taking full advantage of a prominent corner plot with a deep veranda on the property's northern facade. The plot is surrounded by cast iron railings and a gate. The inventory listing suggests the property was constructed for (and possibly in part, by) Alfred and Mary Northcott. Alfred Northcott was a local craftsman and painter (<http://www.heritagecollingwood.com/ss-402-maple-street/>).

The property is of irregular, broadly rectangular, original plan, with the central block of the residence orientated east to west, parallel with Sixth Street. It has a cross-gable roof form comprising three offset gable ends, with a shorter transept on its northern (Sixth Street) side. The main gable end is on the eastern, Maple Street façade, with a small decorative dormer on the smaller, central block, above the front door, and there are two brick chimney stacks on the southern edge of the roof.

Coursed (grey) rubble foundations meet an orange-red brick façade above a basement level where windows are visible below ground level. The original windows of 402 Maple Street are wide, segmental arches, topped with voussoirs which connect with brick banding around property façade. There is also a small semi-circular, split window featuring a sunburst paned detail, on the prominent eastern gable end. This gable end is supported by decorative grooved brackets with rounded joins attaching to the soffits, a style echoed in the fencing detail of the

property's veranda. The wide, wrap-around veranda is typical of the period and is enclosed with original handrails and a panelled ceiling. Original character features of the property also include the art glass, including decorative leadwork, which appears in the transom, single light windows on the ground and first floors, and the panelled window light above the front door.

Later additions to the property exterior include a c.1946 concrete lean-to garage on the southern façade and a 1980s extension to the rear (on the west side).



Figure 74: The eastern façade and entrance of 204 Maple Street (May 2016)

The view of the front (east) and north facades of the property from Maple and Sixth streets and the 'picturesque setting' are mentioned as a specific heritage attribute in the property designation By-Law No. 2012-004). The property is set within a residential zone, characterised by a spacious, tree-lined streetscape with wide grass verges intersected by driveways / off-road access. The surrounding residential properties are a combination of historic and contemporary styles, not exceeding two-storeys in height, with deep set-backs and within spacious, lawned plots.

The prominence of the corner plot position afforded to 402 Maple Street provides open views towards the Victoria Annex and the lands of the adjacent subject property. A number of similar features can be found on both properties (e.g. two-storey, masonry type, decorative brick banding, transom windows, voussoir details, grooved gable brackets, coursed rubble foundations etc.) and the visual linkage between the two properties can complement their individual heritage significance and the telling of the 'historic story' of Collingwood. The relationship between the two is however, not considered significant as there is no direct historical, functional, or contextual connection between the two properties.



Figure 75: The eastern façade and entrance of 204 Maple Street, Victoria Annex property visible in the background (May 2016)



Figure 76: The eastern façade and entrance of 204 Maple Street, showing adjacency with the Victoria Annex property (May 2016)

6.0 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

6.1 Victoria Annex, 400 Maple Street

The SCHVI for 400 Maple Street, as provided in Town By-Law 2019-083 uses the text drafted for Murdoch's designation report and combines the "Description of Property" with the "Statement of Cultural Heritage Value or Interest" sections.

STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The former Victoria School Annex building erected in 1894 on Maple Street represents the final stage in the chronology of Collingwood's first common or public school, Centre Ward School, from makeshift classrooms elsewhere in the 1850s, to the sale of the Annex property by the Simcoe County District School Board in 2004. The Maple Street property was in continuous use for educational purposes from 1884 until 2001, resulting in a long-standing association of the site with Collingwood's elementary school aged children, parents, staff, and administrators.

The main school building erected on this site in 1884 and demolished about 1969 was designed by Collingwood architect Marshall B. Aylesworth and built by local contractors. It was a well executed, locally rare example of the Romanesque Revival style of architecture being applied to institutional use.

The standalone Annex building, erected at the west, was designed to match the style and form of the main school building. The contract for its construction was awarded to Frank W. Bryan with Collingwood builders John Chamberlain, D. Peterman & Sons, and other local tradespeople. Although this attributes Bryan with the design, the Annex is a near duplicate of the 1884 school. It could be argued that with the removal of the earlier building, the Annex also now represents Aylesworth's work at this site.

Like the 1884 school, the Annex illustrates the 19th century philosophy that a school building should be inspiring and have certain features such as separate entrances for boys and girls and natural lighting. The plan, massing, gable designs, masonry, decorative and polychromatic (red/buff) brickwork accented with black dye, round and segmental door and window openings together form an attractive composition.

There has been a school building on this property since 1884. The 1894 Victoria School Annex is a neighbourhood and town landmark.'

HERITAGE ATTRIBUTES

The only heritage attribute of the property is the 1894 Romanesque Revival style school Annex building, elements of which include:

Exterior Only

- Cruciform plan, height, massing, and symmetry
- Cross gable, medium pitch roof type
- Fenestration (window placement, shape, dimension, and sash type)
- Red-orange and buff-cream coloured brick masonry with buff coloured lime based mortar
- The use of black pigment on selected bricks as banding and edging

- All decorative brickwork, including corbelling, arcading, pilasters, and bands
- All woodwork, including moulding and carved brackets
- Rubblestone foundation
- All elements of the gables
- All original door openings, with separate boys' and girls' entrances

6.2 402 Maple Street

The SCHVI for 402 Maple Street, as provided in Town By-Law 2012-004 also combines the “Description of Property” with the “Statement of Cultural Heritage Value or Interest” sections.

STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

This property contains a two storey dwelling believed to be built in 1900-1901 for Alfred and Mary Northcott. There is a local tradition that Alfred intended the dwelling to be an example of his craftsmanship as a painter, as well as a showpiece for fashionable architectural components available locally and by import. At the date of construction, Alfred was probably working for Wilson Bros. of Collingwood, manufacturers of building materials and architectural components. He died in 1903. The variety of art glass used as transoms and accent windows; [sic] and the composition of the front door case, are outstanding features of this dwelling. Some later finishings may be attributable to Alfred and Mary's son, William Roy Northcott, who was a painter and decorator. He died in 1933. His widow Maria sold the property in 1943. The dwelling may have been used as a “birthing” or maternity home from about 1943 to 1947. This is a corner property opposite the landmark Central/ Victoria Public School annex building. The dwelling has a picturesque setting and represents the period during which Alfred and his son Roy Northcott were painters and decorators.

HERITAGE ATTRIBUTES

The cultural heritage value or interest of this property is expressed by the heritage attribute of the 1900-1901 dwelling erected for Alfred and Mary Northcott. This does not include the 1984 rear (west) addition or the c.1946, concrete block garage. The original components of the dwelling important to its cultural heritage value include:

- the overall form, massing, height, and scale of the original structure, not including the 1984 rear (west) addition
- the cross gable form of the roof; [sic] and the prominent and lesser gables
- all original segmental window openings, transoms, lugsills, frames, and sashes; [sic] and accent windows
- all art glass
- the masonry, including red-orange brick, raised banding, labels, voussoirs or heads over the window openings, and coloured mortar
- the form and massing of the wraparound veranda and its roof; [sic] original handrails and supports; [sic] and tongue and groove, narrow board ceiling

- all components of the front (east) door case including the transom, wood frame, casement doors, builder's hardware, and storm system of an exterior transom and casement doors
- the view of the front (east) and north facades of the dwelling from Maple and Sixth streets

7.0 IMPACT ASSESSMENT

7.1 Development Description

Maple Street LP is proposing to adaptively re-use the Victoria Annex and develop the property for nineteen dwellings:

- four, single-detached dwellings at the northwest, northeast, southwest, and southeast corners of the property
- ten, semi-detached dwellings with central recessed garages in the north-central, east-central, and south-central portions of the property
- two apartment dwellings in the Victoria Annex with a detached garage
- a Coach House with integrated covered vehicle parking and three apartments.

A private road from Maple Street will be created to access the Victoria Annex (i.e. the eastern frontage), and a new “Coach House” and parking structure. The new dwellings will be accessed directly from the public right of way (i.e. off Fifth, Maple and Sixth Streets). Plans depicting the proposals in detail are included in APPENDIX C and APPENDIX D.

Summary of Works Proposed for Annex:

The scope of the work proposed aims to bring the exterior of the structure back to its original physical condition, in accordance with new building technology and the applicable building codes. This work will include:

- Dividing the interior space into two apartments.
- Repairing and pointing the exposed stone foundation wall:
 - including waterproofing and installing a protective membrane and window wells to accommodate the required raising of the grade to provide positive drainage
 - limiting replacement and pointing as much as possible, in favour of repair.
- Replacing all existing windows with period profile double hung windows with similar series divisions.
- Installing a complete black asphalt shingle roof.
- Removing the existing (not original) porch roofs and installing wooden replacements, with new wood porches proposed for the north west and south west corners of the Annex.
- All four existing gable ends will be restored with their original sunburst design and panelled pediments
- Installing double French doors into the existing openings on the north west and south west corners of the lower levels of the building, with a single glazed main door constructed in the existing window opening on the second floor elevation.
- Works on the western façade will be limited to porch repair.
- A detached double garage will be constructed to the northeast of the Annex.

Summary of New Construction Proposed:

- Four, single-detached dwellings at the northwest, northeast, southwest, and southeast corners of the property:
 - The single-detached dwellings at the northeast and southeast corners of the property will have detached single-vehicle garages.
- Ten, semi-detached dwellings with central recessed garages in the north-central, east-central, and south-central portions of the property.
- Four apartment dwellings in the (redeveloped) Victoria Annex.
- Covered vehicle parking and one apartment dwelling in a new “Coach House” structure, to the southeast of the Victoria Annex

These proposals differ from the existing Zoning By-Law R3-38 Building Envelope schedule (Appendix C) in that:

- The private road is now reduced to a single route from Maple Street;
- Each lot will have a direct entry driveway from the adjacent street;
- The setbacks are now consistent with adjacent properties; and
- The Coach House is now detached from the Annex.

7.2 Impact Assessment

When determining the effects a development or site alteration may have on known or identified built heritage resources or cultural heritage landscapes, the MHSTCI *Heritage Resources in the Land Use Planning Process* advises that the following “negative impacts” be considered:

- *Destruction* of any, or part of any, significant heritage attributes, or features²
- *Alteration* that is not sympathetic or is incompatible, with the historic fabric and appearance³
- *Shadows* created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden⁴
- *Isolation* of a heritage attribute from its surrounding environment, context or a significant relationship⁵
- *Direct or indirect obstruction* of significant views or vistas within, from, or of built and natural features⁶

² This is used as an example of a *direct* impact in the MHSTCI *Info Bulletin 3*.

³ A *direct* impact in the MHSTCI *Info Bulletin 3*.

⁴ An *indirect* impact in the MHSTCI *Info Bulletin 3*.

⁵ An *indirect* impact in the MHSTCI *Info Bulletin 3*.

⁶ An example of a *direct* and *indirect* impact in the MHSTCI *Info Bulletin 3*. It is a *direct* impact when significant views or vistas within, from or of built and natural features are obstructed, and an *indirect* impact when “a significant view of or from the property from a key vantage point is obstructed”.

- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces⁷
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource⁸

Other potential impacts may also be considered such as encroachment or construction vibration (Figure 77). Historic structures, particularly those built in masonry, are susceptible to damage from vibration caused by pavement breakers, plate compactors, utility excavations, and increased heavy vehicle travel in the immediate vicinity. Like any structure, they are also threatened by collisions with heavy machinery or subsidence from utility line failures (Randl 2001:3-6).

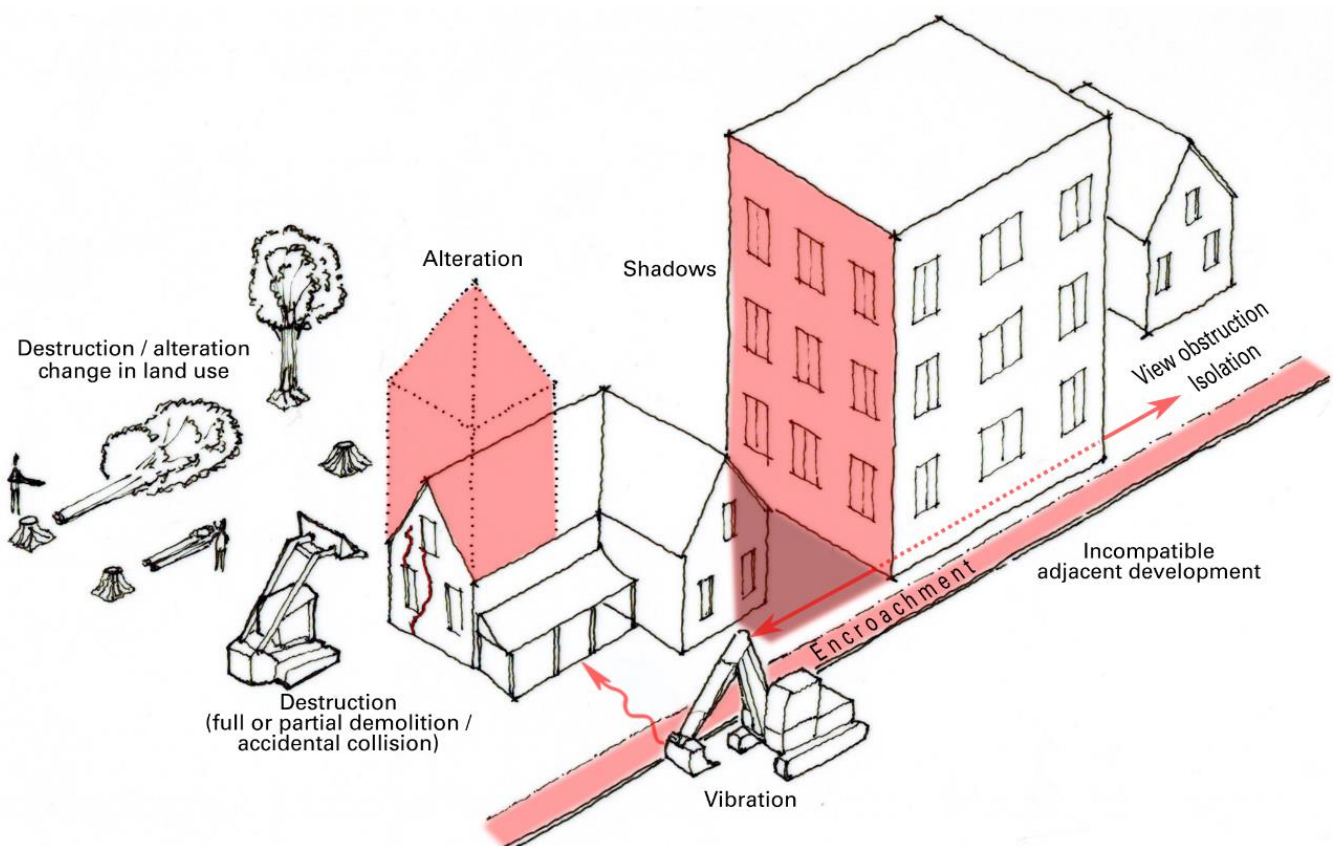


Figure 77: Types of direct and indirect impacts

Although the MHSTCI *Heritage Resources in the Land Use Planning Process* identifies types of impact, it does not advise on how to describe its nature or extent. For this, the MHSTCI *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (1990:8) provides criteria of:

⁷ A direct impact in the MHSTCI *Info Bulletin 3*.

⁸ In the MHSTCI *Heritage Resources in the Land Use Planning Process* this refers only to archaeological resources but in the MHSTCI *Info Bulletin 3* this is an example of a direct impact to "provincial heritage property, including archaeological resources".

- Magnitude (amount of physical alteration or destruction that can be expected)
- Severity (the irreversibility or reversibility of an impact)
- Duration (the length of time an adverse impact persists)
- Frequency (the number of times an impact can be expected)
- Range (the spatial distribution, widespread or site specific, of an adverse impact)
- Diversity (the number of different kinds of activities to affect a heritage resource)

Since the 1990 MHSTCI *Guideline* guidance —nor any other Canadian guidance— does not include advice to describe magnitude, the ranking provided in the 2007 edition of the UK Highways Agency *Design Manual for Roads and Bridges* [DMRB]: *Volume 11*, HA 208/07 (2007: A6/11) is used here. Despite its title, the DMRB provides a general methodology for measuring the nature and extent of impact to cultural resources in urban and rural contexts, and is the only assessment method to be published by a UK government department (Bond & Worthing 2016:167). It also formed the basis for the ICOMOS *Guidance on Heritage Impact Assessments for Cultural World Heritage Properties* (ICOMOS 2011; Bond & Worthing 2016:166-167), and aligns in approach to those the Irish Environmental Protection Agency (reproduced in Kalman 2014:286) and New Zealand Transport Agency (2015).

The DMRB impact assessment ranking is:

- Major
 - Change to key historic building elements, such that the resource is totally altered. Comprehensive changes to the setting.
- Moderate
 - Change to many key historic building elements, such that the resource is significantly modified.
 - Changes to the setting of an historic building, such that it is significantly modified.
- Minor
 - Change to key historic building elements, such that the asset is slightly different.
 - Change to the setting of an historic building, such that it is noticeably changed.
- Negligible
 - Slight changes to historic building elements or setting that hardly affect it.
- No impact
 - No change to fabric or setting.

An assessment of impacts resulting from the proposed development on the adjacent protected heritage properties is presented in Table 5.

Table 5: Assessment of direct & indirect adverse impacts.

Potential direct and indirect adverse impact	Analysis of impact	Summary of impact <i>without</i> mitigation
<p><i>Destruction</i> of any, or part of any, significant heritage attributes, or features</p>	<p>None of the property's heritage attributes (identified as the Annex and its exterior features), nor those of the adjacent property at 402 Maple Street, will be directly destroyed as part of the proposed development. Under the existing (previous) Building Envelope schedule, partial demolition of the south wall of the Annex may have been required to provide access between the building and the new Coach House construction; however, the proposed site plan has detached the Coach House from the Annex, thereby removing any need to create a breach in the Annex south wall.</p> <p>During construction however, there is the potential for (direct, irreversible) accidental damage to significant heritage attributes (e.g. to building fabric or materials). This could potentially occur frequently, and over a short period of time, without mitigation. Adverse impacts resulting from excessive dust would be frequent, short-term and reversible.</p>	<p>Potential minor to major adverse impact (<i>to the cultural heritage value and heritage attributes at Victoria Annex from accidental damage / collision, potential impacts would be direct and irreversible</i>)</p> <p>No impact to 402 Maple Street</p>
<p><i>Alteration</i> that is not sympathetic or is incompatible, with the historic fabric and appearance</p>	<p>The proposed development will comprise minor, necessary alterations to the historic fabric (and appearance) of the Annex. These alterations will include the modification of original window openings for doorway access and the addition of new balcony structures. Additional alteration will be limited and restricted to sympathetic (and professional) remedial works (e.g. repointing).</p> <p>These alterations will not fundamentally alter the historic fabric nor overall appearance of the Annex. Comprehensive review using the <i>CDHCD Plan</i> guidelines for House Form, suggest the proposed designs for the single-detached and semi-detached units, as well as the Coach House and parking structure, are both sympathetic and compatible in massing, heights, and architectural detail with the Annex building and the house at 402 Maple Street (heritage properties).</p>	<p>Minor impact to the property (<i>alteration of the historic fabric and appearance of the property is considered sympathetic and compatible</i>)</p> <p>No impact 402 Maple Street</p>

Potential direct and indirect adverse impact	Analysis of impact	Summary of impact <i>without</i> mitigation
	<p>The massing proposed for the new developments is intended to reflect key characteristics from a range of dwellings and outbuildings within the immediate neighbourhood (which are mostly two-storey in height, a mixture of 19th century and contemporary styles and within spacious, lawned plots, with set backs). Specific local architectural references are also maintained within the proposed design and include:</p> <ul style="list-style-type: none"> - cross-gable rooflines - wraparound verandas and porch additions - two-toned / colored brick work - board and batten cladding <p>Further, the proposed design of the Coach House with integrated parking is a reference to (detached) outbuildings noted in the local area, the hipped-roof a reference to a traditional style and with a maximum height chosen to match the height of the eaves of the Annex property. Photographic images of surrounding local properties which have provided context and reference for the proposed development design are included in Figure 78 below.</p>	
<p>Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden</p>	<p>The proposed development will be built to lower heights than the Annex building and therefore will not create any shadows that will alter the appearance of the property's heritage attributes.</p> <p>The adjacent heritage property at 402 Maple Street is to the south of the proposed development and is so unaffected from resulting shadows, which will fall to the north of the property.</p> <p>The proposed development will not change the viability of any natural features or plantings; although no natural features are listed as heritage attributes, the street trees contribute the neighbourhood character and will not be impacted by the proposed development.</p>	<p>No impact to the property or 402 Maple Street</p>

Potential direct and indirect adverse impact	Analysis of impact	Summary of impact <i>without</i> mitigation
<p><i>Isolation</i> of a heritage attribute from its surrounding environment, context or a significant relationship</p>	<p>Although the proposed development will surround the Annex (the property's key heritage attribute), the site plan has incorporated through its wide access road a clear line of sight to the Annex from mid-block on Maple Street, as well as a large surrounding greenspace. Both will serve to reduce the sense that the Annex is isolated from its original neighbourhood context and surrounding former play-ground. Spacing between the single-detached and semi-detached units will also encourage visibility of the Annex and reduce any effect of isolation.</p> <p>Views between the Annex and the house at 402 Maple Street will be maintained though partially obstructed by the new development, but this does not represent a significant relationship as there is no historical, functional, or contextual connection between the two properties.</p>	<p>Potential minor positive impact to the property compared to the Building Envelope plan (<i>Heritage attribute is no longer isolated from its surrounding environment</i>)</p> <p>No impact to 402 Maple Street</p>
<p><i>Direct or indirect obstruction</i> of significant views or vistas within, from, or of built and natural features</p>	<p>Significant views or vistas of the Annex will be partially obstructed by the proposed development, particularly those of the north and east facade from Fifth Street and the intersection of Fifth Street and Maple Street, and those of the south and east facade from Sixth Street and the intersection of Sixth Street and Maple Street. This direct obstruction represents a minor impact (changes to the setting of an historic building, such that it is partially modified) over a wide area that will occur once over a long period of time.</p> <p>However, since the Annex will not be directly impacted, the change is potentially impermanent and reversible. Additionally, is partly mitigated through the current site plan's wide road allowance from Maple Street, which affords an unobstructed view of the east facade while the Annex garage will be located as far northeast as possible, so as to minimize impact to views of the Annex from the Maple Street entrance. The east side of the Annex</p>	<p>Potential minor adverse impact (<i>Changes to the setting of an historic building, such that it is partially modified and will occur once, over a long period of time, potentially reversible</i>)</p>

Potential direct and indirect adverse impact	Analysis of impact	Summary of impact <i>without</i> mitigation
	<p>building has been visible since the Victoria School was demolished in 1969. As Murdoch describes:</p> <p><i>While the main building remains in living memory, the community orientation to the school site is from the east. This is the reasoning for assigning greater historical or associative value to the public view from Maple Street looking west toward the east façade of the Annex, than to its architecturally principal north façade. Obviously as living memory of the main building passes with time, the architectural design of the Annex with its principal façade being the north side will supplant the traditional orientation from the east. There are no significant views of the west facade, nor are there any significant views within or from the Annex.</i></p> <p>Furthermore, the uppermost elevation of the Annex (c. 46') will be visible over the lower rise elevations of the new single-detached and semi-detached units, and the spacing between these new elements will also serve to retain the visibility of the Annex from the north and northeast, and south and southeast. In summary, the following maximum height allowances have been incorporated into the design to ensure impacts upon key views of the Annex are minimal:</p> <ul style="list-style-type: none"> - The maximum height to the ridge of Lot 1 is 32 to 37' - with the highest being the hip roofs forms. - The roof shape on Lot 1 is also sloped downwards to the west to be sensitive to the cottage form, 1 storey house on the adjacent Lot to the west. - The roof peak on Lot 1 and the ridge on Lot 2 are both the same height to minimise visual obstruction. - All roofs have cottage or hip roofs to minimize the roof massing and be sensitive to the side yard relationship. 	

Potential direct and indirect adverse impact	Analysis of impact	Summary of impact <i>without</i> mitigation
	Views of the Annex from 402 Maple Street will be partially obstructed, but these views are not deemed significant.	
<i>A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces</i>	Although the proposed development does represent a change from the property's historic institutional / education land use, it is consistent with the current R3-38 zoning, immediate location and surrounding streetscape. There will be no change in land use at 402 Maple Street.	No impact to the property or 402 Maple Street
<i>Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource.</i>	<p>During construction, heavy equipment use near the Annex may cause excessive vibrations that could harm the structure's masonry. The extent of this potential impact is predicted to minor, site-specific and would occur once, yet it would be potentially irreversible.</p> <p>Given its distance from the proposed development, the built heritage resource at 402 Maple Street is not predicted to a risk of adverse impact from construction vibration.</p>	<p>Potential major adverse impact</p> <p><i>(Without mitigation the impact from construction vibration will be major, irreversible, widespread, and will occur once over a short period of time. This can be fully mitigated through pre-construction surveys and vibration exceedance monitoring)</i></p>

7.2.1 Design Assessment

Although the property is not within the Collingwood Downtown HCD, the Town advised Golder to assess the proposed development using the Town's *CDHCD Plan* guidelines to ensure that the new construction will be compatible with the Victoria Annex. An assessment of the proposed development based on these guidelines is presented in Table 6.

Table 6: Assessment of the proposed development using the *CDHCD Plan* guidelines for House Form.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
14.1 General Principles for New Construction	
The design of a new building, or an addition, does not need to replicate historic design model to be compatible with the HCD. Attention to the form, alignment, height, massing, setback, architectural features, colour schemes, and materials can result in a design that maintains the architectural rhythm of the neighbouring buildings and streetscape, and thus the heritage character of the District.	<p>The proposed construction employs similar height, setback, colour schemes, and materials to the neighbouring buildings on adjacent streets.</p> <p>The design employs a combination of Queen Anne style brick gables and bays, as well as the sunburst Stick decoration, contrasting color schemes and horizontal and vertical siding, but does so in new and contemporary combinations that do not mimic or attempt to replicate a historic design model. This and the gable roofs with cross-gables is compatible with the architecture of the Annex, and 402 Maple Street, and a number of local properties (as referenced in Figure 78).</p>
The construction of an addition should be avoided, if possible, and considered only after it is determined that the uses intended for the addition cannot be accommodated in the existing building.	Not applicable.
New construction must conform to the established design principles, qualities, and characteristics of the neighbourhood and the streetscape.	The two storey massing within deep set backs, the use of red bricks with contrasting colors and horizontal and vertical siding with cornerboards, Queen Anne style gables, and symmetrical fenestration conforms to the design characteristics of the neighbourhood and streetscape.
If adjacent buildings are not in keeping with the heritage character of the district, principles of scale, materiality, mass, setback, and form should be consistent with the overall streetscape.	Not applicable. The proposed development is in keeping with the character of the neighbourhood and streetscape.
New building should be designed to allow pedestrian amenities such as wider sidewalks, lack of obstruction to barrier free entry, and shelter at building entries.	The new construction has a considerable set back from the sidewalk and there is shelter (porches and verandas) at the building entries.
Mid block entrances and pathways are encouraged.	Not applicable.
14.3 New Construction House Form	
Appropriate Materials – Exterior Materials	
Materials compatible with the original design	The use of 'John Price' red brick mirrors the Annex construction (and that of surrounding properties,

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
	including 402 Maple Street) while the horizontal cladding with corner boards is commonly seen in heritage structures in the vicinity (often above a brick base). The combination is compatible and the additional board and batten siding will ensure that the new construction is also clearly differentiated from that of the Annex (as recommended in <i>Standards and Guidelines for the Conservation of Historic Places in Canada</i> , Guideline 14, p.132).
Stone of a type, cut, and bond pattern that can be documented in the District	Not proposed.
Traditional sizes of smooth, red clay, face brick, with buff clay, face brick as accent	The masonry will use “John Price” brick in traditional colours, sizes and bonding methods used in Ontario.
Horizontal, wood clapboard, 4” to the weather	Horizontal clapboard will be positioned in line with this guidance. Where materials are yet to be finalised, chosen boards will either be wooden or seek to replicate the appearance of wood to a far higher degree than vinyl siding or other synthetic materials.
Smooth, painted, wood board and batten siding	Wooden board and batten siding is proposed for the majority of the upper floors in combination with a brick base. This combination is found nearby heritage properties
Roughcast plaster when a similar heritage type can be documented in the District (not fabricated stucco wall systems)	Not proposed.
Wood shingle or shake siding, only when appropriate to the context	This is not proposed, nor authentic, for the new construction.
Combinations of materials when a similar heritage example can be documented in the District	Comparable examples were searched in the immediate neighbourhood and the combination of brick and horizontal siding is often seen on heritage structures.
Appropriate Materials – Exterior Accent Detail	
Cut stone for accents in brick buildings	Not proposed.
Wood shingles, roughcast plaster, terracotta wall tiles, crushed coloured stone, or applied motifs (for example, floral motif) in centre gables and gable ends	Not proposed.
Painted wood porches, verandas, or porticos, including support posts, brackets, bargeboard, stairways, hand supports, and railings	The porch and veranda designs include wooden supports (on a brick/plinth base) and railings / hand supports compatible with surrounding properties including the Annex and 402 Maple Street.
Decorated soffits and fascias, including painted wood bargeboard (also known as gingerbread or vergeboard) and brackets, where appropriate to the architectural style and design	None proposed. These are not appropriate for the Queen Anne and “Stick” influenced design.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
Shutters that are correct in size to the window opening	None proposed.
Appropriate Materials – Roofs	
Slopes and layouts compatible with the original design	The medium gable roof with cross-gables is compatible with the roof layout of the Annex. A variety of roof layouts (gable, hip and pyramidal) is reflective of the wide variety of styles found locally, and while the gable roofs are compatible with the Annex building, the difference between the Annex and the hipped roofed structures will help to differentiate the historic Annex structure from those of the new development (and thereby maintain heritage authenticity).
Hipped or gable roof with a minimum 6:12 slope	All proposed structures have roofs that exceed 6:12 slopes
Cedar, slate, or simulated slate shingles	All proposed structures have asphalt shingle roof covering, as is appropriate for new construction.
Asphalt shingles in different shapes and patterns, in a colour compatible with neighbourhood house colours	All proposed structures have uniform asphalt shingle roof covering, as is appropriate for the design influences.
Standing seam metal roofing suitable for dwellings	Not proposed.
Cupolas and roof monitors	Not proposed.
Appropriate Materials – Doorcase	
Wood doors and frames, solid or glazed panel construction	All doors will have wood frames with panelled steel doors as required by building code. The garage doors will be glazed with separated lights. The property doors will be a variety of glazing combinations is proposed, detached properties with full glazed panels and semi-detached properties with separated lights.
Transom windows in clear, coloured, or art glass, or a decorated panel	Transom windows are proposed for the doorcase of the semi-detached properties. The pane will be decorated in a sunburst style, which mirrors surrounding properties.
Paired sidelights with solid and glazed panel construction	Paired sidelights are proposed for the principal façade entrances of the semi-detached properties.
Wood or plaster architrave (trim) in a design that can be documented in the District	Not applicable.
Wood casement (“French”) doors for porch or veranda entrances	Not applicable.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
Single-bay wood panelled garage doors	The garage doors will be single bay and glazed and wood panelled (both horizontal and vertical), with the exception of a double garage at the Coach House, which is intended (through this massing) to replicate a traditional outbuilding adjacent to a large house.
Appropriate Materials – Windows	
Materials and designs compatible and in keeping with the original architectural style	The symmetrical fenestration and triple bay design is compatible with surrounding architecture and the Annex.
Wood frames, true muntin or glazing bars, sash type appropriate to the original style	As proposed all windows have glazing bars and the sash types appropriate to those of adjacent structures in the neighbourhood.
Vertical proportion, usually ranging from 3:5 to 3:7	The majority of windows will have a vertical emphasis.
Metal, vinyl, or vinyl or metal clad wood windows could be allowed where the look replicates wood and the selection is appropriate to the context	Window cladding material has not yet been specified but as for the rest of the cladding will use materials that replicate the appearance of wood.
Appropriate Materials – Flashing	
Visible step flashings should be painted the colour of the wall	Step flashing details will match the colour of the walls.
Inappropriate Materials – Exterior Finish	
Concrete block, calcite or concrete brick	Not proposed.
Textured, clinker, or wire cut brick	Not proposed.
Precast concrete panels or cast-in-place concrete	Not proposed.
Pre-fabricated metal or plastic (vinyl) siding	Not proposed.
Stone or ceramic tile facing	Not proposed.
“Rustic” clapboard or “rustic” board and batten siding; wood shake siding on a primary facade	Not proposed.
Inappropriate Materials – Exterior Detail	
Prefinished metal fascias and soffits	Exterior details will be pre-finished to a high quality appropriate for the new construction, as the development is outside of the HCD this is considered acceptable.
Pre-manufactured shutters, railings, and decorative woodwork or other trims that do not match in quality, texture, colour, dimension, or materials to other examples in the District or that are inappropriate to an approved design	Exterior details will be pre-manufactured to a high quality appropriate for the new construction, as the development is outside of the HCD this is considered acceptable

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
Unfinished, pressure-treated wood in decks, porches, verandas, stairways, railings, and trim.	Exterior details will be pre-treated to a high quality appropriate for the new construction, as the development is outside of the HCD this is considered acceptable
Inappropriate Materials – Roofs	
Slopes or layouts not suitable to the architectural style	The gable roof with cross-gables construction is compatible with surrounding architectural types and the Annex. The hipped roof of the proposed Coach House is compatible a traditional outbuilding style found adjacent to large houses and will have a similar height and roofline to the surrounding properties. All roofs will have gable or hip roofs to minimize the roof massing and to maintain alignment with surrounding properties.
Low sloped or flat roofs	Not proposed.
Non-traditional metal roofing such as pre-finished or corrugated metal	Not proposed.
Modern skylights visible from the street	Not proposed.
Inappropriate Materials – Doors	
“Stock” suburban door assemblies	Not proposed.
Flush doors	Not proposed.
Sidelights on one side only	Not proposed.
Metal storm and screen doors; sliding patio doors	Not proposed.
Double-bay, slab, or metal garage doors	Not proposed.
Inappropriate Materials – Windows	
Large dimension window openings that do not meet the heritage standard for window openings and sash types	Not proposed
Curtain wall systems	Not proposed
Metal, plastic, or fibreglass frames	The window frame materials have not yet been specified.
Metal, vinyl, or vinyl or metal clad wood windows could be allowed where the look replicates wood and the selection is appropriate to the context and architectural style of the original building	Window cladding material has not yet been specified but will likely use material that replicates the appearance of wood.
Awning, hopper, or sliding openers	Not proposed
“Snap-in” simulated muntin (glazing bars)	Simulated muntins will be used but are predicted to have minimal visual impact in this new construction.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
Inappropriate Materials – Flashings	
Pre-finished metal in inappropriate colours	Not proposed
House Form - General Principles	
Buildings should be set back from the street line to create front yards of similar depth to neighbouring buildings, within the limits set in the Town's zoning bylaw	The set backs are similar in depth to neighbouring buildings.
Front yards should be unfenced or have heritage quality fencing in an approved material that is within the height requirements specified in the Town Fence Bylaw	The front yards are unfenced.
Where adjacent incompatible uses require a privacy screen, hedge planting is suitable. The height should be in keeping with the requirements of the Town Fence Bylaw	Not proposed.
Unfinished pressure-treated wood and chain link fencing are not appropriate for fencing visible from the street or public lane or pathway	Not proposed.
A tree preservation and landscape plan may be required	Not proposed at this time.
New plantings should be species typical to the District	New plantings are not proposed at this time.
14.4 Accessory or Outbuildings	
New garages should be sited as separate outbuildings and located in a way that minimizes their street presence. An attached garage is acceptable, if it faces a side lot-line.	Where the garages are integrated into the proposed development, they are symmetrically placed, and will have glazed and wood panelled, single-bay doors (with the exception of the Coach House garage and the detached Annex parking structure which are both double-bay).
New garages should adhere to traditional forms, usually with gable roofs, frame or brick construction, and single bay wood doors with wood trim.	The garages will have gable roof and will be clad in brick and have glazed and panelled, single-bay doors.
Other outbuildings, such as storage sheds, should be of traditional wood construction.	Not proposed.
Pre-fabricated metal structures should not be used where visible from the street, public lane or pathway, or a significant viewscape within the District.	Not proposed.
15.1 Streetscape Design	
The preservation of existing heritage buildings is the most important way to preserve the heritage character of the streetscapes.	The Annex will be conserved within the development with the garage / parking structure, c 2 m to the north east and located as far northeast as possible, so as to minimize impact to views of the Annex from the Maple Street entrance. The proposed Coach House

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
	<p>structure will sit approximately 10.8 m to the south east with a 10.9 m set back from the western property boundary, thus allowing for a wide expanse between the Annex and development to the south. The distance between the detached dwelling on the south west corner (plot 8) of the property and the Annex helps to maintain reference to the original space / playground. Views to and from the western façade will be largely maintained through the wide (12.5 m) access afforded from the Maple Street entrance point. Furthermore, the proposed detached dwelling on the north west corner of the property (plot 1) sits just over 12 m north of the Annex. The proposals for the placement of the new dwellings and detached garage will ensure the Annex is not encroached while the grid pattern, and set backs, within plots 1 to 9, along the north, east and southern boundaries of the property conforms to the wider streetscape.</p>
<p>Alterations, additions, and new construction must reinforce the heritage character of the setting and/or streetscape by referencing and respecting the surrounding buildings in siting, architectural design, massing, quality, and landscaping.</p>	<p>The new buildings do not detract from the heritage character of the Annex or surrounding setting; the new properties proposed are smaller in scale than the Annex and integrate (historic) design references of both the architecture of the Annex and properties in the local neighbourhood (acknowledging the wide variety of historic periods, styles and materials represented).</p>
<p>Streetscape improvements and public works that reinforce and enhance the distinct identity and special quality of the Commercial and House Form Areas are to be encouraged.</p>	<p>The new development represents a streetscape improvement, utilising a vacant parcel of land in a prime location.</p>
<p>15.2 Lanes and Pathways</p>	
<p>Any enhancement of the lanes and pathways should include repairs and improvements to the visible facades that preserve or restore the heritage qualities inherent in the building.</p>	<p>Not applicable</p>
<p>Where a building does not extend to the lane, a rear addition with an entrance and display area would increase retail floor space. Similar revisions could accommodate a separate lane-facing retail frontage.</p>	<p>Not applicable</p>
<p>All alterations, additions, and new construction visible from the lanes and pathways must comply with the design guidelines of the HCD Plan.</p>	<p>Not applicable.</p>
<p>Lane entrances and uses that make these areas lively and improve their pedestrian environment are encouraged.</p>	<p>Not yet developed.</p>
<p>Plantings and heritage quality benches, patios, privacy fencing, and other amenities that improve the</p>	<p>Not yet developed.</p>

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
pedestrian environment of the lanes and pathways are encouraged.	
Paving, signage, lighting, and other heritage quality townscape elements are to be encouraged.	Not yet developed.
16.3 Lighting	
Street and sidewalk lighting can be accomplished with a single system of fixtures mounted at an intermediate height. The design of the luminaire should be similar to the pedestrian lighting on Hurontario Street.	Not yet developed
To further the integration and use of the lanes and pathways, lighting fixtures similar to those on the streets are recommended.	Not applicable
16.4 Street Furnishings	
Benches, trash receptacles, bollards, tree guards, and tree grates should have a heritage quality without being overly decorative.	Not yet developed.
For street furnishings, a cast-frame, flat-slat bench is a simple but traditional design. Benches are also available in weather resistant, unfinished, tropical woods that require minimal maintenance.	Not yet developed.
16.5 Plantings	
Trees planted on public land and encouraged on private land, would increase the amenity of the lanes and pathways.	Not yet developed.
16.6 Parking	
Attractive developments that integrate parking with street level commercial and residential uses present a design opportunity to increase parking capacity and address the existing streetscape deficit. Heritage inspired designs and streetscape elements should be among the terms of reference for design proposals.	A detached (double bay) garage / parking structure is proposed, approximately 2 m m to the northeast of the Annex. The design will closely match the heritage inspired designs of the remaining aspects of the development.



Figure 78: Local properties used for architectural design reference (Wright, J. November 2020)

7.2.2 Results of Impact Assessment

The preceding assessment concludes that the proposed design concept is sympathetic to both the scale and variety of surrounding properties and local historic design and material precedents, while making a positive contribution to the local neighbourhood through the redevelopment of underutilised parcel of land and the sensitive development and restoration of the Victoria Annex.

In summary, the proposed development of the property:

- will directly impact the heritage attributes of the Annex through alteration to building fabric. These alterations are considered sympathetic and compatible and therefore of minor impact.
- will not indirectly impact — and is compatible in design and massing with — the adjacent protected heritage property at 402 Maple Street.

- will result in minor impacts to the setting of the Annex through the partial obstruction of significant views of the property from the north and northeast. However, the design of the proposed development reduces the potential impact to views stipulated in the approved Building Envelope schedule.
- will produce vibration effects that may result in impacts the property's heritage attributes, these impacts will be fully mitigated through the demarcation and maintenance of a 10 m monitoring zone surrounding the Annex during construction.

8.0 CONSIDERATION OF ALTERNATIVES, MITIGATION & CONSERVATION MEASURES

Since the impact to views was incorporated into the approved Building Envelope schedule and the adverse effects of vibration during construction can be fully avoided, Golder has not considered any alternative development approaches.

Mitigation measures are therefore not required. However, Golder recommends that Maple Street LP manage the property as a historic place, and consider the following immediate and longer-term stewardship actions to conserve the Annex and ensure its long-term sustainability as a valued heritage resource in the Town of Collingwood.

8.1 Recommendations

8.1.1 Immediate Action

As noted in the *Standards and Guidelines for the Conservation of Historic Places in Canada*, a fundamental first step in heritage conservation is to stabilize a resource until any subsequent intervention is undertaken. This may include actions to:

- Ensure window and door openings are secured and boards covering the windows are painted to prevent rot
- Erect a high fence around the building to limit access to the structure
- Install a video monitoring system to dissuade vandalism or unlawful entry]
- Establish a regular inspection and monitoring protocol until construction begins
- Monitor construction within a 10-m zone around the Annex for vibration exceedance. This monitoring zone should be communicated to all site personnel.
- Where possible prevent heavy equipment traffic from being routed in the vicinity of the Annex to minimize potential effects from vibration.

The actions recommended below can be undertaken over a longer term, and may be carried out concurrently with each other, and with the immediate actions suggested above.

Long-term Actions

- Document, through measured drawings, rectified photography, and written notes, the Annex prior to undertaking any intervention beyond minor stabilization or maintenance. Additional advice relevant to the care of the Annex while it is vacant can be found in the Historic England guide *Vacant Historic Buildings: An Owner's Guide to Temporary Uses, Maintenance and Mothballing* (2011).
- Prepare a Heritage Conservation Plan that outlines how the heritage attributes of the Annex will be conserved, protected, and enhanced, and the preferred conservation treatment (preservation, rehabilitation [or adaptive reuse], or restoration) that balances the objectives of heritage conservation with economic and social sustainability (see also Murdoch 2007:24).
- Stabilize the heritage attributes of the Annex through prioritized repairs by qualified heritage professionals, and ensure the building is protected and monitored during construction of the single-detached and semi-detached structures, the Annex garage and the Coach House

- Develop an inspection and monitoring schedule that specifically addresses the heritage attributes of the Annex
- Submit a request to the Town of Collingwood to revise the boundaries of the designated area in relation to the Victoria School Annex (currently the entire subject property lands). It is recommended that the revision should include the T-shaped area surrounding Annex and the internal access to Maple Street Commemorate the former school site and Annex through interpretive panels that detail the history and heritage value of the Central/Victoria School property. For example, the inclusion of a brick entrance / gateway at the Maple Street access, similar in form to those at Connaught School (125 Napier Street). Suggested by the Town's Heritage Planner this could incorporate an interpretive feature (e.g. commemorative plaque) and ensure that the history of the property (including which elements are authentic) is well understood from this vantage point and from the public right of way.

9.0 SUMMARY STATEMENT & RECOMMENDATIONS

In September 2020, Maple Street Limited Partnership (Maple Street LP) retained Golder Associates Ltd. (Golder) to conduct a Heritage Impact Assessment (HIA) of the former Victoria School Annex property at 400 Maple Street in the Town of Collingwood, Ontario. The property is defined as the 0.6-hectare (1.48-acre) property, bounded by Maple, Fifth, and Sixth Streets includes the two-storey brick Victoria School Annex, built in 1894. In 2019, the Town of Collingwood designated 400 Maple Street as a protected heritage property under By-Law 2019-083, enabled under Part IV of the Ontario Heritage Act. Southeast and adjacent to the property is a protected heritage property, 402 Maple Street, designated under Town of Collingwood By-Law 2012-004, enabled under Part IV of the *Ontario Heritage Act*.

Maple Street LP is proposing to develop the property with: four, single-detached dwellings at the northwest, northeast, southwest, and southeast corners of the property; ten, semi-detached dwellings with central recessed garages in the north-central, east-central, and south-central portions of the property; two apartment dwellings in the Victoria Annex with a detached garage; and a Coach House with integrated covered vehicle parking and three apartments. Since the property is a protected heritage property and adjacent to a protected heritage property, the Town of Collingwood required that an HIA be conducted as part of the application for site plan approval.

Following guidelines provided by the Ministry of Heritage, Sport, Tourism, and Culture Industries (MHSTCI), the Town *Official Plan* and *Collingwood Downtown Heritage Conservation District Plan*, and Canada's *Historic Places Standards and Guidelines for the Conservation of Historic Places in Canada* (2010), this HIA has identified the heritage policies applicable to new development, summarized the property's geography and history, provided an inventory of the property's built and landscape features, and a summary of the heritage attributes of the adjacent protected heritage property at 402 Maple Street. Based on this understanding of the property and its context, and a thorough review of applicable new construction guidelines (for the Collingwood Downtown HCD), the potential impacts resulting from the proposed development have been assessed and future conservation actions recommended.

Golder concludes that the proposed development:

- will directly impact the heritage attributes of the Annex through alteration to building fabric. These alterations are considered sympathetic and compatible and therefore, of minor impact.
- will not indirectly impact — and is compatible in design and massing with — the adjacent protected heritage property at 402 Maple Street.
- will result in minor impacts to the setting of the Annex through the partial obstruction of significant views of the property from the north and northeast. However, the design of the proposed development reduces this potential impact to views stipulated in the approved building envelope schedule and is therefore deemed acceptable.
- will produce vibration effects that may result in impacts the property's heritage attributes (fabric), these impacts will be mitigated through the demarcation and maintenance of a 10 m monitoring zone surrounding the Annex property during construction and the establishment of a Heritage Conservation Plan.

Specific mitigation measures are not required. However, Golder recommends that Maple Street LP, as owners of a historic structure, consider the following immediate and longer-term stewardship actions to conserve the Annex to ensure its long-term sustainability as a valued heritage resource in the Town of Collingwood.

Golder therefore recommends that the Client:

- be approved to develop the property as currently proposed; and
- complete the short-term and long term actions as recommended and detailed below.

Immediate Actions

- Ensure window and door openings are secured and boards covering the windows are painted to prevent rot.
- Erect a high fence around the building to limit access to the structure.
- Install a video monitoring system to dissuade vandalism or unlawful entry.
- Establish a regular inspection and monitoring protocol until construction begins.
- Monitor construction within a 10-m zone around the Annex for vibration exceedance. This monitoring zone should be communicated to all site personnel.
- Where possible prevent heavy equipment traffic from being routed in the vicinity of the Annex to minimize potential effects from vibration.

Long-term Actions

- Document, through measured drawings, rectified photography, and written notes, the Annex prior to undertaking any intervention beyond minor stabilization or maintenance. Additional advice relevant to the care of the Annex while it is vacant can be found in the Historic England guide *Vacant Historic Buildings: An Owner's Guide to Temporary Uses, Maintenance and Mothballing* (2011).
- Prepare a Heritage Conservation Plan that outlines how the heritage attributes of the Annex will be conserved, protected, and enhanced, and the preferred conservation treatment (preservation, rehabilitation [or adaptive reuse], or restoration) that balances the objectives of heritage conservation with economic and social sustainability (see also Murdoch 2007:24).
- Stabilize the heritage attributes of the Annex through prioritized repairs by qualified heritage professionals, and ensure the building is protected and monitored during construction of the single-detached and semi-detached structures, the Annex garage and the Coach House.
- Develop an inspection and monitoring schedule that specifically addresses the heritage attributes of the Annex.
- Submit a request to the Town of Collingwood to revise the boundaries of the designated area in relation to the Victoria School Annex (currently the entire subject property lands). It is recommended that the revision should include the T-shaped area surrounding Annex and the internal access to Maple Street. Commemorate the former school site and Annex through interpretive panels that detail the history and heritage value of the Central/Victoria School property. For example, the inclusion of a brick entrance / gateway at the Maple Street access, similar in form to those at Connaught School (125 Napier Street). Suggested by the Town's Heritage Planner this could incorporate an interpretive feature (e.g., commemorative plaque) and ensure that the history of the property (including which elements are authentic) is well understood from this vantage point and from the public right of way.

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APPENDIX A

Su Murdoch Historical Consulting
Reports: Heritage Evaluation and
Impact Assessment for the Former
Victoria School Annex, March 2007;
Heritage Designation Report:
Former Victoria School Annex
Property, November 2015

**HERITAGE EVALUATION AND
IMPACT ASSESSMENT**

**FOR THE FORMER
VICTORIA SCHOOL ANNEX PROPERTY**

**400 MAPLE STREET
COLLINGWOOD, ONTARIO**

SU MURDOCH HISTORICAL CONSULTING

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MARCH 2007



EXECUTIVE SUMMARY

The subject property at 400 Maple Street in Collingwood contains a brick school building erected in 1894 as an annex to the 1884 Central/Victoria Public School. The 1884 school was demolished about 1969. The annex was used for educational purposes until 2001, was sold by the Simcoe County District School Board in 2004, and in 2007 was vacant.

The current proposal is for residential development of the site, which tentatively incorporates the former annex. No specifications for the alterations proposed for the annex were provided for review, except that the interior is to be "gutted" and the exterior "restored" as part of its conversion to a 4-unit condominium.

Based on provincial Regulation 9/06 "criteria for determining cultural heritage value or interest," it is concluded that the portion of the property that contains the 1894 former school annex is a candidate for designation under section 29 of the Ontario Heritage Act (municipal designation). The final decision rests with Council.

To complete the heritage impact assessment section of this report, it was necessary to assume that Council will be implementing a long-term heritage conservation strategy for the property, such as designation and/or a conservation plan. In this context, the proposed development was assessed for any potential negative impacts it may have on the annex building.

With regard to the proposed site plan, of major concern is the proximity/joining of the new 3-unit condominium called the "coach house" to the annex, as well as its massing and design.

Adjustments to the site plan that would improve the viewscales of the annex as a neighbourhood landmark and focal point of the development are outlined. These include, widening and/or shifting the pedestrian walkway, positioning the semi-detached unit to maximize the view of the annex from Fifth Street, and limiting the height of new construction and landscaping.

It is advised that the architectural designs for new construction should enhance, not compete, with the historic.

It is recommended that a conservation plan for any work proposed for the annex be developed by a qualified heritage building specialist using accepted standards and guidelines for the conservation of heritage properties.

Overall, there is considerable merit in incorporating the annex into this development and the approach taken by the owner in March 2006. The implications for the heritage integrity of the annex will depend on the level of protection provided it by Council and the cooperation of the owner.

Su Murdoch
March 2007

HERITAGE EVALUATION AND IMPACT ASSESSMENT

**FORMER VICTORIA SCHOOL ANNEX PROPERTY
400 MAPLE STREET, TOWN OF COLLINGWOOD**

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HERITAGE EVALUATION AND IMPACT ASSESSMENT

FORMER VICTORIA SCHOOL ANNEX PROPERTY 400 MAPLE STREET, TOWN OF COLLINGWOOD

PREAMBLE

1.0 BACKGROUND

For over a year, there has been discussion between Town of Collingwood Planning Services, Collingwood Heritage Committee, and the current owner regarding the redevelopment of the former Victoria School annex property at 400 Maple Street. The document, "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement" was prepared in March 2006 by Shelley Wells & Associates, on behalf of the owner, and submitted to Planning Services. This document clearly indicates the intention of the owner was to retain the former school annex building within the proposed residential development of the site.

On January 24, 2007, the property owner applied for a demolition permit for the annex building.

On February 26, 2007, Council initiated a motion to consider designation of the property under section 29 (municipal designation of individual property) of the Ontario Heritage Act, R.S.O., 1990, c.O.18, as amended ("OHA"). Following this Council meeting, Collingwood Heritage Committee passed a motion requesting Council to issue the notice of intention to designate. The Committee also met with the property owner.

On March 12, 2007, the owner withdrew the application for a demolition permit and Council's motion to issue the notice of intention to designate was held.

Council, Planning Services, and the Collingwood Heritage Committee requested that a report be prepared to further evaluate any cultural heritage value or interest that may be held by the property, and to assess the impact the proposed development may have on that value or interest. This Heritage Evaluation and Impact Assessment is that report.

The property is outside the boundary of the Downtown Collingwood Heritage Conservation District and not subject to the district guidelines.

2.0 REPORT OBJECTIVES

This first objective of this Heritage Evaluation and Impact Assessment is to determine whether the subject property has sufficient cultural heritage value or interest for

designation under section 29, OHA, as prescribed by the evaluation criteria of OHA Regulation 9/06. (See appendix for copy of Regulation 9/06.)

If found to hold sufficient cultural heritage value or interest, the second objective is to assess, and suggest a conservation strategy to minimize any negative impact to the heritage attributes (features) of the property that may result from the proposed development.

The findings and recommendations of this report are based on preliminary documentary research, a land registry search, site viewing from the street only (March 15, 2007), a review of the March 2006 document "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement" by Shelley Wells & Associates, and discussions with Planning Services and the Collingwood Heritage Committee.

This report does not include the identification of any archaeological resources or areas of archaeological potential (including the grounds associated with a historic structure that may contain artifacts that yield information about the site). The process for archaeological assessment is set out in provincial standards and guidelines under the Planning Act and OHA. Only an archaeologist licensed under the OHA can undertake this fieldwork.

3.0 SUBJECT PROPERTY

The subject property is a 1.5-acre, rectangular block of lots 10, 11,12, north side, Sixth Street, and lots 10, 11, 12, south side, Fifth Street, Plan 45, Town of Collingwood. Known municipally as 400 Maple Street, it is bounded on the south by Sixth Street, east by Maple Street, north by Fifth Street, and west by single detached dwellings.

The site contains a 2½ storey, brick building constructed in 1894 and known as the former Central/Victoria School annex. It was designed as a standalone structure, flanking the west side of the 1884 Central/Victoria School building and is at the western extent of the property. The 1884 school building was demolished about 1969. The annex continued in use until October 2001.¹ It is currently vacant.

The site is flat with minimal vegetation but has mature specimen trees along the perimeter. The neighbourhood is a mix of nineteenth and twentieth century, modest dwellings.

4.0 HERITAGE DESIGNATION

4.1 LEGISLATION

The Ontario Heritage Act enables a municipality to adopt Official Plan policies and practices to identify, list, and designate or otherwise conserve cultural heritage properties within its jurisdiction (buildings, features, cultural heritage landscapes, heritage conservation districts, archaeological resources). The Provincial Policy Statement of the Planning Act, section 2.6.1 states: "Significant built heritage resources

and significant cultural heritage landscapes shall be conserved.”

The Official Plan for the Town of Collingwood contains cultural heritage policies that comply with the intent of the OHA and the Provincial Policy Statement. Similarly, the County of Simcoe Official Plan has cultural heritage resource policies.

Designation under section 29, OHA, takes the form of a municipal bylaw governing the real property (i.e., the land). The designation bylaw must include “a statement of cultural heritage value or interest” and a description of the “heritage attributes” (features) of the property that support that cultural heritage value or interest.

In March 2007, there were twenty-five designated properties in Collingwood, some of which are within the Downtown Heritage Conservation District. None are adjacent to the subject property at 400 Maple Street.

The OHA requires that the municipal heritage committee be consulted on matters relating to designation. In March 2007, the Collingwood Heritage Committee endorsed the evaluation of the Central/Victoria School annex property.

4.2 EVALUATION CRITERIA

OHA Regulation 9/06 sets the minimum standard for criteria to be used by municipalities when evaluating the cultural heritage value or interest of a property being considered for designation under section 29, OHA. One or more of the criterion in the categories of Historical or Associative Value, Design or Physical Value, and Contextual Value must be met for the property to be designated. (See appendix for a copy of Regulation 9/06.)

According to Town staff, as of March 2007, the Town does not have local evaluation criteria for determining the cultural heritage value or interest of a property in its jurisdiction. Regulation 9/06, therefore, applies by default.

4.3 OBJECTION TO DESIGNATION

Under section 29, once a property is found to hold sufficient cultural heritage value or interest, Council can issue a notice of intention to designate. The OHA enables municipal councils to designate property without the owner’s permission.

The owner or anyone else can object in writing within thirty days of publication of the notice. The municipal clerk must refer the objection to the Conservation Review Board for a hearing before the designation can proceed. The decision of Council, not the Review Board, is final.

4.4 ALTERING A DESIGNATED PROPERTY

Designation does not halt changes to the property. It is intended to ensure that any proposed development or site alteration is in keeping with the spirit and intent of the

statement of cultural heritage value or interest of the property, and that negative impacts on the heritage attributes are minimized.

Section 33 of the OHA requires an owner of a designated property, who wants to make alterations that involve its heritage attributes, to obtain written consent from Council. Council can approve the permit application, refuse, or add terms and conditions to its consent. The owner can object and the matter is referred to the Conservation Review Board. The decision of Council, not the Review Board, is final.

4.5 DEMOLISHING OR REMOVING A STRUCTURE

Council must consider any application for a permit to demolish or remove a building or structure on a designated property. The application can be approved, refused, or approved with terms and conditions. The owner can appeal to the Ontario Municipal Board, which makes the final decision.

PART I

EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST

5.0 HISTORICAL OR ASSOCIATIVE VALUE

OHA Regulation 9/06 requires that one or more of the criterion in the categories of Historical or Associative Value, Design or Physical Value, and Contextual Value must be met for the property to be designated under section 29, OHA.

The following information about the evolution of public education in Collingwood is subject to further research to verify and supplement the findings.

5.1 GRAMMAR SCHOOL AND COLLEGIATE INSTITUTE

Collingwood began when the harbour was selected about 1852 as the terminus of the Ontario, Simcoe and Huron Union Railroad (later Northern Railway) line between Toronto, through Allandale near Barrie, to Georgian Bay. The completion of the railway in 1855 transformed the sparsely populated harbour area into a flourishing community. The growth was such that Collingwood was never a village, but separated from Nottawasaga Township to incorporate as a town on June 10, 1857, effective January 1, 1858.

Also in June 1857, residents of Collingwood petitioned Simcoe County Council to establish a grammar school. The County bylaw to this effect was passed on June 20. The first principal was the Reverend John Langtry. In 1859, the Collingwood Board of (Public) School Trustees provided him desks or benches for use in the grammar school.² Classes were held in several locations until 1874 when a purpose-built brick school building was erected at Hume and Hurontario streets. In 1879, it was enlarged and the

classification of the school was elevated to a collegiate institute, the first in the county. It was administered by a High School Board of Trustees.

In December 1923, the Hume Street building burned and a replacement was opened in 1926. On April 30, 1954, a new collegiate building was officially opened at the southwest corner of Hurontario and Cameron streets. The 1926 building became a Senior Public School drawing Grade 6, 7, and 8 students from across the town. Known as Admiral Collingwood Senior Public School, the building was closed in 2003 when a new school building opened on Dey Street. The Admiral Collingwood School building was later demolished.

The site of the first grammar school is commemorated by a plaque that reads: "Presented to mark the Centennial of Collingwood Collegiate Institute. This building was the site of the original school in 1873-1874."

5.2 ELEMENTARY SCHOOLS

There are several traditions about the founding of common or public school education in Collingwood. Prior to 1858, classes may have been held in the kitchen of a house on Ste. Marie Street East, just north of Huron Street. Other locations for the early classes are described as a frame building built as a hotel at the southwest corner of First and Beech streets. In 1854-1855, the Reverend Edward Sallows wrote to the Missionary Society of the Wesleyan Methodist Church in Canada noting: "The house erected by the missionary [Sallows], being without partitions, is rented for a common school."³ There is general agreement that classes were held in a frame house on Pine Street, a few lots south of First Street.⁴

In 1843, Benjamin Walker Smith was appointed the first sheriff of the newly formed Simcoe District. In 1851-1852, he acquired land at the Collingwood harbour and in late 1852 moved from Barrie to Collingwood. He donated the use of a half-acre lot on the east side of Pine Street between Second and Third streets for the site of a frame school building. This was likely in 1858 and the building is considered Collingwood's first purpose-built school structure and the founding of Centre Ward, later Central or Victoria School.

Like most nineteenth century municipalities, as the population increased, the area was subdivided into geographic districts or wards. In Collingwood, elementary schools were assigned names of Centre Ward, West Ward, East Ward, and North-West Ward.

The January 24, 1859 meeting of the Collingwood Board of School Trustees was held in the "Senior School House." At the meeting, the trustees agreed that the Reverend Mr. Sallows was to be paid rent and damages for the "old schoolhouse."⁵

By January 31, 1860, there were three school committees: Senior School No. 1, East Ward, and Junior School No. 1. The March 14 minutes that year mention School No. 2 was in need of window repair. Evidently, the growth of education was rapid in Collingwood's founding years. Trustees were continuously making plans for improvements and new construction.

East Ward School

East Ward was the first "branch" school in Collingwood and may have been a frame building at the easterly end of Ontario Street. It was noted at the January 24, 1859 School Board meeting that desks and seats had been made for the East Ward schoolhouse. On July 7, 1859, the Board chairman was asked to provide a statement "of all moneys expended in the construction of the East Ward school-house." The total was \$497.20.

On June 6, 1870, the Board requested plans and specifications for an addition. At the June 18, 1883 meeting, it was decided that a new school building was needed. Lots 3, 4, and 5, East Napier Street were acquired in August. On July 8, 1884, local architect Marshall B. Aylsworth was commissioned to design and supervise the construction of the new school, once the old school property was sold and a deed secured for the new lots. (Aylsworth was also assigned the construction of a new school for Centre Ward on Maple Street (subject property) and there are similarities in the two designs.) The tenders for contractors and trades suggest the East Ward schoolhouse was brick. About October 8, when the new school was nearly complete, the old school was lost to fire.

The tradition is that the school building was enlarged in 1902 to four rooms. In December 1911, the name was changed from East Ward to Connaught Public School. The building was used until 1961 when students moved to a new facility on Peel Street. The earlier building was made available to the Association for Retarded Children and renamed R.H. Davidson Memorial School. This building survives at 125 Napier Street and in 2007 was used as a fitness centre.

West Ward School

There is a tradition that classes in the West Ward were conducted in a log house at Oak and Fourth streets and then in a two-room brick building at Cedar and Fourth. The June 6, 1870 School Board minutes reference only two schools in existence, East Ward and Centre Ward. On April 10, 1872, the Board considered the need for a "new school building in West Ward." On May 6, it was debated whether to buy one or two school sites for one or two schools in the ward.

On June 28, 1872, the Board presented an offer to purchase lots 41 and 42 East Cedar Street. The following January 14, plans and specifications were requested for a one-storey, 30'x40', brick school building. On May 5, the tender of Messrs. Hamilton and Mathieson was accepted for building the West Ward School by August.

A 1909 inspection report for the school by C.H. Hodgetts, M.D. describes it as originally intended for a one-room school built "some fifty years ago." The Board of Health bought the building in 1913 to use as an isolation hospital. (Further research is required to determine its current status.)

North West Ward School

On November 1, 1881, the trustees received a petition requesting more school accommodation in West Ward. At the April 1, 1890 meeting, five lots on Elm and two lots

on Cedar Street were considered. On July 8, it was agreed to ask for plans for a two-room schoolhouse in "West Ward" (North-West Ward School). The motion was amended to add an additional storey.

On July 29, 1890, plans were accepted from local designer and builder Fred T. Hodgson.⁶ Based on the tradesmen required, this seems to be a brick school. At the same meeting, Hodgson was also authorized to build a one room, frame schoolhouse for sixty pupils. The overall project may have been to upgrade the old school and build a new school building. At the February 2, 1891 Board meeting the first report of attendance at "North Ward" School was provided.

An inspection report for the school in 1909 by C.H. Hodgetts, M.D. describes it as "a one-roomed wooden building of barn-like structure and appearance, the wood rotting in places." He states the "building would be condemned and pulled down, for it is not worth being used as a barn." It was used for classes until about 1912 and then became a cider mill operated by the Vancise family and in 1937 the Dougherty garage. In 1979, the building was moved to By-Gone Days Pioneer Farm on Sixth Street.⁷ The fate of the 1890 brick building designed by Hodgson, if erected, requires further research.

St. Mary's Separate School

The first separate school building was erected in 1907 at the northwest corner of St. Paul and Ontario streets. The students moved to new premises in 1970 and the former building was demolished in 1974.

King George School

King George School opened in 1912 in a two-storey building on the south side of Second Street at Walnut Street. The Victoria School annex may also have served as an annex for King George School.⁸ In 1971, King George students were moved to a new facility, Mountain View School on Spruce Street.

Cameron Street School

A school building was erected in 1967 on Cameron Street to serve south end elementary school aged children. It also accommodated the higher grades of Victoria School.

5.3 CENTRE WARD, CENTRAL OR VICTORIA SCHOOL

The vacant building standing at 400 Maple Street (subject property) was erected in 1894 as an annex to the 1884 Central / Victoria School.

Pine Street Location

Collingwood's first purpose-built school building is believed to have been on the east side of Pine Street between Second and Third streets. Sheriff Benjamin W. Smith donated the use of the lot about 1858. This frame structure was called Centre Ward School and may, in part, be standing in 2007 on School House Lane.

On June 6, 1870, the School Board trustees requested plans and specifications for improvements to the Centre Ward schoolhouse. On February 11, 1874, plans to enlarge the school were discussed. On April 6, the tender of William [Hayer] was accepted to erect a two-storey, brick addition to the frame building. On September 28, the Board considered the purchase of Lot 24, East Pine Street, adjoining the school grounds on the north. The brick addition is standing in 2007 on School House Lane.

Maple Street Location

At the June 18, 1883 Board meeting, it was first decided that an addition should be added to the brick portion of the Centre Ward school. Eventually the trustees agreed to make a request to Council for \$10,000 for "new school houses in Centre and East Wards." The decision to erect a new structure, rather than an addition, may have been influenced by a teacher reporting that the ceiling in his Centre Ward classroom was collapsing. A support post was installed.

By January 1884, there still was no response from Council regarding the requested funds. The Board stated "there are 1300 children of school age in Town – while the present school buildings will only legally accommodate 500."

At the April 1, 1884 meeting, the trustees agreed to an offer to purchase lots 10, 11, and 12, south side, Fifth Street, and lots 10, 11, and 12, north side, Sixth Street, Plan 45 (subject property). The Merchants Bank of Canada tried unsuccessfully to pressure the Board into buying all fifteen lots within the block, which were likely vacant at that date.

On May 27, Collingwood architect Marshall B. Aylsworth was awarded the contract based on his plans and specifications for a "school with brick partitions." The contract estimate was \$9,400. Contractor and trades bids were received in July for painting and glazing, excavation and rubblestone work, brick and cut stone, tinwork, plastering, and carpentry. Aylsworth was also commissioned to build a new building for East Ward School.

The start of work was delayed until the old Centre Ward school property was sold. The July 24, 1884 minutes explain that the late sheriff, Benjamin W. Smith, donated the use of the lot. His widow was willing to sign over the ownership but as her circumstances were considerably "for the worse, since the property had been given," she felt "some compensation was due her."

In September 1884, the Board acquired the six lots between Sixth and Fifth streets. The parcel was bought from accountant David Russell Dobie and merchant David Melville, both of Owen Sound, and the Merchants Bank. Each lot measured a quarter acre and the purchase price was \$1,100.

Construction of the 2½ storey, brick building called Central School was nearly complete by October 7, 1884. The following May 5, the Board asked Council for \$3,000 to finish the project. As no funds arrived by July, the building could not be occupied. That September there was a fire at the "old" Centre Ward School. It was December 1885 before the pupils were moved from the old to new location. Even then there were problems with open ditches and unfinished water drains on the property.

Aylsworth designed an impressive Romanesque Revival style school building. The massing was symmetrical, with north and south blocks flanking a recessed centre section with a dormer and 25' bell tower.⁹ The boys' and girls' entrances were on the north and south. Architecturally, the principal façade was the east, facing Maple Street. The school opened with twelve classrooms. (See appendix for historic images.)

The Annex

On April 30, 1894, the Board asked for an "estimate of a four room separate school or four rooms added to the Central School." Soon there was general agreement "to build a separate school house of four rooms, two to be furnished." On June 11, the contract proposal from architect Francis W. Bryan was accepted. He was affiliated with Bryan Manufacturing Company in Collingwood, manufacturers and suppliers of building materials.¹⁰

The new building (the annex) was erected "at the rear of the present Central School" and "level with the north wall of the main building." "Mr. Chamberlain tendered for the brick, stone, and plastering" work. On December 4, the Board complained that D. Peterman & Sons was using elm instead of the more expensive pine, so reduced the payment amount. Peterman was a local contractor and builder.

The attendance report of February 5, 1895, is the first to indicate that Central had fourteen, instead of twelve operating classrooms.

Steam Heating

The next major undertaking for Central School (main building and annex) was the conversion of the heating system from stoves to steam in May 1897. This was done by Keith & Fitzsimmons using plans and specifications prepared by architect W.J. Holland. Other work may have been involved. The *Enterprise Messenger* mentions that Central School was reopened, and then shortly after on September 16, reports that at a recent School Board meeting:

Application was presented from Keith & Fitzsimmons for \$1200, progress on contract, and also a number of accounts in connection with the work. The contract for the heating by the way has not yet been signed. A legal opinion is to be had as the liability for accounts for extras.

Landscaping

Collingwood's first kindergarten class opened in Central School in 1906.¹¹ That year, the School Property Committee made some improvements to the landscaping. The *Collingwood Enterprise* of June 6, 1906, reported:

The School Property Committee are putting in a lot of hard work and, so far as we can judge, the work seems good. They have cut down every other tree on the north side of the Central School, the girls have planted poplars and maples along the south side and maples along the east side and have trimmed back the fir trees which cast too much shadow on the east rooms. They have

also made good additions to the small garden plots and these are now laid out neatly so that each room has its own little plot from which to learn practical lessons in botany. The Committee are to be congratulated on the energetic performance of their duties.

Toilets and a Basement

On August 19, 1909, the *Enterprise* reported on the need for improvements:

The deputation that visited the Toronto schools last week returned home firmly convinced that the excavation of the basement of the Central School and placing the latrines therein, is the proper scheme to adopt. Architect Bishop of Toronto, a gentleman of wide experience in school construction, showed them every courtesy and strongly condemned outdoor closets as an abomination. They have been abandoned in every public school that had any claim for up-to-date sanitary conveniences.

During this period, the Hon. R.A. Pyne, provincial Minister of Education, was reviewing health and sanitation issues in all public schools. To qualify for a provincial grant program, inspections had to be completed under the direction of C.H. Hodgetts, M.D., Chief Health Officer of Ontario. A Provincial Health Inspector was in Collingwood on October 6, 1909. He visited East Ward School, North West School, West Ward School, and Central School:

The 1909 inspection report identifies East Ward School as a "four-roomed school;" North West as a "one-room wooden building;" and West Ward as a two-room brick building." With regard to Central School, he states:

This school consists of two brick buildings. The older and larger having accommodation for twelve classes was built in 1883, while the annex, which accommodates four classes, was erected in 1897.

Two visits were made to this school, the first just before the noon recess, and the second in the afternoon between two and three o'clock.

On the occasion of the first visit, I found the room and halls, without exception, stuffy, notwithstanding the fact that the day was bright and sunny and in most of the rooms the windows had been open during the session.

The system of heating of this school was originally by means of stoves and the ventilation system is the same now as at that time in operation. With the change to steam heating no provision had been made to provide a system suited to this changed method, therefore, at present, it is entirely inadequate, and with the method of [damaged section of newspaper] of the room, where in the winter they undergo a drying out process, the air of the room becomes very vitiated, a condition which is very unhealthy for the pupils and teachers.

In respect to the closet [toilet] accommodation, I found them entirely inadequate indeed; it is a matter which calls for immediate attention. The boys' closet is a brick building, about 12x16' outside measurement with a partition in the centre, making two small apartments about 6'x16'. . . . A similar building is provided for the girls. . . .

In my opinion, the school and outbuildings are in a very unsanitary condition, and the remedy lies in the installation of a proper and suitable system

of ventilation and the providing of modern conveniences in the basement. This latter work can be done by a deepening of the cellar.

I would also recommend the providing of space for cap and cloak rooms for both teachers and pupils, which rooms should be separate from, but adjacent to the class rooms.

Taking the schools on the whole they are not up to modern requirements, and are not what one would expect to find in a town of the size of Collingwood, and for sanitary reasons the situation should receive the immediate consideration of the authorities.

The Town and School Board responded to this inspection in several ways. Construction of an eight-room school for pupils in the west side of town, King George School, was started in 1911. East Ward School was repaired about 1910.

For Central School, the Board moved forward with plans that were already underway. Local architect John Wilson had prepared drawings in August 1908 for the "Toilet Rooms, Central Public School." These specified excavating the cellar lower and creating a below grade link between the main school building and annex. Included in the plans is a roof cupola, possibly for improving the ventilation and installing stackpipes. (See appendix for drawings.)

The School Board journal of receipts and disbursements indicate the following contractors were used for the "new building and improvements:"

A. Court, mason, with accounts from April 1910 to February 1911
D.A. Bell, carpenter, July 1910 to January 1911
H.G. Wynes, plasterer, July 1910 to February 1911
John Luckton, plasterer, August 1910
William Parrott, plumbing and heating, August 1910 to February 1911
James Godden, painting and glazing, September 1910 to February 1911
John Wilson, contingency account February 1911

John Wilson was born in Collingwood on August 17, 1863, and went on to become a master builder and noted architect. There is a tradition that he was involved in the construction of the 1884 Central School building.¹²

Central Becomes Victoria

In 1911, the Duke of Connaught, son of British monarchs Queen Victoria and Prince Albert, was appointed governor general of Canada. To celebrate his appointment, many Canadian schools adopted the names of British monarchs. Central became Victoria School; East Ward became Connaught; and the new school was named King George.

Continuing Use

In 1910, the Board of Education was seeking classroom space for manual training. In 1912, two rooms in the annex were requested. The Board held these classes in the Town library and at Central/Victoria School until a technical school was opened in 1913 on Third Street.¹³

The March 8, 1945 issue of the *Enterprise Bulletin* announced, "Victoria School Annex to be Opened" and stated, "That work be proceeded with under John Wilson, architect, to open the annex of Victoria School." By September, Principal Hugh Davidson had "two rooms now open in the annex." It is presumed that the classrooms in the annex had not been required in recent years, due to low student enrollment.

When a new collegiate building was opened in 1954, the former building became Admiral Collingwood School. As it was a senior public school drawing all students in Grades 6, 7, and 8, Victoria School became a junior public school. Although some Victoria School students were relocated in 1967 to the new Cameron Street School, it continued to be used as a junior public school until 1969. The 1884 structure was then demolished.

In 1969, the Association for Retarded Children moved from the first (East Ward) Connaught School building (renamed the R.H. Davidson Memorial School) to the Victoria School annex. The annex served as the Collingwood Alternative School until October 2001.¹⁴

The Collingwood Public School Board and its 1969 successor, the Simcoe County Board of Education, held continuous ownership of the property until the six lots were sold to the current owner in 2004. In 2007, the annex building was vacant.

5.4 SUMMARY OF HISTORICAL OR ASSOCIATIVE VALUE

The former Victoria School annex building represents the final stage in the chronology of Collingwood's first common or public school, Centre Ward School. In the 1850s, classes were held in makeshift locations until a purpose-built, frame building was erected about 1858 on Pine Street. This was enlarged in 1874 by a brick addition. This frame and brick structure, or part of, is standing in 2007 on School House Lane.

Construction began in 1884 on a substantial, Romanesque Revival style school building on Maple Street between Sixth and Fifth streets. The matching, standalone, annex building was erected at the west in 1894.

The subject property at 400 Maple Street was in continuous use for educational purposes from 1884 until 2001. The result is a long-standing association of the site with Collingwood's elementary school aged children, parents, staff, and administrators.

The 1884 school building was designed by Collingwood architect Marshall B. Aylsworth and built by local contractors. The annex is a near duplicate of his 1884 design and it could be argued that with the removal of the earlier building, the annex now represents Aylsworth's work at this site.

The annex was designed and erected under the supervision of another local architect, Francis W. Bryan, with Collingwood builders D. Peterman & Sons and local tradespeople.¹⁵

6.0 DESIGN OR PHYSICAL VALUE

6.1 SCHOOLHOUSE ARCHITECTURE

Ontario's first Chief Superintendent of Education, Egerton Ryerson (appointed 1846), advocated that a schoolhouse should be "neat, elegant and attractive. . . . The impression fixed in the minds of the children would be that school was a place of power, influence and importance."

A handbook of instructions for building schoolhouses evolved into Ontario's standard manual on schoolhouse architecture published in 1876. The lot size was to be an acre, a pleasant location, and the building one that would inspire young minds. The concept of separate entrances and play yards for boys and girls began about 1870 and continued into the 1930s.¹⁶ Collingwood's 1884 Central School and 1894 annex are in keeping with these provincial recommendations for schoolhouse design.

A Collingwood resident also held opinions about the suitable architecture of "Our Public Schools." A letter written by local builder, designer, and engineer Fred T. Hodgson was published in the April 24, 1884 issue of the local newspaper. Hodgson is critical of the local Board of Education, stating that it "has no reason to be proud of its past experience in school structures; whether as regards external appearances or internal arrangements." He argues that good architectural design:

[As] a "Thing of Beauty" is also an educator and refiner, and that the school days are those in which are planted the seeds of future happiness or misery; and what aids to the happiness of matured life, more than pleasing memories of days spent at school? When such pleasant memories may be intensified by making the school and its surroundings cheerful and attractive, it is clearly our duty to see to it, that while preparing the necessary and useful, the pleasing and beautiful are not overlooked.

In 1890, Hodgson is believed to have designed a brick school building to be erected in the West Ward as the North-West School. (Further research is required.)

6.2 STYLE, PLAN, AND MASSING

Hodgson cautions in his April 1884 letter that the Gothic Revival style, although popular throughout Canada for educational institutions, is "altogether out of place" and should be avoided. He calls it the "gloomy style" that "possesses a deterrent effect on the cheerfulness of the young." He encourages the School Board to employ an architect with "modern ideas" and suggests the Queen Anne style as an appropriate choice.

Although not Queen Anne, the 1884 Central School building had elements of the "modern" Romanesque Revival style of architecture. The 1894 annex duplicated and continued with the Romanesque style and design elements of the 1884 building.

The annex is a 2½ storey structure in a modified cruciform plan with the smaller gabled projections extending north and south. It is a standalone building with all the facades

finished with equal workmanship and quality of materials. Its design and structural integrity did not depend on the existence of the 1884 structure. The primary entrance façade faces east, originally a short distance from the west facade of the 1884 building. After 1910, the basements of the two structures were linked below grade.

6.3 ROOF

The roof is a medium pitched, cross gable. There are two gable designs, both with lower hips or horizontal sections that have a slight bellcast or tent curve. The fascia boards are flat with beading and there appears to be moulded trim along the soffit of each gable. An early photograph indicates there were finials (ornament) at the apex of (possibly) each gable.

The north and south (smaller) gables have a sunburst motif composed of wood strapping separating what appears from a distance to be a granular plaster material (or textured board). This is a modified version of the gable design on the 1884 structure.

The main east and west gables have a geometric block pattern formed by strapping and the granular material (or textured board). There is evidence of what may be two openings within each gable, possibly for ventilation, but now blocked. At the centre of each gable is a section of brick chimney. There is no known photographic evidence indicating that this gable design was on the 1884 structure.

The four gables are an attractive element of the annex, especially when both design types can be viewed together as a composition.

The two end chimneystacks have been removed from the roof. The existing chimneystack at the centre is not original but is visible in a photograph hand dated 1918.

A 1904/updated to 1917 insurance plan identifies the roof of the 1884 structure as shingle on board and the annex as composite (now asphalt shingle).

6.4 MASONRY

This is a solid masonry building constructed with red-orange colour bricks laid in common bond. Buff-cream colour bricks are used to create horizontal bands, alternating (red/buff) surrounds at each door and window opening, and portions of the arcading at the eaves. The popular period technique of applying black pigment to bricks for use as bands and edging is also evident. The mortar is a buff coloured lime-based mix.

Flat, brick pilasters are used to divide the wall massing into vertical sections. Each pilaster is terminated at the eaves with carved wood brackets. The main walls have brick arcading at the eaves (the upper edges are now partially obscured by eavestroughs). Each gable wall has brick corbelling rising in steps to the gable. All of the masonry is patterned after the 1884 structure.

The foundation is rubblestone. The cellar was excavated in 1910 to create a basement.

6.5 ENTRYWAYS

The east facade of the north-south block of the annex has one entrance on the north half and one on the south half (boys and girls). The door openings are a half round arch with transoms (upper sections) that were likely glazed, now boarded. Double width doors are recessed within the arch, making it unnecessary to have a portico (porch).

The 1884 building had open porticos at the entrances; each with a shed roof supported by turned posts and carved brackets. The skeletal, shed roof porticos now on the annex were a later practical addition. The roof of the north entrance portico slopes north to match the north portico of the 1884 building. The south portico roof of the annex slopes east. With the removal of the 1884 structure, the two annex portico rooflines now appear mismatched.

The doorways are accessed by stairways. The metal handrails are replacements for the original wood handrail and supports.

There is what appears to be a basement entrance at the southwest corner of the structure.

6.6 WINDOW OPENINGS

Most of the window openings are the round arch type; some are segmental in shape. Both shapes are typical of Romanesque Revival styling. There are paired and single openings of varying width. The upper section of each opening is decorated with alternating red/buff coloured brick voussoirs with brick keystones. Black pigmented brick is used to edge and visually link the openings. The sills are the extended (lugsill) type in stone (or possibly concrete).

The original windows were likely double hung, flat, 2x2 pane, wood sashes, with shaped glazed transoms. The frames appear to be wood. Some openings have been bricked (possibly at any early date) and some were boarded recently. It is not known to what extent the original sashes survive.

The basement window openings are flat.

The overall fenestration (window placement and type) is symmetrical and important to the building design.

6.7 OTHER FEATURES

Other transient features, such as the metal light fixture mounted on the building, and any landscape features should be surveyed when access to the site is permitted.

6.8 INTERIOR

An inspection of the interior of the annex was not possible. Section 29, OHA, allows for the protection of interior features that support or contribute to the cultural heritage value or interest of the property. In this case, it is recommended that a survey of the interior be conducted to identify any significant school related artifacts that may be suitable for incorporating into the renovated interior or for use in an historical display.

6.9 SUMMARY OF DESIGN OR PHYSICAL VALUE

The 1894 annex is a well-executed local example of the Romanesque Revival style of architecture being applied to institutional use. It is patterned after the 1884 school building on the site designed by Collingwood architect Marshall B. Aylsworth, but was designed and erected as a standalone structure. The annex illustrates the nineteenth century philosophy that a school building should be inspiring and have certain features such as separate entrances for boys and girls and natural lighting. The plan, massing, gable designs, masonry, decorative and polychromatic (red/buff/black) brickwork, round and segmental door and window openings together form an attractive composition. The building maintains its overall architectural integrity.

7.0 CONTEXTUAL VALUE

There has been a school building on this site since 1884. The 1894 Victoria School annex building is a neighbourhood and town landmark.

8.0 RECOMMENDATIONS

8.1 DESIGNATION UNDER SECTION 29, OHA

Given the documentary and physical evidence, it is concluded that the portion of the property at 400 Maple Street that contains the 1894 Victoria School annex building holds cultural heritage value or interest to the municipality.

There are essentially two options under the Ontario Heritage Act for the conservation of a cultural heritage property: designation under section 29, or a heritage conservation easement agreement.

In this instance, and as the Town is currently not proposing loans or incentives to the property owner, a conservation easement agreement may not be appropriate. Designation under section 29 is a long-term conservation strategy for the property, while allowing the annex building to be integrated into the proposed residential development. In either case, it is Council that makes the final decision in this matter.

It is also recommended that consideration be given to evaluating the cultural heritage

value or interest of the former East Ward/ Connaught School building at 125 Napier Street. The original section of this building was also constructed in 1884 and designed by Collingwood architect Marshall B. Aylsworth. Although East Ward began as a much smaller school, there are visible similarities between it and the 1884 Central School building and 1894 annex. The enlargement of the East Ward schoolhouse in 1902 continued the Romanesque Revival style approach. Connaught School could serve as the primary site for the commemoration of elementary public school education in Collingwood. Reference could also be made to the survival of the earlier school buildings on School House Lane.

8.2 DRAFT STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

If designation under section 29, OHA, is proposed, the following is recommended as the statement of cultural heritage value or interest and description of heritage attributes, for purposes of the designation bylaw.

HISTORICAL OR ASSOCIATIVE VALUE

The former Victoria School annex building on Maple Street represents the final stage in the chronology of Collingwood's first common or public school, Centre Ward School, from makeshift classrooms elsewhere in the 1850s, to the sale of the annex property by the Simcoe County District School Board in 2004. The Maple Street property was in continuous use for educational purposes from 1884 until 2001, resulting in a long-standing association of the site with Collingwood's elementary school aged children, parents, staff, and administrators.

The 1884 school building was designed by Collingwood architect Marshall B. Aylsworth and built by local contractors. The 1894 annex is a near duplicate of his 1884 design and with the removal of the earlier building, now represents Aylsworth's work at this site. The annex is also the work of another local architect, Francis W. Bryan, with Collingwood builders D. Peterman & Sons and local tradespeople.

DESIGN OR PHYSICAL VALUE

The 1894 annex is a well-executed local example of the Romanesque Revival style of architecture being applied to institutional use. It is patterned after the 1884 school building on the site designed by Collingwood architect Marshall B. Aylsworth, but was designed and erected as a standalone structure. The annex illustrates the nineteenth century philosophy that a school building should be inspiring and have certain features such as separate entrances for boys and girls and natural lighting. The architectural elements form an attractive composition and maintain their overall integrity.

CONTEXTUAL VALUE

There has been a school building on this property since 1884. The 1894 Victoria School annex is a neighbourhood and town landmark.

HERITAGE ATTRIBUTES

The following is based on viewing the annex from the street and is subject to revision.

The significant heritage attribute of the property is the 1894 Romanesque Revival style school annex building, elements of which include:

Exterior Only

- Cruciform plan, height, massing, and symmetry
- Cross gable, medium pitch roof type
- Fenestration (window placement, shape, dimension, and sash type)
- Red-orange and buff-cream coloured brick masonry with buff coloured lime based mortar
- The use of black pigment on selected bricks as banding and edging
- All decorative brickwork, including corbelling, arcading, pilasters, and bands
- All woodwork, including moulding and carved brackets
- Rubblestone foundation
- All elements of the gables
- All original door openings, with separate boys' and girls' entrances

PART II

HERITAGE IMPACT ASSESSMENT

9.0 BACKGROUND

The draft development proposal for the property at 400 Maple Street is to erect a 3-unit condominium, 10 single detached and 1 semi-detached residential units, and convert the 1894 former Victoria School annex to a 4-unit condominium. This proposal is presented in the document, "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement, March 2006" prepared by Shelley Wells & Associates on behalf of The Victoria Annex Group Inc. It is currently being considered by Planning Services.

A copy of the Wells document and other materials about the proposed official plan amendment, zoning bylaw amendment, plan of subdivision, and site plan were provided by Planning Services in March 2007 for this Heritage Evaluation and Impact Assessment.

The Town has requested a preliminary assessment of any negative impacts this development may have on the heritage attributes of the property.

10.0 REPORT OBJECTIVES

10.1 PURPOSE OF A HERITAGE IMPACT ASSESSMENT

Physical alterations such as renovations, facility upgrades, repairs, additions, and other changes may involve the introduction of modern materials, new forms, incompatible architectural style elements, and other factors that may diminish the cultural heritage value or interest and integrity of a heritage property.

Changes in drainage patterns, shadows, wind velocity and direction, landscaping, snow build-up, or other new conditions may threaten the stability of a heritage property over the short and/or long term.

For a property formerly associated with public use, such as the annex site, the way in which the public continues to view and appreciate the site can also be an important consideration.

A heritage impact assessment is intended to identify the implications of a proposed site alteration and/or development on a cultural heritage property and recommend to Council ways in which any negative impacts can be minimized or avoided.

10.2 ASSESSMENT IS PRELIMINARY

To undertake this heritage impact assessment, it was necessary to assume that the Town considers the subject property to hold cultural heritage value or interest, as evaluated in Part I of this report. It was also assumed that it is Council's intention to implement a long-term conservation strategy (possibly section 29, OHA, designation) for the annex building, as the primary feature of the property. The position of Council in these matters has yet to be finalized.

The objective of this heritage impact assessment is to analyze the actions being proposed for the integration of the annex into the new residential development. The findings and recommendations are based on the information learned through the compilation of Part I (heritage evaluation) of this report, a review of the materials provided by the Town, and the application of standards and guidelines for the conservation of heritage properties.

It is understood that this development requires further approvals before proceeding to a final site plan. No specifications or work plan for the alterations proposed for the annex were provided for review, except that the interior is to be "gutted" and the exterior "restored" as part of its conversion to a 4-unit condominium. For these reasons, this assessment should be considered preliminary only.

11.0 CULTURAL HERITAGE VALUE OR INTEREST

Section 8.2 of Part I of this report provides a draft statement of the cultural heritage value or interest of this property and identifies those heritage attributes important to maintaining the integrity of that value or interest. Within this context, the following summarizes the implications for new development or site alteration.

HISTORICAL OR ASSOCIATIVE VALUE

The statement of historical or associative value suggests that any aspects important to the identification of the annex as a community school building, such as, the plan, massing, fenestration, boys' and girls' entrances, etc., should be preserved.

Alterations and new construction should not diminish the integrity of the building as an example of the work of the local architects, builders, and tradespeople involved with its design and construction.

DESIGN OR PHYSICAL VALUE

The statement of design or physical value suggests that the Romanesque Revival style and architectural components of the annex, as listed under heritage attributes, are to be preserved. Any alterations should be in keeping with the intent of the original design and be guided by standards and guidelines for conserving heritage properties.

As the annex was erected as a standalone structure, any direct contact with new construction is to be avoided or done in such a way as to minimize the visual and physical impacts.

New construction should enhance the historic, where they form one viewscape.

CONTEXTUAL VALUE

The implication of the statement of contextual value is that the annex building should be retained on the site as the landmark or focal point within the new development. Public association with the site should be allowed to continue through adequate viewscales from public streets.

12.0 CURRENT DEVELOPMENT PROPOSAL

12.1 DEVELOPMENT AND DESIGN APPROACH

In the March 2006 Wells report, reference is made to the approach being taken to the integration of the annex into the new development. No specifications for actual alterations to the annex are included:

- p. 6 Renovation of the existing historic structure to accommodate 4 residential lofts (the Annex)

Expansion of the existing structure to include 3 additional residential lofts (the Coach House)

- p. 9 The exterior of the existing structure will be restored

The coach house lofts will compliment the period architecture of the existing annex building

Renovations to the existing structure will consist of exterior restoration, gutting of the interior and reconstruction to modern standard in order to create new condominium units

The single detached and semi-detached residences will be constructed of materials and colour pallets in an architectural style compatible with the surrounding neighbourhood and with the vision of Collingwood as a whole. The architecture and landscape treatments will be taken from the local climate,

topography, and historical and existing Collingwood neighbourhoods

- p. 17 The existing building will be preserved and enhanced
- p. 30 The prime objective of the architectural vision for the Victoria Annex project is to ensure compatibility with the established built form. The Victoria Annex must fit within the context of the existing neighbourhood but also provide for the Victoria Annex a unique character and sense of identity.

Anchoring the proposed development, at its centre, is the historic Victoria Annex, an existing two storey brick building dating back to 1917. After considering several options, a vision was developed to restore the landmark building, convert its interior to condominium apartments, and to renovate and restore the exterior as necessary to upgrade and protect the structure's historic value.

The restored brick Annex building will be complimented with a wood clad board and batten addition, "the Coach House," appropriately scaled to enhance the existing building and provide three additional condo units, enclosed parking for the units and services for the main building.

The proposed interior vehicular land will provide access to the Annex/Coach House building and for the single detached dwellings, which surround and reinforce the historic focus of the Annex/Coach House. A pedestrian path provides an axial access to the Annex/Coach House from Maple Street, providing pedestrian permeability as well as a visual focal point to celebrate the historic structure.

The surrounding single family detached dwellings are one and a half storey and are detailed to compliment the historic annex building and vernacular architecture of downtown Collingwood homes.

Comment

Taken at face value, this approach to the integration of the annex into the new development has merit. It is also known that early in 2007, a change in approach resulted in an application for a demolition permit for the annex. This has since been withdrawn, pending negotiations on the permitted number of units for the site.

12.2 ANALYSES OF SITE PLAN AND GRAPHICS

The following analysis and recommendations are based on a review of the proposed site plan and accompanying graphics in the March 2006 Wells report. It is noted that there are inconsistencies between the plotting on the site plan and the artistic renderings.

12.2.1 OVERALL ARCHITECTURAL CONSIDERATIONS

Density

A total of nineteen units are being proposed for this site. Currently, provincial interests

are advocating high-density “intensification” and infill construction. As evident in the Provincial Policy Statement of the Planning Act, these interests are not intended to override heritage conservation as an important tool in the cultural and economic vitality of a community.

Height

It appears that except for the coach house, the maximum proposed height for all new construction is 1.5 storeys, but no final measurements are provided. It is advisable that no new structures, either adjacent or distant, exceed the eave height of the annex building. This is in an effort to maintain the annex as the focal point of the development and as the local landmark.

Built Form

The Wells report states: “The prime objective of the architectural vision for the Victoria Annex project is to ensure compatibility with the established built form. The Victoria Annex must fit within the context of the existing neighbourhood but also provide for the Victoria Annex a unique character and sense of identity.”

Figures 11c, e, f, and g (not provided, see Wells report) are the designs proposed for the residential units. These are a fusion of styles, elements, and materials drawn from over two centuries of architectural heritage. Whether this eclectic mix captures the “vernacular architecture of downtown Collingwood homes” should be further analyzed.

Viewscapes

Historically, the annex was immediately west of the 1884 schoolhouse, with their north facades aligned. The south façade of the annex was recessed back from the south façade (“to the rear”) of the 1884 structure. The annex was designed and erected as a standalone structure. The workmanship and quality of materials are equal on all facades.

From an architectural design perspective, the principal façade is likely the east (as it was for the 1884 schoolhouse). When built, the east façade could only be fully viewed looking west from or very near the 1884 schoolhouse. With the removal of the 1884 structure, this principal façade has been revealed.

The closest view of the annex for the public was looking directly south or southwest from Fifth Street to the north facade. Looking east from Birch Street, the first floor of the annex is visually blocked by the nineteenth century dwelling abutting the northwest corner of the property.

The south façade of the annex could be viewed looking north, and partially northwest, from Sixth Street and was visually secondary to the two-building composition.

The west façade of the annex has been obscured since the construction of residential buildings on the abutting property.

Given the historic viewscapes, it is recommended that priority be given to maintaining an unobstructed view of the east façade of the annex. As the north façade is the closest to a public street, efforts to maintain some view of this façade are also advised.

Wherever the annex and new construction form one viewscape, the design of the new component should enhance and frame, not compete, with that of the annex.

Landscape

The Wells report states the intention to maintain, where possible, the existing mature specimen trees. Any new plantings that form part of the viewscape of the annex are best with a low height at maturity.

12.2.2 COACH HOUSE

Figure 7 (see appendix) of the Wells report indicates that a new 3-unit condominium ("coach house") is to be erected adjacent to/abutting the south façade of the annex and extending slightly east of the annex. The result is the coach house will fully block the view of the south façade and recess part of the east façade of the annex. The single detached units proposed for the Sixth Street frontage also interfere with the view of the south façade of the annex.

As stated in 12.2.1 Viewscapes, the view of the south façade of the annex is less important from a heritage perspective, than being able to view the east façade. The need to build units along the Sixth Street frontage is obvious, and they will interfere with the public view of the south facade of the annex from that direction. It is, however, advised that the coach house not extend east of the annex and interfere with the view of the east façade. If the view of the south facade of the annex is to be blocked, then the view of the east façade should be maximized.

Figure 11a (see appendix) shows a narrow open space between the annex and coach house. In Figure 11b (see appendix), this "open" space between the units appears filled by an east entryway. If this space is too narrow or enclosed, issues of dampness deteriorating any wood elements, inadequate circulation for seasonal drying of the masonry, snow build up, etc. may place the annex at risk. The actual distance between these two structures needs to be clarified and measures taken to avoid any risks to the annex.

Figure 11a also shows the south annex gable and north coach house gable as joined. Figure 11b shows the south annex gable becoming a cross gable that terminates on the south (not north) side of the coach house. Essentially, the south gable of the annex is lost. The annex gables are considered to have cultural heritage value or interest and should not be altered in this manner.

The proposed design of the coach house, as in Figure 11b, does not "compliment the period architecture of the existing annex building." For example, the coach house is not a gable end form; the roof has pseudo Gothic Revival style dormers, not Romanesque gables; and there is no reference to the massing or alignments of the annex. The coach house does not need to be a duplicate of the annex, but as these structures may be abutting, taking inspiration from the round and segmental door and window openings, gable proportions and design motifs, decorative brickwork, and other elements is advised.

The wall cladding for the coach house is "wood clad board and batten." Although examples exist, the use of board and batten for dwellings was not common in the mid to late nineteenth century in this part of Ontario. It is seen more frequently on outbuildings. Using it adjacent to a red/buff brick building would be inappropriate from a historic architecture perspective.

12.2.3 SEMI-DETACHED DWELLING

No graphic is provided for the semi-detached building to be erected at the northwest corner of the property. It is evident that a structure in this location will obstruct the traditional public view of the annex from Fifth Street. To at least partially maintain this viewscape, the semi-detached dwelling would be best positioned as close to the west lot line as permitted, and the roofline kept below the brick arcading at the eaves of the annex.

The upper section of the north façade of the annex will become the backdrop to the semi-detached building. It is advisable that the design of the new construction visually enhance and not conflict with the historic.

At the northeast corner of the annex, two styles of gables form an important visual composition. Any massing or configuration of the roof of the semi-detached structure that can maintain the public view of the two gables is recommended.

12.2.4 PEDESTRIAN WALKWAY

The symmetry of the annex is important to the success of its Richardson Romanesque styling. It is also an important expression of the function of the building as a schoolhouse with north and south/ boys' and girls' entrances.

The proposed pedestrian walkway from Maple Street as shown on Figure 11a is narrow and exits just north of the midpoint of the east façade of the annex. Figure 11d (see appendix) indicates that the view west along the walkway is a section of the south half of the east façade of the annex. This is unlikely the actual view. (It should be noted that the east façade is incorrectly represented as having a gable with the sunburst motif. This east gable is the geometric design type.)

As the east façade of the annex is best viewed from a central point, repositioning and widening the proposed walkway is recommended.

The two detached dwelling units flanking the walkway frame the public view of the east façade. The architectural design, massing, and elements shown in Figure 11d seem to have minimal relationship to those of the annex. Attention should be paid to the proportions and architectural design components of these units so as to enhance and frame the view of the annex.

13.0 CONSERVATION PLAN

There are accepted standards and guidelines for the conservation of heritage properties. The core principle is that work will stabilize the structure, restore the surviving historic components, repair before replacing, and replace with like materials, without jeopardizing the integrity of the structure. The priority is to conserve the historic fabric, with particular attention to those heritage attributes identified in any governing agreement or bylaw for the property.

At this stage of the development proposal, no specifications or work plan for the annex have been compiled. It is recommended that a qualified heritage building specialist develop a conservation plan based on accepted standards and principles for the annex. The Plan should include instructions such as not to clean the masonry with abrasives, use the correct mortar mix, good workmanship, document existing features, non-damaging servicing upgrades, and integrating new elements with regard to the historic fabric, etc.

14.0 IMPLEMENTATION AND MONITORING

It is recommended that Planning Services consider this Heritage Evaluation and Impact Assessment when assessing the proposed development. Once approvals are in place and the development is at its final site plan and design stage, a final review by a qualified heritage building specialist or committee is advised.

Any work that impacts the annex should be monitored for compliance with any governing agreement, bylaw, or conservation plan.

Artifacts or remnants related to the past use of the site may be revealed if and when there is soil disturbance. This possibility should be monitored and a licensed archaeologist contacted in the event that any unusual or significant artifacts, remnants, or human remains are discovered.

ENDNOTES

- ¹ Shelley Wells & Associates. "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement, March 2006," p. 5. Copy provided by Town of Collingwood Planning Services.
- ² Minutes of the Board of School Trustees for the Town of Collingwood, January 1859. Huron Institute Collection. Simcoe County Archives.
- ³ Barbara Arp, ed. *Reflections, Collingwood An Historical Anthology*, p. 258.
- ⁴ This is said to have later been used as a residence and burned in 1898.
- ⁵ Board of School Trustees minutes, January 1859. Simcoe County Archives.
- ⁶ Robert Hill, letter to Su Murdoch, May 31, 1983, noting a Contract Record dated August 9, 1890, refers to Hodgson "preparing plans" for a "School in the West Ward of Collingwood." This is believed to refer to North-West Ward School.
- ⁷ Arp, p. 260.
- ⁸ *The Enterprise Bulletin*, June 9, 1971. "The King George Annex is the last unit of the former Victoria Public School on Sixth Street." Collingwood Schools Collection. Simcoe County Archives
- ⁹ The bell from the school on Pine Street was moved to new location. On April 1, 1889, the Board passed a motion to move the bell to East Ward School and buy a new bell for Central. One of these bells is now at the Collingwood museum.
- ¹⁰ Henry Vernon & Son, publishers. *Vernon's Simcoe County Directory Including Complete Town Directories of Barrie, Collingwood, Midland and Orillia for the Year 1923*.
- ¹¹ Arp, p. 258.
- ¹² Isabel Griffin. "Events in Collingwood's History No. 41: The legacy of John Wilson, Collingwood's Master Builder." *The Enterprise Bulletin*, March 19, 1997. Copy provided by Simcoe County Archives. A large collection of architectural drawings by Wilson is held by the Simcoe County Archives.
- ¹³ Arp, p. 262
- ¹⁴ Wells, p. 5.
- ¹⁵ Some names of tradespeople are contained in the Board of School Trustees for the Town of Collingwood Minute Book. Further research is required to identify all involved.
- ¹⁶ Anne M. Logan, *School's Out: A Pictorial History of Ontario's Converted Schoolhouses*, p. 9.

APPENDIX

- Plan 45, registered 1856. Simcoe County Land Registry Office, Barrie
- Images of Central/Victoria School and annex. X968.891.1 (1910); X970.870.1 (July 1918); X971.549.1; X969.152.1 (Collingwood Museum)
- Victoria School, south and west facades and annex, 1936. Note the removal of the tower. X970.858.1 (Collingwood Museum)
- Architectural drawings by John Wilson: Central Public School Plan of Proposed Toilet Rooms August 1908; Central Public School First Floor Plan; Sections. (Simcoe County Archives)
- Collingwood Fire Insurance Plan, 1904/updated to June 1917. 973.11.15, Collingwood Museum
- Collingwood Fire Insurance Plan, November 1955. Simcoe County Archives
- Historic images
- Site visit images March 15, 2007
- "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement, March 2006" by Shelley Wells & Associates:
 - Figure 7
 - Figure 11a
 - Figure 11b
 - Figure 11d
- Ontario Heritage Act Regulation 9/06
- Sources

62	100	100
61	100	250

Seventh Street

60	100	100
59	100	250
58	100	100
57	100	250
56	100	200

High Street

55	100	250
54	100	250
53	100	100
52	100	250
51	100	100

High Street

60	125	125
59	125	125

Street

10	100	100
11	100	100
12	100	100
13	100	100
14	100	100
15	100	100
16	100	100
17	100	100
18	100	100
58	125	125
57	125	125
56	125	125
55	125	125

Maple

10	125	125
11	125	125
12	125	125
13	125	125
14	125	125
15	125	125
16	125	125
17	125	125
18	125	125
56	125	125
55	125	125
54	125	125
53	125	125
52	125	125
51	125	125

South Street

South Street

South Street

60	100	100
59	100	100

Street

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56	100	100
55	100	100

Birch

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57	100	100
56	100	100
55	100	100

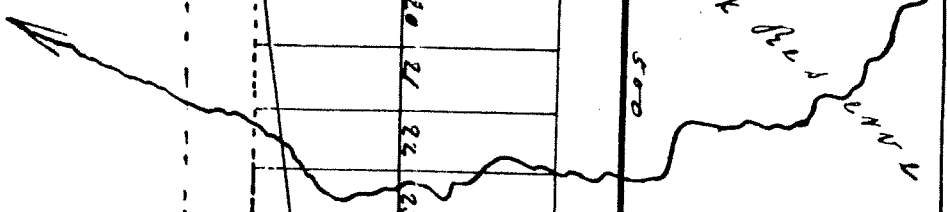
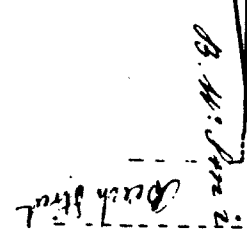
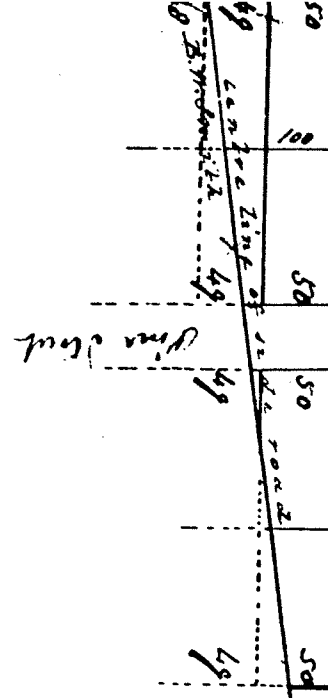
Oak

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20	100	100
21	100	100
22	100	100
23	100	100
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52	100	100
51	100	100

For here of a Survey the town being par Collinswood

PLAN 45 REGISTERED 1846

Underwoods creek

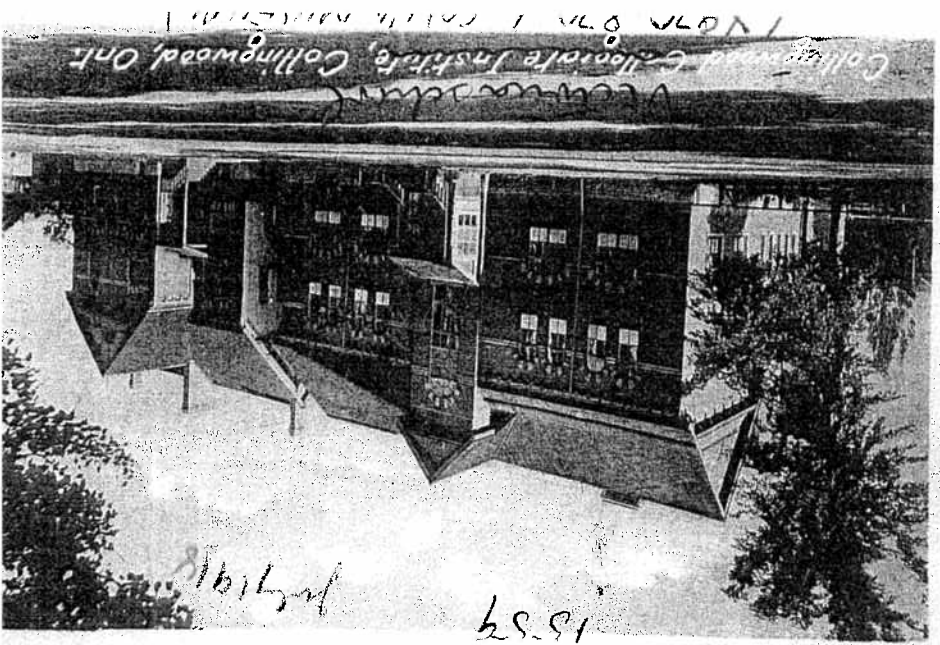


(X970.8581 COLL. MUSEUM)

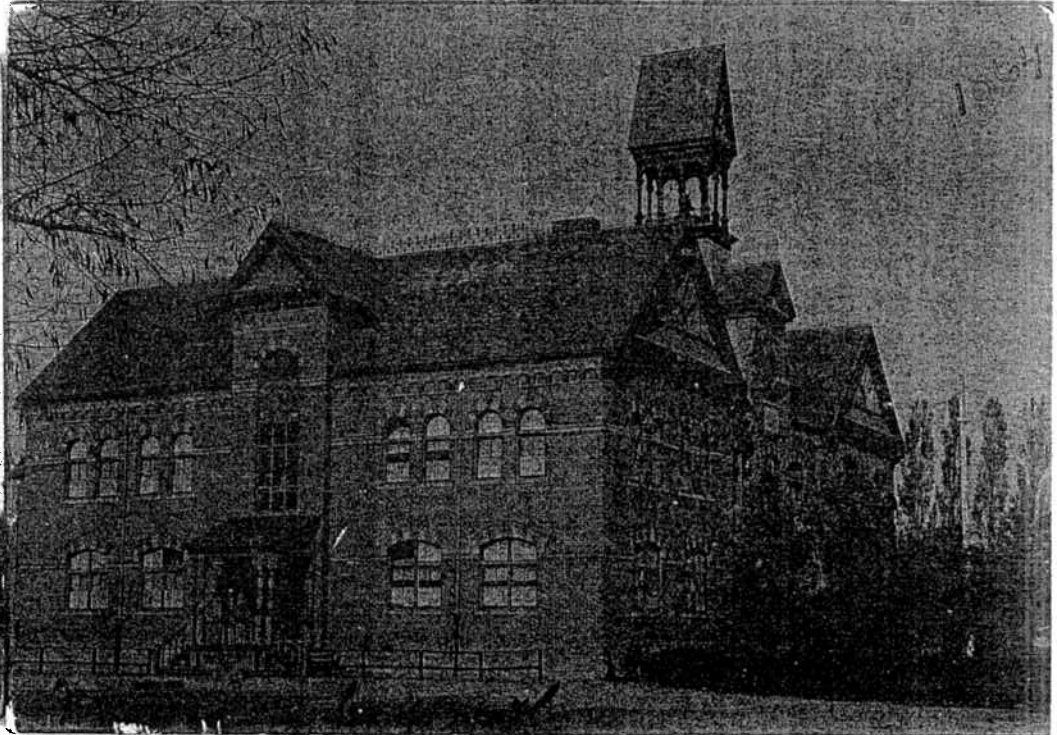
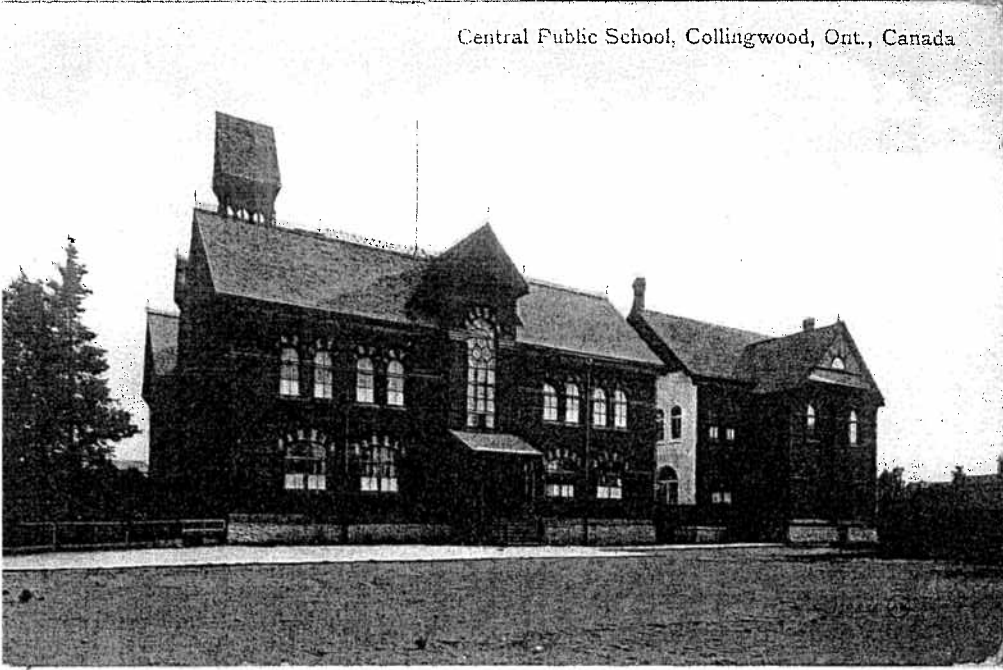
1931



Victoria Public School built 1884
No. 101



Central Public School, Collingwood, Ont., Canada



HERITAGE DESIGNATION REPORT

FORMER VICTORIA SCHOOL ANNEX PROPERTY

***400 MAPLE STREET
COLLINGWOOD, ONTARIO***

SU MURDOCH HISTORICAL CONSULTING

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NOVEMBER 2015



SUMMARY

The property at 400 Maple Street in Collingwood contains a brick school building erected in 1894 as an annex to the 1884 Central/Victoria Public School. The 1884 school on the property was demolished about 1969. The Annex was used for educational purposes until 2001, was sold by the Simcoe County District School Board in 2004, and in 2015 was vacant.

Based on the findings of this Heritage Designation Report, it is concluded that the portion of the property that contains the 1894 former school Annex is a suitable candidate for designation under section 29 of the Ontario Heritage Act (municipal designation).

It is recommended that Council not proceed with considering the protection of this property until the current site plan application is resolved, as it includes a severance of the parcel of land that contains the Annex. A new legal description of the Annex property may then be applicable.

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HERITAGE DESIGNATION REPORT

FORMER VICTORIA SCHOOL ANNEX PROPERTY

400 MAPLE STREET, TOWN OF COLLINGWOOD

1.0 REPORT OBJECTIVE AND METHODOLOGY

This Heritage Designation Report is intended to provide the Town of Collingwood (“the Town”) with the information necessary to consider for protection under section 29 of the Ontario Heritage Act (“the Act”) (municipal designation of individual property) the property known municipally as 400 Maple Street.

This property contains the former 1894 Victoria School Annex building (“the Annex”) and vacant lands associated with the 1884 main school building and playground (both removed). It has frontage on Maple, Fifth, and Sixth streets. A 2015 site plan application for residential development proposes to sever the location of the Annex as a separate parcel of land (Figure 2).

The findings of this report are based on a *Heritage Evaluation and Impact Assessment* undertaken in March 2007 by Su Murdoch Historical Consulting on behalf of the Town. A site visit on October 27, 2015, confirmed that there has been no substantive change to the property since 2007.

This report does not include the identification of any archaeological resources or areas of archaeological potential. Only an archaeologist licensed under the Act can undertake that fieldwork, if required.

2.0 SUBJECT PROPERTY

The subject property is a 1.5-acre, rectangular block of Lots 10, 11, 12, north side, Sixth Street, and Lots 10, 11, 12, south side, Fifth Street, Plan 45, Town of Collingwood (Figure 1). Known municipally as 400 Maple Street, it is bounded on the south by Sixth Street, east by Maple Street, north by Fifth Street, and west by single detached dwellings.

The site contains a 2.5 storey, brick building constructed in 1894 and known as the former Central/Victoria School Annex. It was designed as a standalone structure, flanking the west side

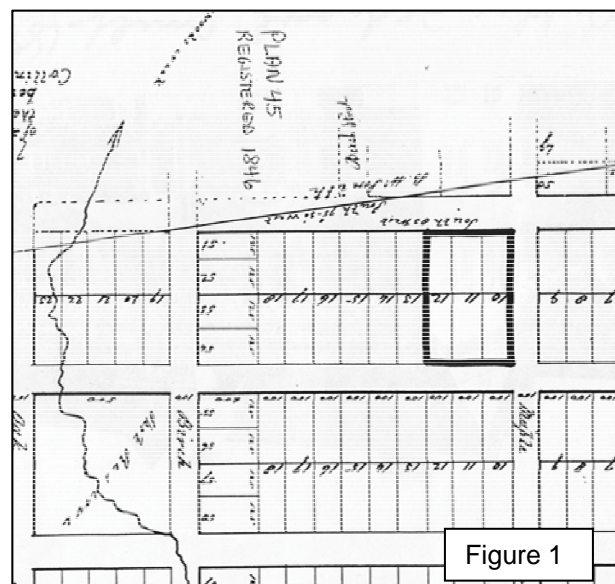


Figure 1

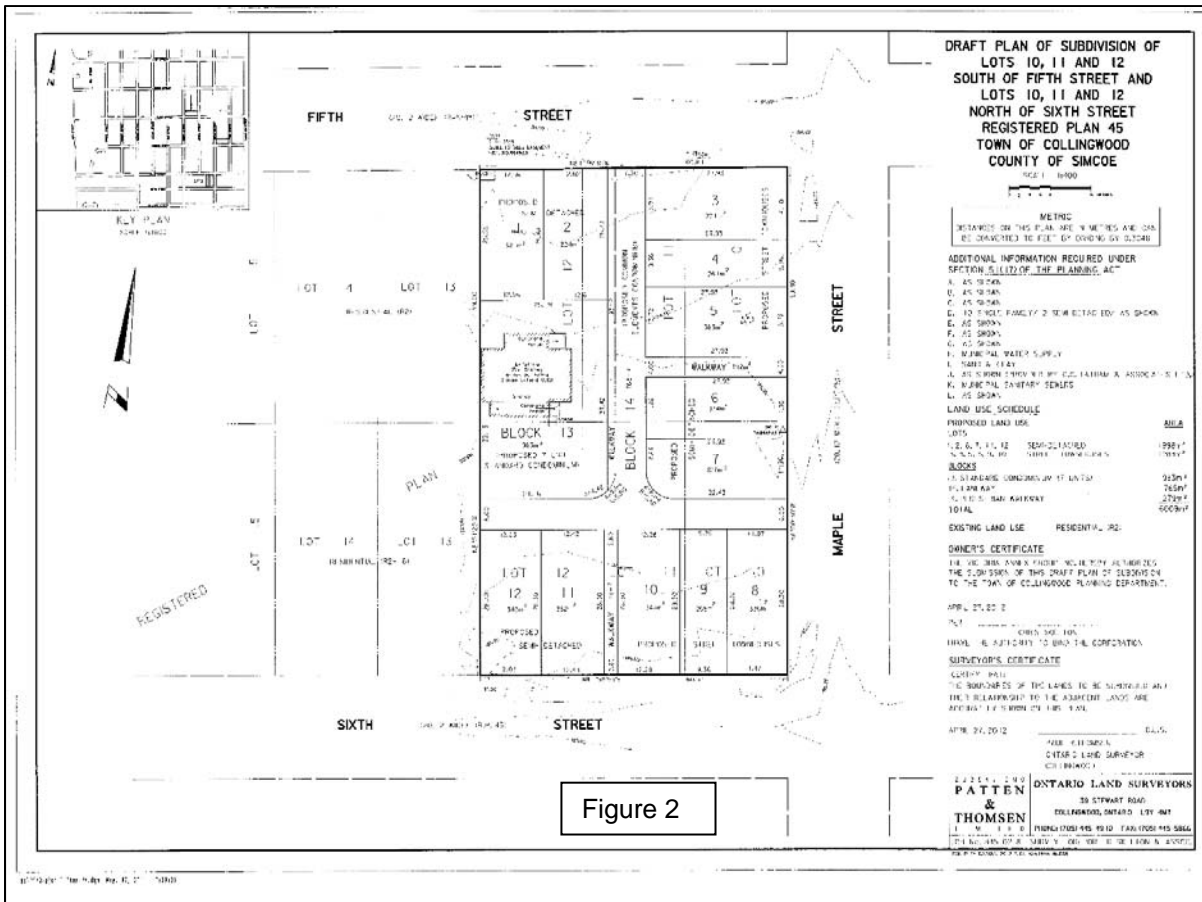


Figure 2

of the 1884 main school building and is at the western extent of the property. The 1884 school was demolished about 1969. The Annex continued in use until October 2001.¹ It is currently vacant.

The site is flat with minimal vegetation but has some mature specimen trees along the perimeter. The neighbourhood is a mix of 19th and 20th century, modest dwellings. The property at 402 Maple Street is designated by bylaw under s.29 of the Act.

3.0 EVALUATION CRITERIA

Ontario Regulation 9/06 sets the minimum standard for criteria to be applied by a municipality when evaluating the cultural heritage value or interest of a property being considered for designation under s.29 of the Act. One or more of the criterion in the categories of Design or Physical Value, Historical or Associative Value, and Contextual Value must be met for the property to be designated. O. Reg. 9/06 was used as the framework for the evaluation of the subject property in this Report.

4.0 HISTORICAL OR ASSOCIATIVE VALUE

O. Reg. 9/06: The property has historical value or associative value because it,

- i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

4.1 SCHOOLS IN COLLINGWOOD

Collingwood began when its harbour was selected about 1852 as the terminus of the Ontario, Simcoe and Huron Union Railroad line (later Northern Railway) between Toronto, through Allandale near Barrie, to Georgian Bay. The completion of the railway in 1855 transformed the sparsely populated area into a flourishing community. The growth was such that Collingwood was never a village, but separated from Nottawasaga Township to incorporate as a Town on June 10, 1857, effective January 1, 1858.

From the start, the residents of Collingwood were concerned about education. In June 1857, they successfully petitioned Simcoe County Council to establish a local grammar school. Classes were held in several locations until 1874 when a purpose built brick school building was erected at Hume and Hurontario streets. In 1879, it was enlarged and the classification of the school was elevated to a collegiate institute.

There are several traditions about the founding of common or public school education in Collingwood. Prior to 1858, classes may have been held in the kitchen of a house on Ste. Marie Street East, just north of Huron Street. Other locations for the early classes are described as a frame building built as a hotel at the southwest corner of First and Beech streets. In 1854-1855, the Reverend Edward Sallows wrote to the Missionary Society of the Wesleyan Methodist Church in Canada noting: "The house erected by the missionary [Sallows], being without partitions, is rented for a common school."² There is general agreement that classes were held in a frame house on Pine Street, a few lots south of First Street.³

4.2 CENTRE WARD, CENTRAL, OR VICTORIA SCHOOL

4.2.1 PINE STREET LOCATION

In 1843, Benjamin Walker Smith was appointed the first sheriff of the newly formed Simcoe District. In 1851-1852, he acquired land at the Collingwood harbour and in late 1852 moved from Barrie to Collingwood. He donated the use of half an acre on the east side of Pine Street between Second and Third streets for the site of a frame school building. This was likely in 1858

and the building is considered Collingwood's first purpose built school structure and the founding of Centre Ward, later Central or Victoria School.

On June 6, 1870, the School Board trustees requested plans and specifications for improvements to the Centre Ward schoolhouse. On February 11, 1874, plans to enlarge the school were discussed. On April 6, the tender of William [Hayer] was accepted to erect a two storey, brick addition to the frame building. On September 28, the Board considered the purchase of Lot 24, East Pine Street, adjoining the school grounds on the north.

4.2.2 MAPLE STREET LOCATION

At the June 18, 1883 School Board meeting, it was decided that an addition should be added to the brick portion of the Centre Ward schoolhouse on Pine Street. Eventually, the trustees agreed to make a request to Council for \$10,000 for "new school houses in Centre and East Wards." The decision to erect a new structure, rather than an addition, may have been influenced by a teacher reporting that the ceiling in his Centre Ward classroom was collapsing. A support post was installed.

By January 1884, there still was no response from Council regarding the requested funds. The Board stated "there are 1300 children of school age in Town – while the present school buildings will only legally accommodate 500."

In April 1884, the Board made an Offer to Purchase and in September acquired Lots 10, 11, and 12, south side, Fifth Street, and Lots 10, 11, and 12, north side, Sixth Street, Plan 45. This is the subject property at 400 Maple Street. The parcel was bought from accountant David Russell Dobie and merchant David Melville, both of Owen Sound, and the Merchants Bank. Each lot measured a quarter acre and the purchase price was \$1,100.

Marshall B. Aylesworth

On May 27, 1884, Collingwood architect Marshall B. Aylesworth was awarded the contract based on his plans and specifications for a "school with brick partitions." The contract estimate was \$9,400. Contractor and trades bids were received in July for painting and glazing, excavation and rubblestone work, brick and cut stone, tinwork, plastering, and carpentry. (Aylesworth was also commissioned to build a new building for East Ward School, later Connaught Public School still standing at 125 Napier Street.)

The *Biographical Dictionary of Architects in Canada 1800-1950*, has the following entry:

Marshall Benjamin Aylesworth (1850-1911) was active in many towns in central and northern Ontario where his eclectic and often elaborately decorated churches and institutional buildings were erected. Born in Ontario on 20 April 1850 he was the son of

George Aylesworth of Northumberland County but no information can be found on his early education and training there. In 1878 he was employed as a draughtsman in Toronto, and 1879-80 worked as an architect in that city. He moved to Collingwood, Ont. in late 1880 and advertised his services as an instructor in architectural and mechanical drawing (Daily Messenger [Collingwood], 16 Dec. 1880, 1, advert.). He maintained a practise in Collingwood but the success of his career there was overshadowed by the untimely death of his young wife in May 1883 (obituary for Florence Stone in The Enterprise [Collingwood], 17 May 1883, 3).

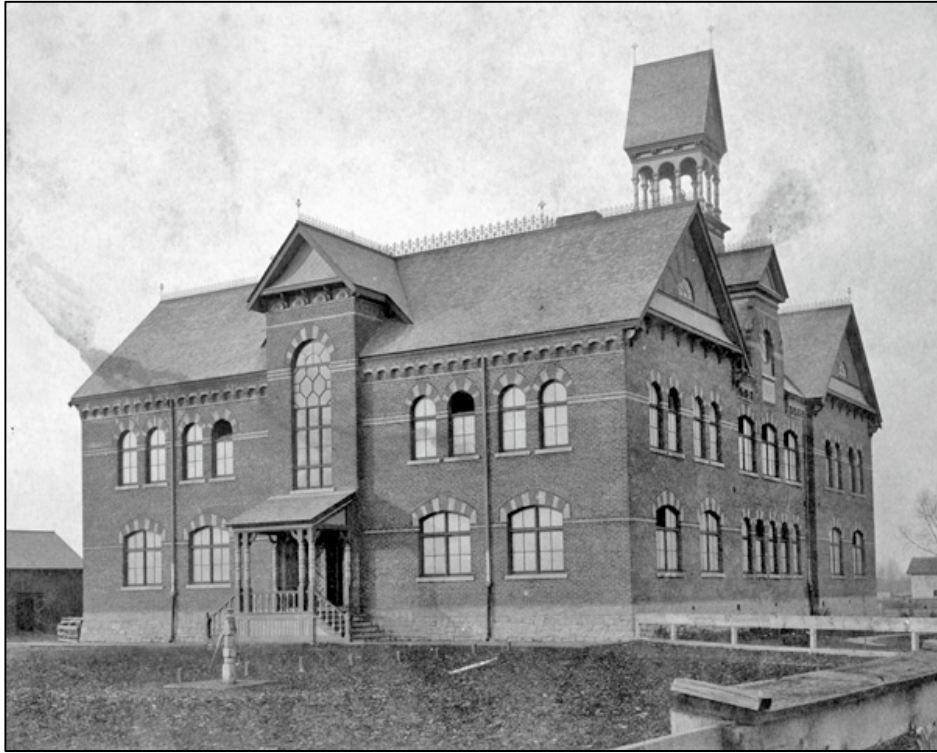
In early 1885 he returned to Toronto to open an office on King Street East in 1886 where he remained for the next ten years. During this period he travelled to Europe 'in search of architectural knowledge' (C.A.B., v, Jan 1892, 10) and published an extensive essay on his discoveries there entitled 'A Chapter From My Notebook - Building Methods in Rome' (C.A.B., viii, March 1895, 44-6). He appears to have left Toronto in 1896 but returned to the city in late 1899 and continued to work there until September 1902 when he moved to Fort William. It is here that his most important works in northern Ontario were built, including the Fort William City Hall (1903-04) and the Masonic Temple at Port Arthur (1910). He died at Sarnia, Ont. on 29 August 1911 after suffering a stroke while travelling by steamer from Detroit to Sarnia, and was buried at Warkworth, Northumberland Co., Ont. (biography and list of works in M. Bixby, Industries of Canada - Toronto and Environs, 1886, 190; obituary in Sarnia Observer, 30 Aug. 1911)

Construction of the 2.5 storey, brick building called Central School was nearly complete by October 7, 1884. The following May 5, 1885, the Board asked Council for \$3,000 to finish the project. As no funds arrived by July, the building could not be occupied. That September there was a fire at the "old" Centre Ward School. It was December 1885 before the pupils were moved from the old to new location. Even then there were problems with open ditches and unfinished water drains on the property.

Aylesworth designed an impressive Romanesque Revival style school building (Figures 3 and 4). The massing was symmetrical, with north and south blocks flanking a recessed centre section with a dormer and 25 foot bell tower.⁴ The boys' and girls' entrances were on the north and south. Architecturally, the principal facade was the east, facing Maple Street. The school opened with twelve classrooms.

4.3 THE ANNEX

On April 30, 1894, the Board asked for an "estimate of a four room separate school or four rooms added to the Central School." Soon there was general agreement "to build a separate school house of four rooms, two to be furnished." On June 11, the contract proposal from architect Francis W. Bryan was accepted. He was affiliated with Bryan Manufacturing Company in Collingwood, manufacturers and suppliers of building materials.⁵



Above: Figure 3: Central School shortly after completion in 1885. The (front) east facade is on the right; the south facade is centre left. (Collingwood Museum 007-10-13)

Below: Figure 4: Central School about 1910. The Annex is not visible but was standing at the west (left) end of the main school. (Private Collection)



Frank W. Bryan

According to the *Collingwood Bulletin* newspaper of December 20, 1906:

Frank W. Bryan (Figure 5) was born in Coventry, Worcestershire, England in March 1860 to William Bryan and Elizabeth Taylor. He was one of five sons and three daughters born to this couple and was quite young when his family emigrated from England and settled in Collingwood.

After leaving school, he entered upon a life of building and contracting with his brother William H. Bryan and organized the Bryan Manufacturing Co. which was an important part of the industrial life of Collingwood for close to seventy years. Twice during this time the company suffered heavily from losses due to fire, but not deterred, rebuilt and expanded.

In the early years of the business, they contracted for many of the homes and public buildings in the town; Victoria School, St. Mary's Church, the Town Hall and the Collingwood General and Marine Hospital amongst others. Later the company confined its activities to the lumber business.

He was married to Jeanette McIvor, the daughter of an early family in Collingwood and with her had a son George, who took over as active head of the company upon his retirement and daughter Mrs. Burdette Clark who lived in Montreal.

Mr. Bryan was a public spirited gentleman who took part in any activity that would be of benefit to the town. He was a member for some years of the Town Council and as such was chairman to many important committees. He was also an enthusiastic member of the Board of Trade.

He was a member of All Saint's Anglican Church. In sports, he was a long-time member of the curling club.

Mr. Bryan was acknowledged as a successful industrialist with wide business connections. He was known for his fair and upright dealings, and will be remembered for the place he made for himself and his family in the Town of Collingwood.

The Annex was erected "at the rear of the present Central School" and "level with the north wall of the main building." "Mr. Chamberlain tendered for the brick, stone, and plastering"

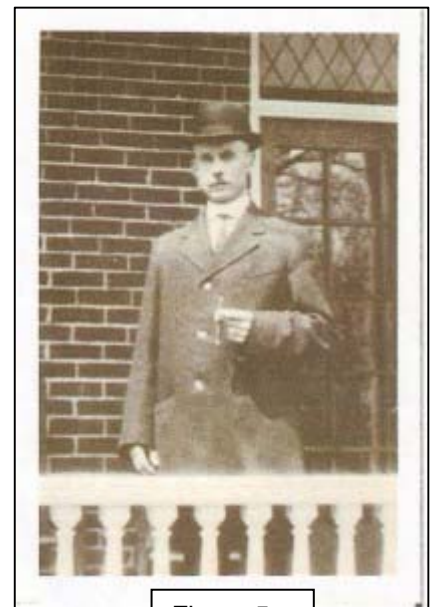


Figure 5

work. On December 4, the Board complained that D. Peterman & Sons was using elm instead of the more expensive pine, so reduced the payment amount. Peterman was a local contractor and builder.

“Mr. Chamberlain” was John Chamberlain. He was born at Birkenhead, near Liverpool, England, in 1849, and arrived in Collingwood about 1876. The W.H. Irwin & Co. 1884-85-86 directory lists Chamberlain as a contractor residing on Pine Street. According to the *Collingwood Bulletin* newspaper of December 20, 1906:

Chamberlain is an Englishman by birth, coming to Canada when only a young man. By trade he is a stonemason, but several years ago began contracting, and has erected some of the finest structures in the town, including the brick and stonework of the large market building.

Chamberlain’s career in local municipal politics is described in *The Collingwood Bulletin Industrial Number* of December 1906:

He has for many years been prominently connected with civic affairs and for some time he represented Ward No. 5 at the Council Board, and held the chairmanship of several of the most important committees.

For four years he was Mayor of the town, holding the office during a very important period of its development and playing a leading part in the negotiations which led to the establishment of the Dry Dock and Shipbuilding Company.

The attendance report of February 5, 1895, is the first to indicate that Central School had fourteen, instead of twelve operating classrooms. This suggests the Annex was occupied by that date.

4.4 IMPROVEMENTS TO THE SCHOOL COMPLEX

Steam Heating

The next major undertaking for Central School (main building and Annex) was the conversion of the heating system from stoves to steam in May 1897. This was done by Keith & Fitzsimmons using plans and specifications prepared by architect W.J. Holland. Other work may have been involved. The *Enterprise Messenger* mentions that Central School was reopened, and then shortly after on September 16, reports that at a recent School Board meeting:

Application was presented from Keith & Fitzsimmons for \$1200, progress on contract, and also a number of accounts in connection with the work. The contract for the heating

by the way has not yet been signed. A legal opinion is to be had as the liability for accounts for extras.

Landscaping

Collingwood's first kindergarten class opened in Central School in 1906.⁶ That year, the School Property Committee made some improvements to the landscaping. The *Collingwood Enterprise* of June 6, 1906, reported:

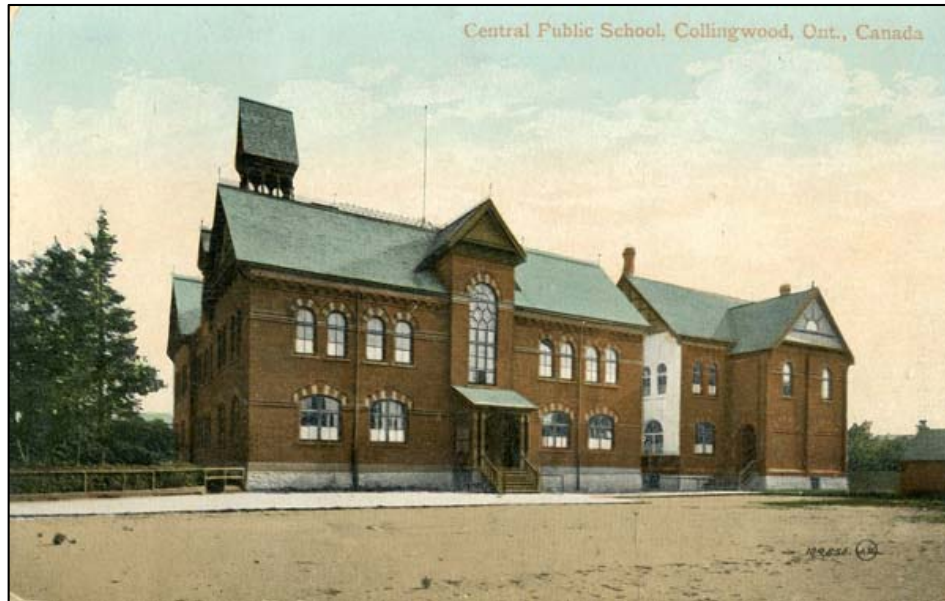
The School Property Committee are putting in a lot of hard work and, so far as we can judge, the work seems good. They have cut down every other tree on the north side of the Central School, the girls have planted poplars and maples along the south side and maples along the east side and have trimmed back the fir trees which cast too much shadow on the east rooms. They have also made good additions to the small garden plots and these are now laid out neatly so that each room has its own little plot from which to learn practical lessons in botany. The Committee are to be congratulated on the energetic performance of their duties.

Toilets and a Basement

On August 19, 1909, the *Enterprise* reported on the need for improvements:

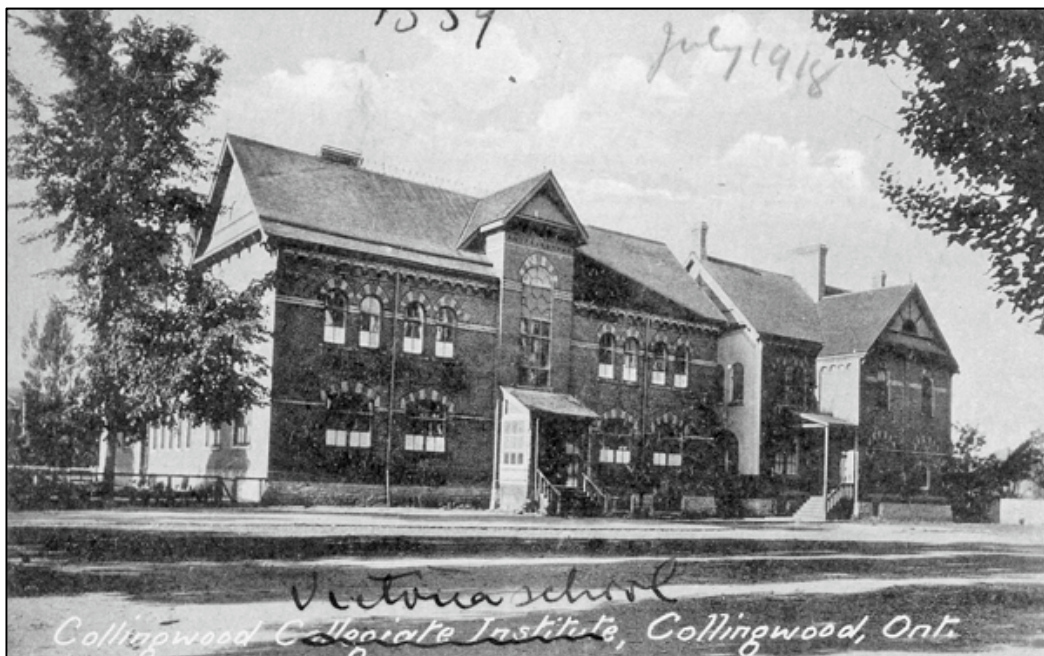
The deputation that visited the Toronto schools last week returned home firmly convinced that the excavation of the basement of the Central School and placing the latrines therein, is the proper scheme to adopt. Architect Bishop of Toronto, a gentleman of wide experience in school construction, showed them every courtesy and strongly condemned outdoor closets as an abomination. They have been abandoned in every public school that had any claim for up-to-date sanitary conveniences.

During this period, Ontario's Minister of Education, the Hon. R.A. Pyne, was reviewing health and sanitation issues in all public schools. To qualify for a provincial grant program, inspections had to be completed under the direction of C.H. Hodgetts, M.D., Chief Health Officer of Ontario. A Provincial Health Inspector was in Collingwood on October 6, 1909. He visited East Ward School, North West School, West Ward School, and Central School:



Above: Figure 6: Central School about 1905 (before change of name in 1911 to Victoria School). Shown are the north facades of the main school on left and Annex on right (Collingwood Museum X969-152-1)

Below: Figure 7: Same view as above, possibly dating July 1918. Note the removal of the tower (removed by 1936) from the main building and addition of another chimney and a shed roof canopy over the entrance to the Annex. (Collingwood Museum X970-870-1)



The 1909 inspection report references Central School:

This school consists of two brick buildings. The older and larger having accommodation for twelve classes was built in 1883, while the Annex, which accommodates four classes, was erected in 1897.

Two visits were made to this school, the first just before the noon recess, and the second in the afternoon between two and three o'clock.

On the occasion of the first visit, I found the room and halls, without exception, stuffy, notwithstanding the fact that the day was bright and sunny and in most of the rooms the windows had been open during the session.

The system of heating of this school was originally by means of stoves and the ventilation system is the same now as at that time in operation. With the change to steam heating no provision had been made to provide a system suited to this changed method, therefore, at present, it is entirely inadequate, and with the method of [damaged section of newspaper] of the room, where in the winter they undergo a drying out process, the air of the room becomes very vitiated, a condition which is very unhealthy for the pupils and teachers.

In respect to the closet [toilet] accommodation, I found them entirely inadequate indeed; it is a matter which calls for immediate attention. The boys' closet is a brick building, about 12x16' outside measurement with a partition in the centre, making two small apartments about 6'x16'. . . .A similar building is provided for the girls. . . .

In my opinion, the school and outbuildings are in a very unsanitary condition, and the remedy lies in the installation of a proper and suitable system of ventilation and the providing of modern conveniences in the basement. This latter work can be done by a deepening of the cellar.

I would also recommend the providing of space for cap and cloak rooms for both teachers and pupils, which rooms should be separate from, but adjacent to the class rooms.

Taking the schools on the whole they are not up to modern requirements, and are not what one would expect to find in a town of the size of Collingwood, and for sanitary reasons the situation should receive the immediate consideration of the authorities.

The Town and School Board responded to this inspection in several ways. Construction of an eight-room school for pupils in the west side of town, King George School, was started in 1911. East Ward School was repaired about 1910.

For Central School, the Board moved forward with plans that were already underway. Local architect John Wilson had prepared drawings in August 1908 for the “Toilet Rooms, Central Public School.” These specified excavating the cellar lower and creating a below grade link between the main school building and the Annex. Included in the plans is a roof cupola, possibly for improving the ventilation and installing stackpipes.⁷

The School Board journal of receipts and disbursements indicate the following contractors were used for the “new building and improvements:”

A. Court, mason, with accounts from April 1910 to February 1911
 D.A. Bell, carpenter, July 1910 to January 1911
 H.G. Wynes, plasterer, July 1910 to February 1911
 John Luckton, plasterer, August 1910
 William Parrott, plumbing and heating, August 1910 to February 1911
 James Godden, painting and glazing, September 1910 to February 1911
 John Wilson, contingency account February 1911

John Wilson was born in Collingwood on August 17, 1863, and went on to become a master builder and noted architect. There is a tradition that he was involved in the construction of the 1884 Central School building.⁸

4.5 CENTRAL BECOMES VICTORIA

In 1911, the Duke of Connaught, son of British monarchs Queen Victoria and Prince Albert, was appointed governor general of Canada. To celebrate his appointment, many Canadian schools adopted the names of British monarchs. Central became Victoria School; East Ward became Connaught; and the newest school was named King George.

4.6 CONTINUING USE

In 1910, the Board of Education was seeking classroom space for manual training. In 1912, two rooms in the Annex were requested. The Board held these classes in the Town library and at Central/Victoria School until a technical school was opened in 1913 on Third Street.⁹

The March 8, 1945 issue of the *Enterprise Bulletin* announced, “Victoria School Annex to be Opened” and stated “That work be proceeded with under John Wilson, architect, to open the annex of Victoria School.” By September, Principal Hugh Davidson had “two rooms now open in the annex.” It is presumed that the classrooms in the Annex had not been required in recent years, due to low student enrollment.

When a new collegiate building was opened in 1954, the former building became Admiral Collingwood School. As it was a senior public school drawing all students in Grades 6, 7, and 8, Victoria School became a junior public school. Although some Victoria School students were relocated in 1967 to the new Cameron Street School, it continued to be used as a junior public school until 1969. The 1884 structure was then demolished.

In 1969, the Association for Retarded Children moved from the first (East Ward) Connaught School building (renamed the R.H. Davidson Memorial School) to the Victoria School Annex. The Annex served as the Collingwood Alternative School until October 2001.¹⁰

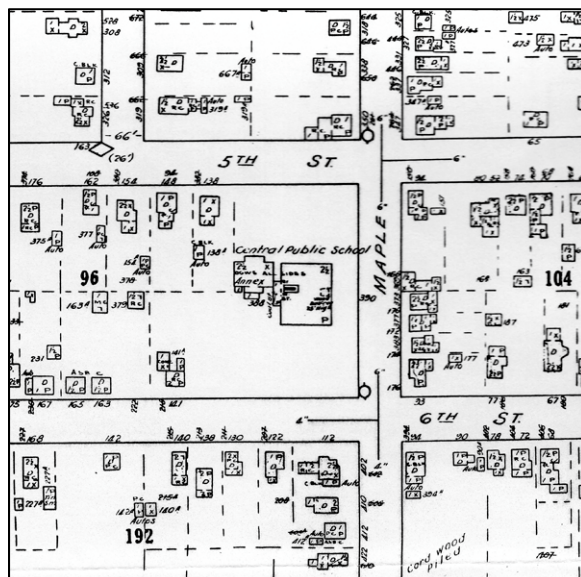


Figure 8: Underwriter's Fire Insurance Plan, 1955. Courtesy of Simcoe County Archives

The Collingwood Public School Board and its 1969 successor, the Simcoe County Board of Education, held continuous ownership of the property until the six lots were sold to a private owner in 2004 and subsequently to the current owner. In 2015, the Annex building was vacant.

5.0 DESIGN OR PHYSICAL VALUE

- O. Reg. 9/06: The property has design value or physical value because it,
- i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

5.1 SCHOOLHOUSE ARCHITECTURE

Ontario's first Chief Superintendent of Education, Egerton Ryerson (appointed 1846), advocated that a schoolhouse should be "neat, elegant and attractive. . . . The impression fixed in the minds of the children would be that school was a place of power, influence and importance."

A handbook of instructions for building schoolhouses evolved into Ontario's standard manual on schoolhouse architecture published in 1876. The lot size was to be an acre, a pleasant location, and the building one that would inspire young minds. The concept of separate entrances and



Figure 9: North façade of Annex, March 15, 2007.



Figure 10: North façade, March 15, 2007. Detail of segmental (lower level) and round (upper) window openings, step-like brick corbelling within the gable, sunburst gable design, wood brackets, brick arcading at the eaves, and use of red/cream/black bricks.



Figure 11: Left: North façade (R), east façade (L), March 15, 2007. **Figure 12:** Right: October 27, 2015. This view from Fifth Street shows the two types of gable designs.



Figure 13: East façade, March 15, 2007. When built in 1894, this façade would only be visible from the west side of the 1884 schoolhouse.



Figure 14: Left: East façade (R), south façade (L), March 15, 2007.



Figure 15: Bottom Left: East façade (R), south façade (L), March 15, 2007. **Figure 16:** Bottom Right: October 27, 2015



Figure 17: South façade, March 15, 2007.



Figure 18: West façade (R), north façade (L), March 15, 2007. The brick dwelling abuts the northwest corner of the property.

play yards for boys and girls began about 1870 and continued into the 1930s.¹¹ Collingwood's 1884 Central School and 1894 Annex are in keeping with these provincial recommendations for schoolhouse design.

5.2 STYLE, PLAN, AND MASSING

The 1884 Central School building had elements of the “modern” Romanesque Revival style of architecture. The 1894 Annex duplicated and continued with the Romanesque style and design elements of the 1884 building.

The Annex is a 2.5 storey structure in a modified cruciform plan with the smaller gabled projections extending north and south. It is a standalone building with all the facades finished with equal workmanship and quality of materials. Its design and structural integrity did not depend on the existence of the 1884 structure. The primary entrance façade faces east, originally a short distance from the west facade of the 1884 building. After 1910, the basements of the two structures were linked below grade.

5.3 ROOF

The roof is a medium pitched, cross gable. There are two gable designs, both with lower hips or horizontal sections that have a slight bellcast or tent curve. The fascia boards are flat with beading and there appears to be moulded trim along the soffit of each gable. An early photograph indicates there were finials (ornament) at the apex of (possibly) each gable.

The north and south (smaller) gables have a sunburst motif composed of wood strapping separating what appears from a distance to be a granular plaster material (or textured board). This is a modified version of the gable design on the 1884 structure.

The main east and west gables have a geometric block pattern formed by strapping and the granular material (or textured board). There is evidence of what may be two openings within each gable, possibly for ventilation, but now blocked. At the centre of each gable is a section of brick chimney. There is no known photographic evidence indicating that this gable design was on the 1884 structure.

The four gables are an attractive element of the Annex, especially when both design types can be viewed together as a composition.

The two end chimneystacks have been removed from the roof. The existing chimneystack at the centre is not original but is visible in a photograph possibly dating 1918 (Figure 7).

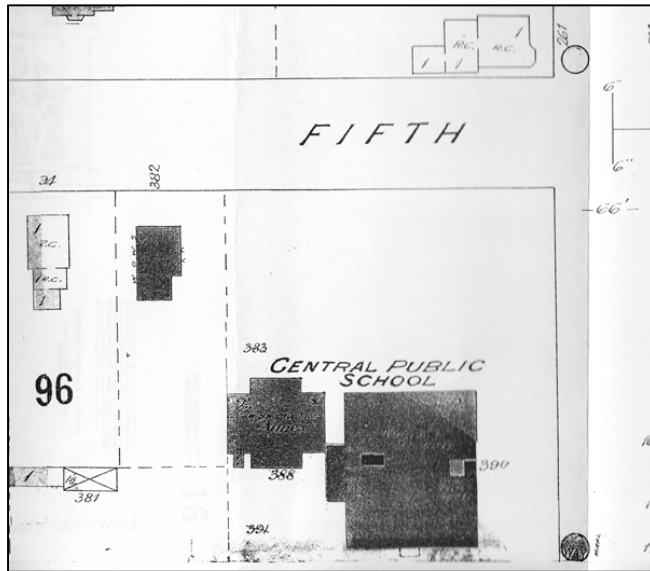


Figure 19: Fire insurance Plan 1904 updated to 1917. Courtesy of Collingwood Museum

A 1904/updated to 1917 insurance plan (Figure ??) identifies the roof of the 1884 structure as shingle on board and the Annex as composite (now asphalt shingle).

5.4 MASONRY

This is a solid masonry building constructed with red-orange colour bricks laid in common bond. Buff-cream colour bricks are used to create horizontal bands, alternating (red/buff) surrounds at each door and window opening, and portions of the arcading at the eaves. The popular period technique of applying black pigment to bricks for use as bands and edging is also evident. The mortar is a buff coloured lime-based mix.

Flat, brick pilasters are used to divide the wall massing into vertical sections. Each pilaster is terminated at the eaves with carved wood brackets. The main walls have brick arcading at the eaves (the upper edges are now partially obscured by eave troughs). Each gable wall has brick corbelling rising in steps to the gable. All of the masonry is patterned after the 1884 structure.

The foundation is rubblestone. The cellar was excavated in 1910 to create a basement.

5.5 ENTRYWAYS

The east facade of the north-south block of the Annex has one entrance on the north half and one on the south half (boys and girls). The door openings are a half round arch with transoms (upper sections) that were likely glazed, now boarded. Double width doors are recessed within the arch, making it unnecessary to have a portico (porch).

The 1884 building had open porticos at the entrances; each with a shed roof supported by turned posts and carved brackets. The skeletal, shed roof porticos now on the Annex were a later practical addition. The roof of the north entrance portico slopes north to match the north portico of the 1884 building. The south portico roof of the Annex slopes east. With the removal of the 1884 structure, the two Annex portico rooflines now appear mismatched.

The doorways are accessed by stairways. The metal handrails are replacements for the original wood handrail and supports. There is what appears to be a basement entrance at the southwest corner of the structure.

5.6 WINDOW OPENINGS

Most of the window openings are the round arch type; some are segmental in shape. Both shapes are typical of Romanesque Revival styling. There are paired and single openings of varying width. The upper section of each opening is decorated with alternating red/buff coloured brick voussoirs with brick keystones. Black pigmented brick is used to edge and visually link the openings. The sills are the extended (lugsill) type in stone (or possibly concrete).

The original windows were likely double hung, flat, 2x2 pane, wood sashes, with shaped glazed transoms. The frames appear to be wood. Some openings have been bricked (possibly at any early date) and some were boarded recently. It is not known to what extent the original sashes survive.

The basement window openings are flat.

The overall fenestration (window placement and type) is symmetrical and important to the building design.

5.7 OTHER FEATURES

Other transient features, such as the metal light fixture mounted on the building, and any landscape features should be surveyed.

5.8 INTERIOR

An inspection of the interior of the Annex was not possible. It is recommended that a survey of the interior be conducted to identify any significant school related artifacts that may be suitable for incorporating into an adaptive reuse project for the building or for use in an historical display.

6.0 CONTEXTUAL VALUE

- O. Reg. 9/06: The property has contextual value because it,
- i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

There has been a school building on this site since 1884. Although as a standalone institution building in a residential area it does not define, maintain, or support the character of the area, the 1894 Victoria School Annex building is a neighbourhood and town landmark.

7.0 CONCLUSION AND RECOMMENDATIONS

7.1 RECOMMENDATIONS

Based on the findings of this Heritage Designation Report, it is recommended that Collingwood Council consider this property a suitable candidate for designation under s.29 of the Act.

Due to the pending site plan application which proposes to sever that part of the acreage that contains the 1894 former Victoria School Annex building, it is advisable to delay issuing the Notice of Intention to Designate until there is confirmation of any change in the legal description of the severed parcel. Otherwise, the entire acreage will be protected under the Act.

It is also recommended that a survey of the exterior and interior of the Annex be conducted to identify any significant school related artifacts that may be suitable for incorporating into an adaptive reuse of the Annex or elsewhere in an historical display. This includes such vintage items as lighting fixtures, school bells, chalkboards, etc.

7.2 DRAFT STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The former Victoria School Annex building erected in 1894 on Maple Street represents the final stage in the chronology of Collingwood's first common or public school, Centre Ward School, from makeshift classrooms elsewhere in the 1850s, to the sale of the Annex property by the Simcoe County District School Board in 2004. The Maple Street property was in continuous use for educational purposes from 1884 until 2001, resulting in a long standing association of the site with Collingwood's elementary school aged children, parents, staff, and administrators.

The main school building erected on this site in 1884 and demolished about 1969 was designed by Collingwood architect Marshall B. Aylesworth and built by local contractors. It was a well executed, locally rare example of the Romanesque Revival style of architecture being applied to institutional use.

The standalone Annex building, erected at the west, was designed to match the style and form of the main school building. The contract for its construction was awarded to Frank W. Bryan with Collingwood builders John Chamberlain, D. Peterman & Sons, and other local tradespeople. Although this attributes Bryan with the design, the Annex is a near duplicate of the 1884 school. It could be argued that with the removal of the earlier building, the Annex also now represents Aylesworth's work at this site.

Like the 1884 school, the Annex illustrates the 19th century philosophy that a school building should be inspiring and have certain features such as separate entrances for boys and girls and natural lighting. The plan, massing, gable designs, masonry, decorative and polychromatic (red/buff) brickwork accented with black dye, round and segmental door and window openings together form an attractive composition.

There has been a school building on this property since 1884. The 1894 Victoria School Annex is a neighbourhood and town landmark.

DESCRIPTION OF HERITAGE ATTRIBUTES

The only heritage attribute of the property is the 1894 Romanesque Revival style school Annex building, elements of which include:

Exterior Only

- Cruciform plan, height, massing, and symmetry
- Cross gable, medium pitch roof type
- Fenestration (window placement, shape, dimension, and sash type)
- Red-orange and buff-cream coloured brick masonry with buff coloured lime based mortar
- The use of black pigment on selected bricks as banding and edging
- All decorative brickwork, including corbelling, arcading, pilasters, and bands
- All woodwork, including moulding and carved brackets
- Rubblestone foundation
- All elements of the gables
- All original door openings, with separate boys' and girls' entrances

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Collingwood Fire Insurance Plan, 1904/1917. Collingwood Museum

Collingwood newspaper index 1870-1911, and collection. Collingwood Public Library

Abstract of Title and related instruments for subject property. Simcoe County Land Registry Office, Barrie

ENDNOTES

¹ Shelley Wells & Associates. "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement, March 2006," p. 5. Copy provided by Town of Collingwood Planning Services.

² Barbara Arp, ed. *Reflections, Collingwood An Historical Anthology*, p. 258.

³ This is said to have later been used as a residence and burned in 1898.

⁴ The bell from the school on Pine Street was moved to new location. On April 1, 1889, the Board passed a motion to move the bell to East Ward School and buy a new bell for Central. One of these bells is now at the Collingwood museum.

⁵ Henry Vernon & Son, publishers. *Vernon's Simcoe County Directory Including Complete Town Directories of Barrie, Collingwood, Midland and Orillia for the Year 1923*.

⁶ Arp, p. 258.

⁷ The drawings for these renovations are included in the *Heritage Evaluation and Impact Assessment for the Former Victoria School Annex Property, March 2007*.

⁸ Isabel Griffin. "Events in Collingwood's History No. 41: The legacy of John Wilson, Collingwood's Master Builder." *The Enterprise Bulletin*, March 19, 1997. Copy provided by Simcoe County Archives. A large collection of architectural drawings by Wilson is held by the Simcoe County Archives.

⁹ Arp, p. 262

¹⁰ Wells, p. 5.

APPENDIX B

Heritage Impact Assessment: The
Former Victoria School Annex,
Golder Associates, October 2016



October 11, 2016

HERITAGE IMPACT ASSESSMENT

**The Former Victoria School Annex
400 Maple Street, Town of Collingwood
Simcoe County, Ontario**

Submitted to:

Shelley Wells, MES, MCIP, RPP
Plan Wells Associates,
40 Connor Avenue,
Collingwood, Ontario
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DRAFT REPORT



Report Number: 1650046-R01

Distribution:

1 e-Copy - Plan Wells Associates
1 e-Copy - Golder Associates Ltd.





Executive Summary

In April 2016, Plan Wells Associates, on behalf of Victoria Annex Development Corporation (VAD), retained Golder Associates Ltd. (Golder) to conduct a Heritage Impact Assessment (HIA) of the former Victoria School Annex at 400 Maple Street in the Town of Collingwood, Ontario. The 1.5-acre property is bounded by Maple, Fifth, and Sixth Streets includes the two-storey brick Victoria School Annex and surrounding open land. The property does not have any formal heritage recognition, but was recently recommended for designation and is a property of interest for the Town of Collingwood.

Victoria Annex Development Corporation is proposing to develop the property with a new, semi-detached model home with vehicle parking, fencing, and overhead lighting. Given the property's potential heritage value and its adjacency to the municipally designated property at 402 Maple Street, the Town requested a HIA be conducted as part of the application for the proposed development.

Following guidelines provided by the Ministry of Tourism, Culture and Sport and the Town of Collingwood, this HIA identifies the heritage policies applicable to conserving and developing the property, an overview of the property's geography and history, an inventory and evaluation of the property's built and landscape features, an assessment of adverse impacts that may result from the proposed development, and recommendations to ensure that the property's heritage attributes are conserved.

This HIA concludes that proposed development of the Study Area:

- ***will not adversely impact the heritage attributes of the Annex, nor those of 402 Maple Street.***

Mitigation measures are therefore not required. However, Golder recommends that VAD, as owners of a historic structure, consider the following immediate and longer-term stewardship actions to conserve the Annex and ensure its long-term sustainability as a valued heritage resource in the Town of Collingwood:

Immediate Action

- Ensure window and door openings are secured and boards covering the windows are painted to prevent rot;
- Erect a high fence around the building to limit access to the structure;
- Install a video monitoring system to dissuade vandalism or unlawful entry; and,
- Establish a regular inspection and monitoring protocol.
- Maintain a buffer of least 10 m around the structure to minimize the potential for vibration damage. This buffer should be enclosed with interlocking construction site protection fencing (or other security fencing as recommended above), and communicated to site supervisors.
- Prevent heavy equipment traffic from being routed in the vicinity of the Annex and conduct bi-weekly monitoring while the Study Area is an active work site to ensure that the Annex is not being effected by vibration.



Long-term Action

- Document the Annex through measured drawings, rectified photography, and written notes prior to undertaking any intervention beyond minor stabilization or maintenance;
- Prepare a heritage conservation plan that outlines how the heritage attributes of the Annex will be conserved, protected, and enhanced, and the preferred conservation treatment (*preservation, rehabilitation* [or adaptive reuse], or *restoration*);
- Stabilize the heritage attributes of the Annex through prioritized repairs by qualified heritage professionals, and ensure the building is protected and monitored during any construction after the Model Suites are erected;
- Develop an inspection and monitoring schedule that specifically addresses the heritage attributes of the Annex;
- Designate the Victoria School Annex under Part IV of the *Ontario Heritage Act* and request it be added to the *Canadian Register of Historic Places*; and,
- Commemorate the site and Annex through interpretive panels or other media that detail the history and heritage value of the Central/Victoria School property and Annex structure, and clearly denote which elements are original and historically authentic.



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Acknowledgments

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Heritage Designation Report: Former Victoria School Annex Property, 400 Maple Street, Collingwood, Ontario, 2015

APPENDIX B

Heritage Evaluation and Impact Assessment for the Former Victoria School Annex Property, 400 Maple Street, Collingwood, Ontario, 2007

APPENDIX C

Elevations & Site Plan for the Proposed Development at 300 Maple Street, Town of Collingwood (courtesy IBI Group



1.0 INTRODUCTION

In April 2016, Golder Associates Ltd. (Golder) was retained by Plan Wells Associates Inc., on behalf of the Victoria Annex Development Corporation (VAD), to conduct a Heritage Impact Assessment (HIA) of the former Victoria School Annex (the Annex) at 400 Maple Street in the Town of Collingwood, Ontario (the Study Area) (Figure 1 and Figure 2). The 1.5-acre Study Area is bounded by Maple, Fifth, and Sixth Streets and includes the two-storey brick Annex, built in 1895 as part of the Collingwood Central School. The Study Area does not have any formal heritage recognition, but was recently recommended for designation and is a property of interest for the Town of Collingwood (the Town).

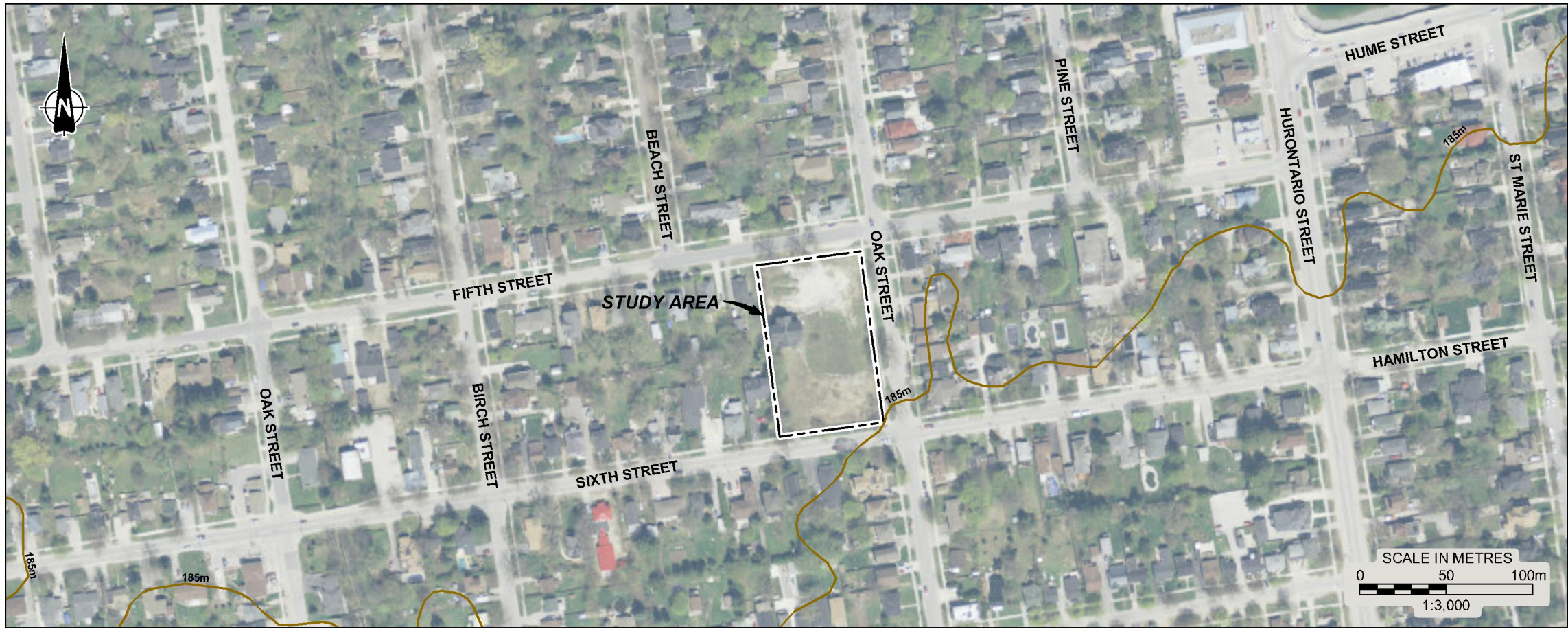
VAD is proposing to develop the Study Area with construction of a semi-detached model home with vehicle parking, fencing, and overhead lighting. Given the Study Area's potential heritage value and its adjacency to a municipally designated property at 402 Maple Street, the Town requested a HIA be conducted as part of the application for the proposed development.

This HIA builds on an impact assessment produced for a previous development application by VAD, and a recent heritage designation report (Murdoch 2007; Murdoch 2015, see 10.0 and APPENDIX B). Following guidelines provided in the Ministry of Tourism, Culture and Sport's (MTCS) *Ontario Heritage Tool Kit* (2005) series, and the Town's *Official Plan* (Section 7.2.3-1 Development and/or Redevelopment and Section 11.1 Addendum) and *Collingwood Downtown Heritage Conservation District Plan* (Appendix A: Heritage Impact Assessments and Conservation Plans, 2008), this report provides:

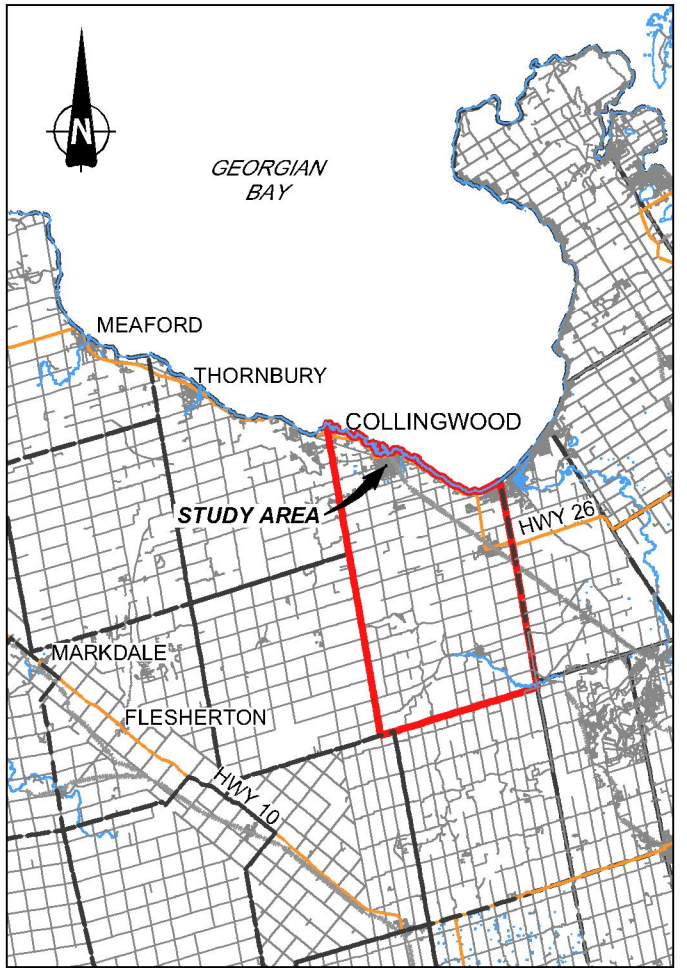
- A background on the purpose and requirements of a HIA and the methods used to investigate and evaluate cultural heritage resources in the Study Area;
- An overview of the Study Area's geographic context, and documentary and structural history;
- An inventory and evaluation of built elements and landscape features in the Study Area, including a statement of cultural heritage value or interest;
- A description of the proposed development and an assessment of potential adverse impacts; and,
- Recommendations and mitigation measures to ensure that the Study Area's heritage attributes are conserved.

1.1 Measurement Units

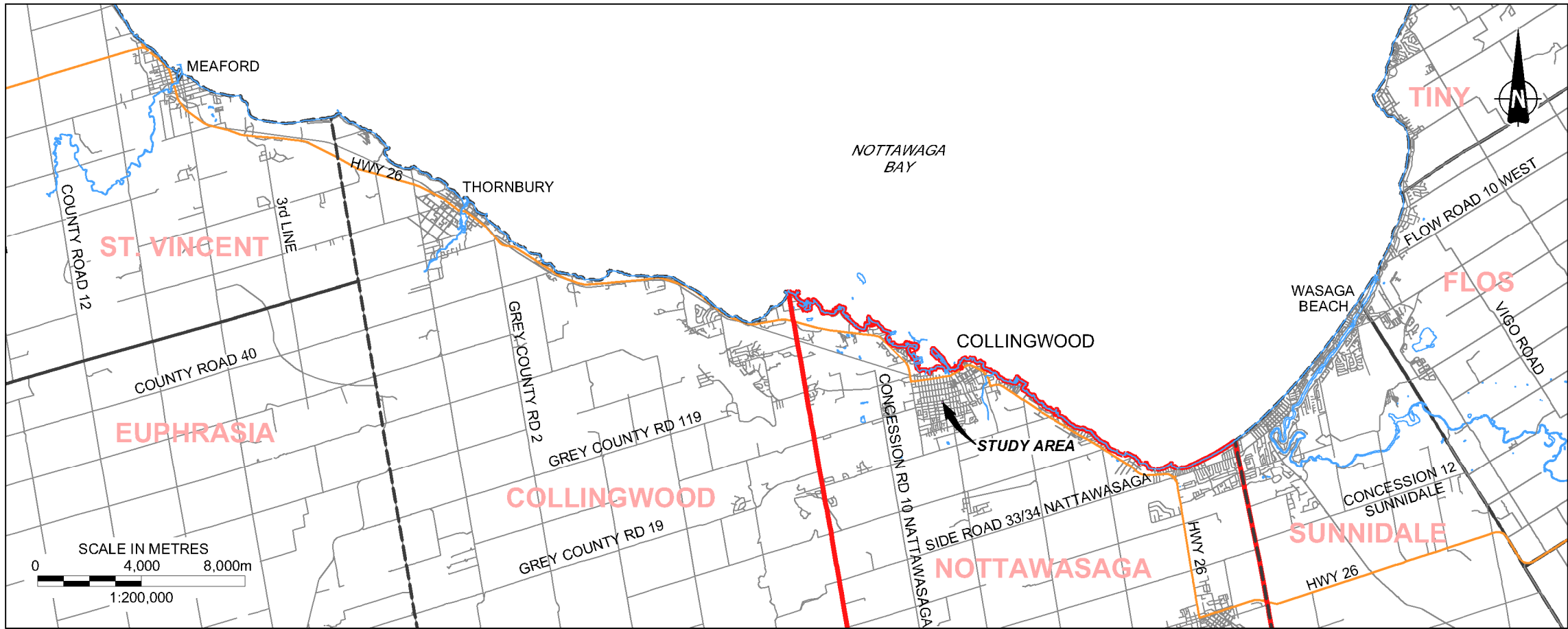
This report uses the metric system for descriptions of distance and area, but employs the Imperial system for all structural dimensions. The use of Imperial (or US Customary units) for describing historic buildings is generally preferred since most structures—including the Annex—were constructed prior to national implementation of the metric system in Canada in 1971, and often better reflects the design decisions and material specifications of historic builders. To reduce text clutter, conversions from metric to Imperial and vice versa are not provided in this report.



AERIAL IMAGERY and OBM MAPPING



KEY PLAN



REGIONAL MAP

LEGEND

- TOWNSHIP OF NOTTAWASAGA
- TOWNSHIP BOUNDARY
- FLOS TOWNSHIP

REFERENCE

DRAWING BASED ON MNR LIO, OBTAINED 2015,
 PRODUCED BY GOLDER ASSOCIATES LTD UNDER
 LICENCE FROM ONTARIO MINISTRY OF NATURAL
 RESOURCES, © QUEENS PRINTER 2015;
 2013 AERIAL IMAGE © THE CORPORATION OF THE
 COUNTY OF SIMCOE; AND
 CANMAP STREETFILES V2008.4.

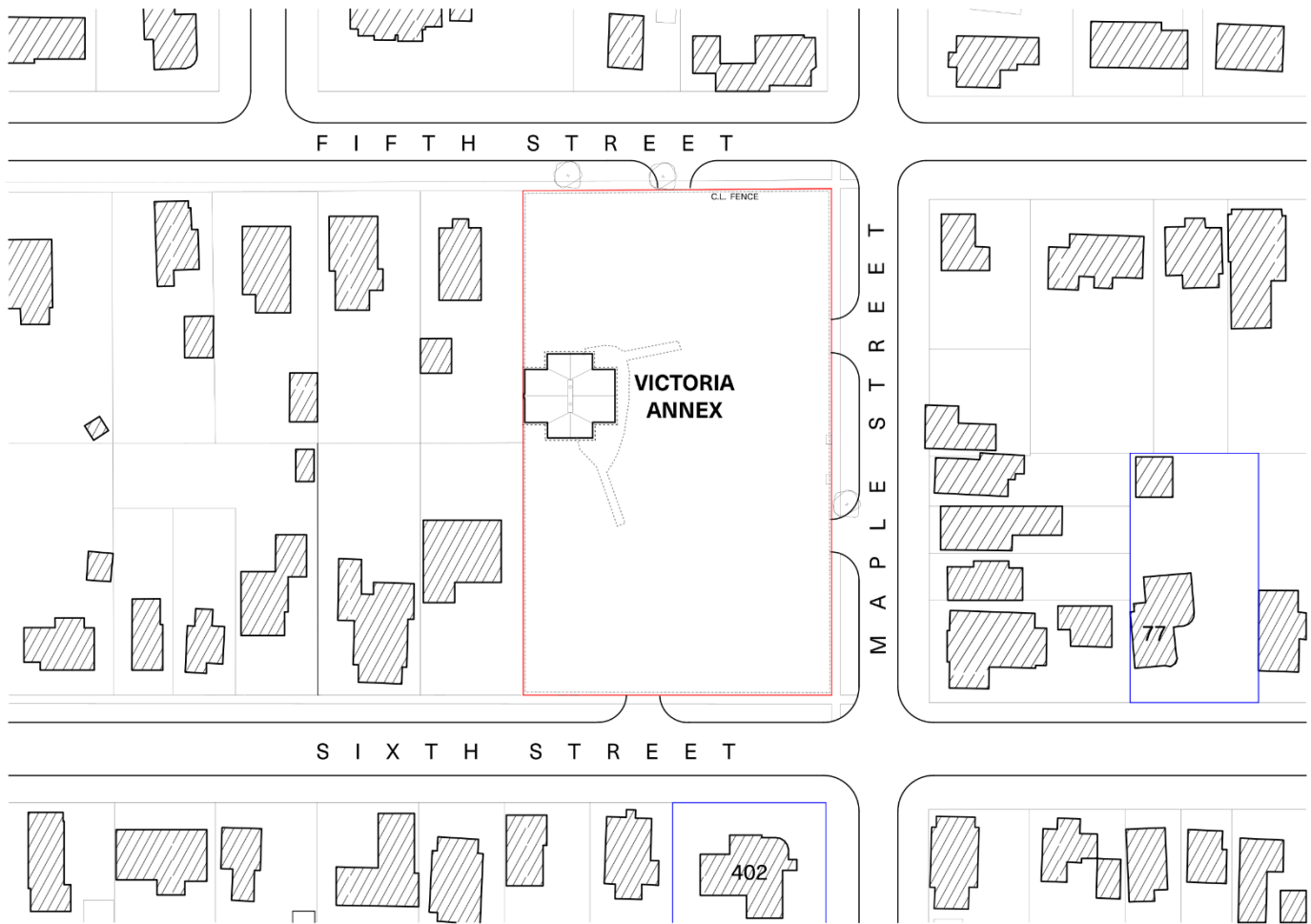
NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ
 IN CONJUNCTION WITH ACCOMPANYING TEXT.
 ALL LOCATIONS ARE APPROXIMATE.

PROJECT			
HERITAGE IMPACT ASSESSMENT VICTORIA ANNEX PROJECT COLLINGWOOD, ONTARIO			
TITLE			
LOCATION MAP			
PROJECT No. 1650046		FILE No. 1650046-R01001	
CADD	DCH	Apr 22/16	SCALE AS SHOWN REV. 0
CHECK			
Golder Associates			FIGURE 1



HIA - VICTORIA ANNEX



VICTORIA SCHOOL ANNEX
 400 Maple Street
 TOWN OF COLLINGWOOD
 PLAN OF STUDY AREA & ENVIRONS

Surveyed by: CL
 Drawn by: HCC
 Surveyed: 6 May 2016
 Drawn: 11 May 2016
 Base data courtesy:
 IBI Group Architects
 NOTE: Scale approximate:
 Combination of field sketch,
 survey, & air photo

- Study Area boundaries
- Designated Heritage Property



0 50
 metres

Figure 2: Key plan for built elements within the Study Area



2.0 SCOPE AND METHOD

To undertake this HIA, Golder:

- Reviewed applicable municipal heritage policies and consulted Town planner Kandace Bondarchuk;
- Reviewed previous heritage impact and designation reports and consulted their author, heritage consultant Su Murdoch;
- Researched archival and secondary sources relevant to the Study Area;
- Conducted field investigations to document and identify any cultural heritage resources within, or adjacent to, the Study Area, and to understand the wider built and landscape context; and,
- Evaluated the cultural heritage resources identified in the Study Area, and assessed the impact of the proposed development on identified heritage attributes using relevant cultural heritage policy and conservation guidelines.

Since the historical context for the Study Area had been compiled in Murdoch's 2007 and 2015 reports, Golder carried out only limited historical research to address gaps or add new information. Field investigations were conducted on April 30 and May 6, 2016 using methods and techniques comparable to a Level 4 survey as defined in Historic England's *Understanding Historic Buildings: A Guide to Good Recording Practice* (Historic England 2016). This included photographing all exterior and interior features of the Study Area with a Nikon D5300 digital single reflex camera, and documenting the architectural features through measured sketches. The cultural landscape was documented following methods outlined in Page *et al.* (1998) *A Guide to Cultural Landscape Reports: Contents, Process, and Techniques*.

From the collected information, and in consultation with the Town's planner, the proposed development was assessed for any potential adverse impacts using the criteria provided in the MTCS *Heritage Resources in the Land Use Planning Process*. On the advice of the Town's planner, the architectural compatibility of the proposed new construction was assessed using guidance outlined in the Town's *Collingwood Downtown Heritage Conservation District Plan (HCD Plan)*. A number of widely used and recognized manuals relating to determining impacts and evaluating alterations to cultural heritage resources were also consulted, including:

- *The Ontario Heritage Tool Kit* (5 volumes, MTCS 2005)
- *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010);
- *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation* (Fram 2003);
- *The Evaluation of Historic Buildings* (Kalman 1979);
- *Canadian Register of Historic Places: Writing Statements of Significance* (Parks Canada 2011);
- *Informed Conservation: Understanding Historic Buildings and their Landscapes for Conservation* (Clark 2001); and,
- *Refurbishing Historic School Buildings* (English Heritage [Historic England] 2012).



3.0 POLICY FRAMEWORK

Development within the Study Area is subject to a number of Provincial and municipal planning and policy regimes, as well as guidance developed at the federal level (Figure 3). Although these have varying levels of priority, all are considered for decision-making in the cultural heritage environment. The legislation or policy relevant to heritage conservation in the Study Area are described below.



Figure 3: Federal, provincial and municipal policies relevant to heritage conservation and development in the Study Area

3.1 Federal and International Heritage Policies

No federal heritage policies apply to the Study Area, although many of the municipal and provincial policies detailed below align in approach to that of Canada’s Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada’s Historic Places 2010). This document was drafted in response to international and national agreements such as the 1964 *International Charter for the Conservation and Restoration of Monuments and Sites (Venice Charter)* and the 1983 *Canadian Appleton Charter for the Protection and Enhancement of the Built Environment*.

3.2 The Ontario *Planning Act* and *Provincial Policy Statement*

The Ontario *Planning Act* and associated *Provincial Policy Statement, 2014* (PPS 2014) provide the legislative imperative for heritage conservation in land use planning. The *Planning Act* states that all decisions affecting land use planning ‘shall be consistent with’ PPS 2014, and both documents identify the conservation of features of significant architectural, cultural, historical, archaeological, or scientific interest as also matters of provincial interest. Additionally, PPS 2014 recognizes that protecting cultural heritage and archaeological resources has



economic, environmental, and social benefits, and contributes to the long-term prosperity, environmental health, and social well-being of Ontarians.

The importance of identifying and evaluating built heritage and cultural heritage landscapes is recognized in two sections of the PPS 2014:

- Section 2.6.1 – ‘Significant built heritage resources and significant heritage landscapes shall be conserved’; and,
- Section 2.6.3 – ‘Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.’

PPS 2014 defines *significant* resources as those ‘determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people’, and *conserved* as ‘the identification, protection, management and use of built heritage resources, cultural heritage landscapes, and archaeological resources in a manner that ensures their cultural heritage value of interest is retained under the *Ontario Heritage Act*.’ Also defined in the PPS are *heritage attributes* and *protected heritage property*:

- **Heritage attribute:** the principal features or elements that contribute to a *protected heritage property’s* cultural heritage value or interest, and may include the property’s built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a *protected heritage property*).
- **Protected heritage property:** property designated under Parts IV, V or VI of the *Ontario Heritage Act*; property subject to a heritage conservation easement under Parts II or IV of the *Ontario Heritage Act*; property identified by the Province and prescribed public bodies as provincial heritage property under the *Standards and Guidelines for Conservation of Provincial Heritage Properties*; property protected under federal legislation, and UNESCO World Heritage Sites.

3.3 The Ontario Heritage Act and Ontario Regulation 9/06

The Province and municipalities are empowered to conserve significant properties and areas through the *Ontario Heritage Act*. For Provincial lands, Part III of the *Ontario Heritage Act* authorizes the *Standards and Guidelines for the Conservation of Provincial Heritage Properties* as the key reference for identifying and evaluating cultural resources, while municipalities are enabled under Part IV and Part V of the *Ontario Heritage Act* to ‘designate’ individual properties (Part IV), or properties within a heritage conservation district (HCD) (Part V), as being of ‘cultural heritage value or interest’ (CHVI).

Evaluation for CHVI under the *Ontario Heritage Act* is guided by *Ontario Regulation 9/06 (O. Reg. 9/06)*, which prescribes the *criteria for determining cultural heritage value or interest*. The criteria are as follows:

- 1) The property has **design value or physical value** because it:
 - i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method;



- ii) Displays a high degree of craftsmanship or artistic merit; or
 - iii) Demonstrates a high degree of technical or scientific achievement.
- 2) The property has **historic value or associative value** because it:
- i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;
 - ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or
 - iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.
- 3) The property has **contextual value** because it:
- i) Is important in defining, maintaining or supporting the character of an area;
 - ii) Is physically, functionally, visually or historically linked to its surroundings; or
 - iii) Is a landmark.

If a property meets one or more of these criteria, it may be eligible for designation under Part IV, Section 29 of the *Ontario Heritage Act*.

Designated properties, which are formally described and recognized through by-law, must then be included on a 'Register' maintained by the municipal clerk. At a secondary level, a municipality may 'list' a property on the register to indicate its potential CHVI. Importantly, designation or listing in most cases applies to the entire property, not only individual structures or features.

The Town maintains a register of heritage properties that includes:

- Individual buildings or structures designated under Part IV of the *Ontario Heritage Act*; and,
- Individual buildings or structures designated under Part V of the *Ontario Heritage Act* within the Downtown Heritage Conservation District (HCD).

'Listed' properties not designated under Part IV or Part V are not identified by the Town, nor is there an inventory of individual properties or cultural heritage landscapes of interest. The Study Area is, however, subject to planning conditions under the Town's heritage policies, outlined in the *Official Plan*.

At the Town, like most municipalities, heritage planning staff and municipal heritage committees report to Council on issues pertaining to the *Ontario Heritage Act*. If these individuals or bodies are absent in a municipality, the Province may assume responsibility.

3.3.1 Provincial Heritage Conservation Guidance

The Province, through the MTCS, has developed a series of products, called the *Ontario Heritage Tool Kit*, to advise municipalities, organizations, and individuals on heritage protection and conservation. Of these, *Heritage Resources in the Land Use Planning Process* (MTCS 2005) defines a HIA as:



- 'a study to determine if any cultural resources (including those previously identified and those found as part of the site assessment) are impacted by a specific proposed development or site alteration. It can also demonstrate how the cultural resource will be conserved in the context of redevelopment or site alteration. Mitigative or avoidance measures or alternative development or site alteration approaches may be recommended.'

Heritage Resources in the Land Use Planning Process also advises that the following direct and indirect adverse impacts be considered when assessing the effects of a proposed development on a cultural heritage resource:

- Direct impacts
 - *Destruction* of any, or part of any, significant heritage attributes, or features;
 - *Alteration* that is not sympathetic or is incompatible, with the historic fabric and appearance;
- Indirect Impacts
 - *Shadows* created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
 - *Isolation* of a heritage attribute from its surrounding environment, context or a significant relationship;
 - *Direct or indirect obstruction* of significant views or vistas within, from, or of built and natural features; or
 - *A change in land use* such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.

If adverse impacts are identified, the MTCS guidance suggests that mitigation be achieved through:

- Alternative development approaches;
- Isolating development and the site alteration from significant built and natural features and vistas;
- Design guidelines that harmonize mass, setback, setting, and materials;
- Limiting height and density;
- Allowing only compatible in-fill and additions;
- Reversible alterations; and,
- Buffer zones, site plan control, and other planning mechanisms.

Finally, the MTCS *Heritage Resources in the Land Use Planning Process* advises how to organize the sections of a HIA, although municipalities may also draft their own terms of reference.



3.4 Town of Collingwood Heritage Policies

3.4.1 Official Plan

The Town's *Official Plan*, initially consolidated in 2004 and last consolidated in December 2014, informs decisions on issues such as future land use, transportation, infrastructure, and community improvement within the Town limits for the next 6 years. Section 7.0 of the *Official Plan* outlines the goal and policies for 'cultural heritage', which is not defined but includes 'significant archaeological and built heritage resources.' Importantly, in relation to the heritage recognition of the Annex, under Section 7.2.3.1, the Town encourages:

- 'The conservation of sites of historical, architectural and/or archaeological interest or value as may be identified from time-to-time, *whether or not such sites are identified in the heritage inventory*' (emphasis added).

The sections of the *Official Plan* relevant to this HIA and the proposed development are outlined in the following subsections and are considered when assessing impacts and discussing the conservation options for the Study Area.

3.4.1.1 Heritage Impact Assessments

Section 7.2.3.1 does not specifically define or refer to a HIA, yet stipulates that Council, 'upon being advised that lands proposed for development or redevelopment may constitute or include a heritage resource of potential or acknowledged historical, architectural and/or archaeological value...may require the owner of such lands to carry out studies to:

- Survey and assess the value of the historical, architectural and/or archaeological heritage resource;
- Assess the impact of the proposed development or redevelopment on the historical, architectural, and/or archaeological heritage resource; and,
- Indicate the methods proposed to be used to mitigate any negative impact of the proposed development or redevelopment on the historical, architectural, and/or archaeological heritage resource.'

Guidance for evaluating heritage resources is provided in the *Section 11.1 Cultural Heritage Evaluation Criteria* of the *Official Plan* and generally follows the *O. Reg. 9/06* criteria.

3.4.1.2 Heritage Conservation and New Development

Cultural heritage conservation in relation to new development in the Town is only briefly addressed in Section 7.2.3.3:

- In considering new development proposals, Council shall encourage integration of identified heritage resources in the design of the proposed development, including plans of subdivision.'

If 'significant alteration' of a heritage resource is proposed, Section 7.2.3.6 states that:

- 'Council may require that all heritage resources...are documented for archival purposes with a history, photographic record and measured drawings, prior to demolition or alteration, and that such documentation



shall be the responsibility of the applicant in consultation with the Collingwood Heritage Committee (or the Ministry of Citizenship, Culture and Recreation [now MTCS]).

3.4.1.3 Secondary Plans and Master Plans

Cultural heritage management is sometimes addressed under Secondary Plans or Master Plans, but the Study Area is not subject to these additional policies.

3.4.2 Heritage Conservation District Plan and Guidelines

Although non-binding since the Study Area is not within a HCD designated under Part V of the *Ontario Heritage Act*, the Town has advised that the principles outlined in the *HCD Plan* be considered when assessing the proposed development. Not only does the *HCD Plan* provide design guidelines for existing historic assets, new construction, and streetscapes and landscaping, it also outlines the requirements for heritage impact assessments and conservation plans. The design guidelines relevant to the proposed development of the Study Area are addressed more fully Section 7.3 of this HIA, and in general this HIA follows the headings and content for a heritage impact statement as provided in Appendix A of the *HCD Plan*.



4.0 GEOGRAPHIC CONTEXT & HISTORY

4.1 Geographic Context

The Study Area is in southwestern Ontario and approximately 1.3 km from the southwest shore of Georgian Bay, in the east portion of Lake Huron. It is also within the Nottawasaga Basin of the Simcoe Lowlands physiographic region, which consists of a broad plain of deltaic and lacustrine deposits (Chapman and Putnam 1984:177-178). The primary watershed of the area is the Pretty River, which flows in a north-easterly direction approximately 1.5 km east of the Study Area, eventually emptying into Georgian Bay approximately 2.2 km to the northeast.

In reference to political boundaries, the Study Area is at the southwest portion of Simcoe County, and in the Town of Collingwood. It is bounded on the north and south by Fifth and Sixth Streets, and by Maple Street on the east. The area immediate to the Study Area is primarily residential and typified by low rise, single-detached dwellings.

4.2 Documentary History

4.2.1 Town of Collingwood, Nottawasaga Township, Simcoe County

Following the Toronto Purchase of 1787, today's southern Ontario was within the old Province of Quebec and divided into four political districts: Lunenburg, Mechlenburg, Nassau, and Hesse. These became part of the Province of Upper Canada in 1791, and renamed the Eastern, Midland, Home, and Western Districts, respectively. The Study Area was within the former Western District, which included all lands between an arbitrary line running north from Long Point on Lake Erie to Georgian Bay, and the western Ontario/ Michigan border. Each district was further subdivided into counties and townships, with the Study Area falling within Simcoe County and Nottawasaga Township.

The Township of Nottawasaga gained its name from two Algonquin words, 'Nahdoway' and 'saga,' meaning 'the Iroquois' and 'outlet of river,' respectively (Armstrong 1930:209). Although formally acquired by the Crown under Treaty No. 18 with the Chippewa Nation in 1818, Nottawasaga Township was not officially surveyed until 1832 when Thomas Kelly and Charles Rankin organized the township according to the 2,400-Acre Sectional System (Hunter 1909). This system of lot distribution, which was typically used between 1829 and 1861 (Schott 1981), established concessions containing 200 acre lots with blind rear lot lines, divided every three lots by side roads (Figure 4). In Nottawasaga Township, the concessions were oriented east to west, with the side roads crossing the township from south to north.

Shortly after the Crown survey was completed in 1833, Scottish, Irish, and German families began establishing small communities near the shore of Georgian Bay on the northeastern edge of the Township, and along the banks of the Batteau and Noisy Rivers (Hunter 1909). Due to the township's remote location, the pace of growth and development proceeded slowly at first. By 1842, the population was comparatively small at 420 residents, with only three saw mills and three grist mills having been constructed in the area (Smith 1846).

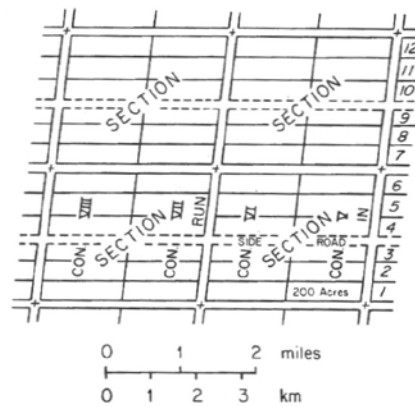


Figure 4: The 2400-acre survey system, used from 1829 to 1861. As depicted here, each lot is 200 acres and each section made of 12 farms (Schott 1981:81-82)

In 1851, the area at the northeastern edge of the Township, known as ‘Hens-and-Chickens’, was selected as the northern terminus of the Northern Railway of Canada, and was to connect the Toronto area with Georgian Bay (Town of Collingwood 2014). This decision spurred land speculators and businessmen to move to the area, and in 1853 local land owner Joel Underwood requested William Gibbard survey a village plot (Hunter 1909). By 1854, the Hens-and-Chickens community had been renamed Collingwood.

Following completion of the rail line in 1855, Collingwood quickly developed into an important centre for shipping and ship building, supporting a large export trade of lumber, grain, and produce to the United States and western Canada (Town of Collingwood 2014). In fact, the pace of growth and development was so rapid that the community managed to bypass village incorporation and directly attained the status of town with its own municipal borders on January 1, 1858 (Hunter 1909). By 1873, Collingwood was home to 2,829 residents and contained ‘one tannery, one brewery, one steam flour mill, sash, door, blind, and pump factories, several hotels and churches, a number of stores, two printing offices, two telegraph agencies, a branch bank, and several ship yards and grain elevators’ (Lovell 1873).

The Town continued to prosper throughout the late 19th century. When the Queen’s Dry Dock was constructed in 1882, the corporate ship building industry flourished and the town eventually gained an international reputation for quality work and design in this field (Town of Collingwood 2014). The success of the ship building industry brought many workers to the area, and by 1895 Collingwood boasted a population of 4,939 (Lovell 1895).

Events of the early to mid-20th century slowed the Town’s growth and development, and by the time the St. Lawrence Seaway was completed in 1959, the Town was no longer an important shipping centre (Collingwood Public Library 2016). Throughout the late 20th century, the shipping and ship building industries were slowly replaced by recreational and retirement developments made popular by the local beaches and the nearby Blue Mountain. In 2011, the Town of Collingwood, now a lower-tier municipality within the County of Simcoe, was home to 19,241 residents (Statistics Canada 2011).



4.2.2 Study Area

Since Murdoch’s reports provide comprehensive histories of education in Collingwood and events in the Study Area, only a brief chronological summary is provided here, with emphasis placed on events specifically relevant to the Annex.

Date	Event
June 1857	Residents of Collingwood petition Simcoe County Council to establish a grammar school.
1858	Benjamin Walker Smith, Simcoe District’s first sheriff, donates half an acre for a frame school building on the east side of Pine Street, in the Centre Ward.
June 6, 1870	School Board trustees request plans and specifications to improve the Pine Street school.
February 11, 1874	School Board trustees discuss plans to enlarge the Pine Street school.
April 6, 1874	William Hayer is commissioned to build a two-storey brick addition to the Pine Street school.
September 28, 1874	School Board trustees discuss purchasing Lot 24 East Pine Street to extend the Pine Street school grounds to the north.
June 18, 1883	The School Board decides to add to the brick section of the Pine Street school but later requests \$10,000 to build a new schools in the Centre and East Wards.
January 1884	The School Board appeals to Council to make a decision on construction of new schools since there are now 1,300 children of school age in the Town.
April 1884	The School Board purchases for \$1,100 the quarter-acre Lots 10, 11, 12, south side, Fifth Street and Lots 10, 11, 12, north side, Sixth Street, Plan 45, known today as 400 Maple (the Study Area).
May 27, 1884	The contract to build a ‘school with brick additions’ is awarded to Collingwood architect Marshall B. Aylesworth, who estimated the work at \$9,400.
October 7, 1884	Construction of the ‘Central School’ is reported as nearly complete.
May 5, 1885	The School Board requests an additional \$3,000 from Council to complete the Central School
September 1885	The Pine Street school is damaged by fire.
December 1885	Pupils attend the first classes at the Centre School, but landscaping at the site is not complete.
April 30, 1894	The School Board requests an estimate for a new structure or four room addition to the Central School.
June 11, 1894	<i>Architect Francis W. Bryan is commissioned to design a new school house with four rooms as a separate structure on the Central School grounds, and construction is initiated by local contractors John Chamberlain and D. Peterman & Sons.</i>
February 5, 1895	<i>Construction of the Annex is believed to have been completed by this date.</i>
May to September 1897	<i>The Central School and Annex is converted to steam heating</i>
1906	The first kindergarten class is admitted to Central School.
June 6, 1906	The School Property Committee clears all trees on the north side of the property, plants poplars and maples on the south side, plants maples on the east side, and trims the existing firs on the east side. Garden plots are also added.



Date	Event
August 1908	<i>Architect John Wilson drafts plans for new toilets at the Central School, which are to be placed in an expanded cellar in the main building that is linked to the Annex.</i>
October 6, 1909	The Provincial Health Inspector files a report detailing poor ventilation in the Central School and the inadequacy of the 12 x 16 feet brick exterior toilets for boys and girls.
1910	<i>The cellar beneath the Annex is excavated to full basement height</i>
1910-1911	<i>Work to address the ventilation and toilet issues at the Central School are carried out and the basements of the Annex and Central School are joined via a tunnel</i>
1911	Central School is re-named the Victoria School
1912	The Board of Education reserves two rooms in the Annex for manual training
March 8, 1945	<i>The 'Victoria School Annex' is re-opened after years of declining enrollment</i>
1954	The Admiral Collingwood School is opened for grades 6, 7, and 8, and the Victoria School is made a junior public school.
1969	<i>The Victoria School is demolished, and the Victoria Annex becomes home to the Association for Retarded Children</i>
October 2001	<i>The Victoria Annex, then known as the Collingwood Alternative School, ceases use as a school.</i>
2004	<i>The Simcoe County District School Board sells six of the original lots and the Victoria Annex is vacated.</i>
January 24, 2007	<i>The property owner applies to Council to demolish the Annex.</i>
February 26, 2007	<i>Council introduces a motion to consider designation of the Annex under Part IV of the Ontario Heritage Act</i>
March 12, 2007	<i>The demolition application is withdrawn and a heritage impact assessment is commissioned to evaluate plans to develop the property with a 3-unit condominium, 10 single-detached and 1 semi-detached residential units, and convert the Annex to a four unit condominium.</i>
2015	<i>The Town commissions a Heritage Designation Report for the Annex to determine if it meets the criteria to be designated under Part IV of the Ontario Heritage Act.</i>

4.3 Structural History

Surprisingly, given the age of the building, there are no clearly defined periods of structural development, but rather evidence of minor changes through time. Based on the available historical data, the structural history can be divided into only three phases: the initial construction until circa 1918, the occupation between 1918 and the mid-20th century, and modifications and alterations over the past sixty years.

4.3.1 Phase 1: 1895 to circa 1918

Although the Annex is known to have been constructed in 1895, the earliest visual evidence for the building dates to nearly a decade later. The 1904 Fire Insurance Plan shows the same footprint for the Annex as exists today, including the brick basement access near the southwest corner; at that time the access would have been to the more restricted cellar space.

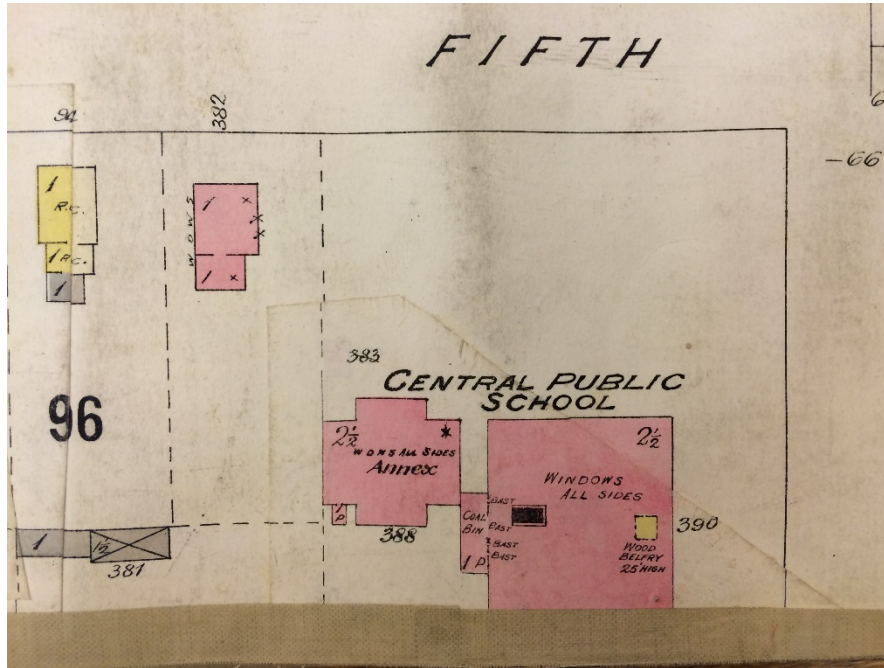


Figure 5: Portion of the 1904 Collingwood, Simcoe County Fire Insurance Plan, Sheet 13 (Western Archives, Western University).

A photograph taken circa 1905 of the north façades of the Central School and Annex shows far more detail (Figure 6:). Features shown in the photograph that are not present on the structure today include the:

- Whitewash covering the east façade;
- Possible lightning protection on the north gable ridge line (or possibly finials, see Murdoch 2007:14);
- Chimneys on the east and west gables; and,
- A window in west portion of north façade foundation.



Figure 6: North façade of Central School and Annex circa 1905 (from Murdoch 2015:16, orig. Collingwood Museum X969-152-1).

4.3.2 Phase 2: circa 1918 to 1955

The next available evidence is a photograph believed to have been taken in June 1918 (Figure 7)(Murdoch 2015:16). The east façade is still whitewashed and the gable chimneys are present, but there have been several additions or alterations. These include the:

- East entrance porch;
 - This has the same roof construction as seen today but the deck, stairs, railing and balustrade appear to be of wood construction.
- Small, north façade first-level window within the west blind window;
 - Based on similarities in shape, size, and the voussoirs, it is presumed that the small window on the south west blind window was added at the same time.
- Window in the east portion of the north façade foundation (this may have followed work to transform the cellar into a basement in 1910);
- Blind window in the west portion of the north façade foundation (shown as open in Phase 1); and,
- Large central chimney.
 - This chimney is also prominent on a 1919 oblique aerial photo recently digitized by the British Library (Figure 8).

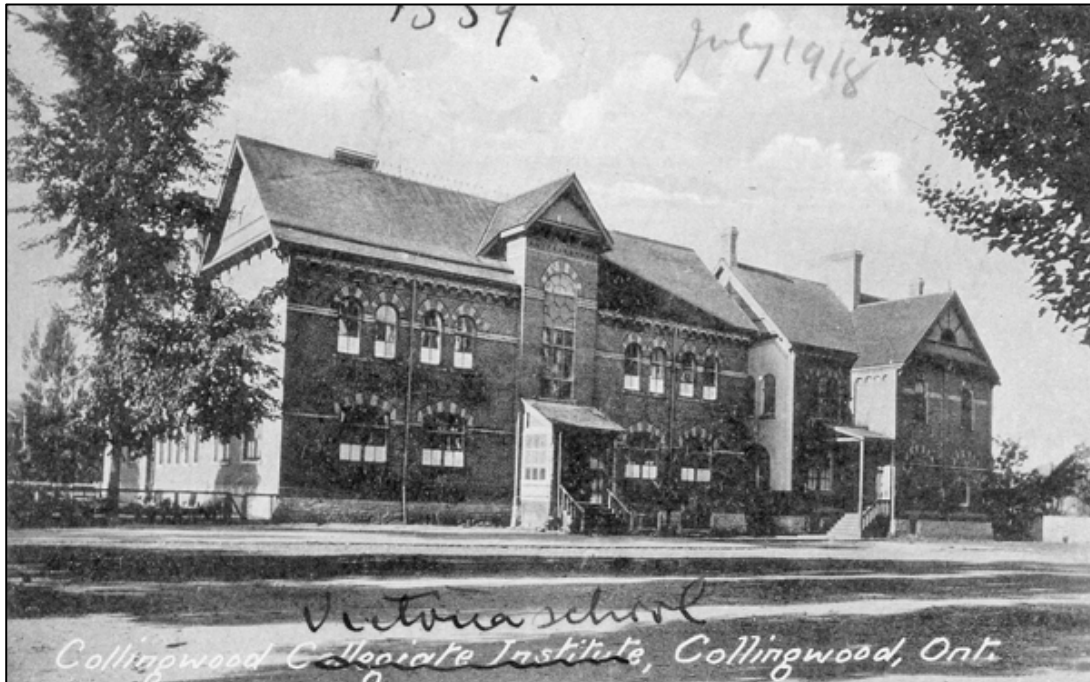


Figure 7: North façade of Central School circa 1918 (from Murdoch 2015:16, orig. Collingwood Museum X969-152-1).



Figure 8: Portion of the 1919 oblique aerial photograph 'Collingwood, Ontario from the Air, Bishop Barker Co.' The view faces north and the Annex is indicated by the red arrow (HS85/10/36582 British Library Online Collection).



The 1955 Fire Insurance Plan (Figure 9) indicates that a single-storey wood addition had been added to the central portion of the south façade sometime after 1919, but otherwise the footprint was unaltered from its 1904 configuration.

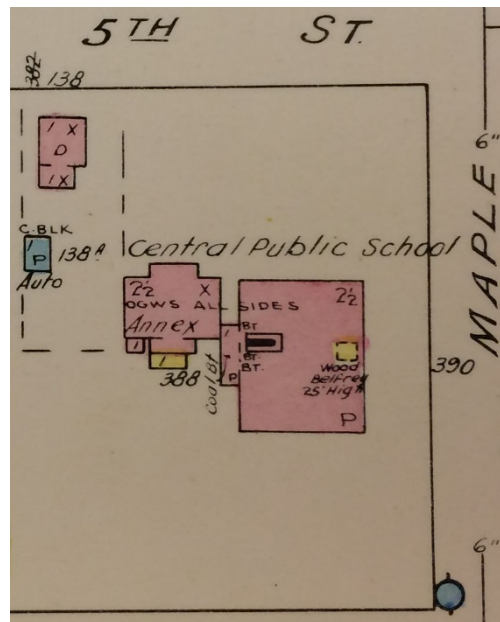


Figure 9: Portion of the 1955 Collingwood, Ontario Fire Insurance Plan, Sheet 16 (Western Archives, Western University).

4.3.3 Phase 2: circa 1955 to 2016

A number of alterations have been made to the Annex since 1955. The most significant of these was to the building's context and landscape. Demolition of the Victoria Public School in 1969 also included removing the auxiliary toilet facilities, leaving the Annex as the only building on the property. Additionally, the principal façade of the Annex was now regarded to be the one on the east, as represented in its address as 400 Maple Street.

Other exterior modifications include the:

- Concrete porch decks with iron pipe railings and balustrade;
- Light fixtures;
- Sectional aluminum gutters and downpipes; and,
- Removal of the south, single-storey wood addition.

Changes also occurred on the interior, and include:

- Office partitions, walls, and drop ceilings on the first level;
- Metal window inserts on the first level;
- Removal of many sections of flooring on the second level;



- Interior transoms are covered;
- Removal of the central stairs; and,
- Installation of male and female washroom facilities in the basement level.

A composite view of the structural phases seen on the exterior today is shown in Figure 10.



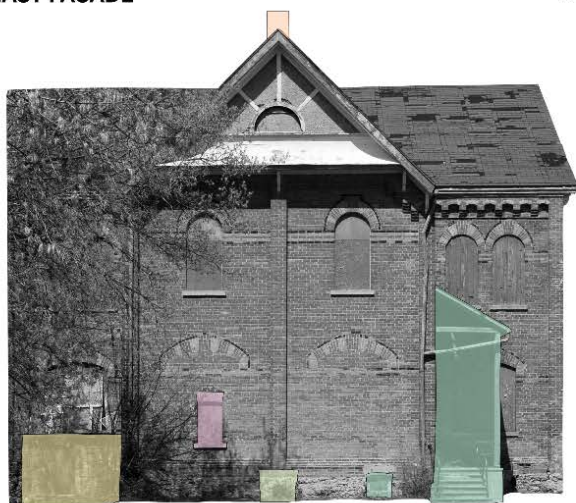
HIA - VICTORIA ANNEX



NORTH FAÇADE



EAST FAÇADE



SOUTH FAÇADE

Phase 3:
c. 1955-2016

7

Concrete porches

Other changes: South addition removed / interior offices and bathrooms / removal of stairs, floorboards

Phase 2:
c. 1918-c. 1955

4

5

6

Small windows in blind arch / Basement windows / Central chimney

Other structures (now demolished): East entrance porches / south wood addition

Phase 1:
1895-c. 1918

3

Orig. basement windows (now blind)

2

Basement access addition

1

Annex construction w. dual chimneys, whitewash on E. façade/ finials or lightning protection

Figure 10: Rectified photography showing phasing on the north, east, and south façades of the Annex.



5.0 RESOURCE DESCRIPTION

The information provided in the following sections are intended to supplement or clarify the Study Area and Annex descriptions found in the Murdoch reports (Appendices A and B). The cultural landscape and view into and from the Study Area are only briefly mentioned by Murdoch, and some of the dimensions and architectural terms for the Annex have been further defined. A full description of the interior features is described here since Murdoch could not access these spaces during her investigations.

5.1 Cultural Landscape

The Study Area is a 0.6 hectare (1.5-acre) rectangle that is oriented north-south, and measures 60.5 m on the north and south frontages, and 100 m long on the east and west boundaries. The topography is flat and rises very gradually toward the footprint of the Annex, which is on the west-central portion of the lot (Figure 11 and Figure 12).

Most of the Study Area is cleared and covered in grass. North of the Annex there is a large area of gravel, while immediately to the east is an area of concrete that surrounds the east façade. Two short sections of paver footpaths extend from the Annex entrances, one travelling northeast from the east entrance, and the other directed to the southeast. Further to the east of the Annex is a grassed area with isolated small trees. Larger trees line the western boundary of the lot, or are found interspersed among the other street lines. All boundaries are demarcated by a medium-height, metal chain-link fence that has three gates, one on each of the surrounding streets.

The flat topography and small number of mature trees allow for clear views of surrounding properties, particularly from the second level of the Annex. Although there are a number of adjacent properties that appear to have heritage potential, only one—a brick Queen Anne-style residence at 402 Maple Street southeast of the Study Area—is designated by the Town. Further east, at 77 Sixth Street, is another municipally designated brick Queen Anne-style house, but this cannot be seen from the Study Area, nor is the Study Area visible from that address. However, views of the Annex from the nearest surrounding streets and properties are clear and unimpeded, and the surrounding architecture is a mix of historic and contemporary residential styles, none of which exceed two storeys in height.



5.1.1 Cultural Landscape – Figures



Figure 11: View of the Study Area facing south showing east and north lawns and north façade of the Annex (April 2016).



Figure 12: View of the Study Area facing southwest of the Annex showing the flat and gently rising topography (April 2016).



Figure 13: View of the Study Area facing west, showing the south, east, and north lawns and the east façade of the Annex (April 2016).



Figure 14: View of the Study Area facing northwest (April 2016).



Figure 15: View from the Study Area facing north (April 2016).



Figure 16: View of the Study Area facing northwest from the southeast side of Sixth Street (April 2016).



Figure 17: View from the centre of the Study Area facing south toward 402 Maple Street (May 2016).



Figure 18: View facing southwest of the municipally designated heritage property at 402 Maple Street (April 2016).



Figure 19: View facing west of the municipally designated heritage property at 402 Maple Street (April 2016).



Figure 20: View facing northwest showing the visual relationship between 402 Maple and the Annex (April 2016).



Figure 21: View facing north of the municipally designated heritage property at 77 Sixth Street (April 2016).



Figure 22: Streetscape of Fifth Street facing west from east of Maple Street (April 2016).



Figure 23: Streetscape of Fifth Street facing east from near the corner of Beech Street (April 2016).



Figure 24: View facing southeast of a heritage structure on Fifth Street northwest of the Annex (which can be seen in the background) (May 2016).



Figure 25: Streetscape of Maple Street facing south from north of Fifth Streets (April 2016).



Figure 26: Streetscape of Sixth Street facing west from near the intersection with Maple Street (April 2016).



5.2 The Annex

5.2.1 Exterior

The Annex is a single-detached, four-bay structure with overall dimensions of 58 feet east-west by 54 feet north-south. It has a cruciform plan composed of a tall, east-west oriented main block with gable roof, and shorter north and south transepts with cross-gables. The long façades of the main block are oriented parallel with Fifth and Sixth Streets, while the shorter east end wall and gable faces Maple Street. On the north transept, the wall height is 25 feet from top of the foundation to bottom of the eave, while the height of the main block's east end wall from the top of the foundation to the soffit is 28 feet.

Golder concurs with the architectural descriptions provided by Murdoch with the following terms added as preference:

- The building is composed of a *main block* and *transepts* (the latter is preferred to Murdoch's 'smaller gabled projections') (Figure 27, Figure 28, Figure 29, Figure 30, and Figure 31);
- Instead of 'rubblestone', the material and masonry technique used for the foundation can be described as *coursed rubble* (see Brunskill 1978:39) (Figure 32). The courses of buff-coloured brick laid in step-like fashion four courses above the coursed rubble foundation can be referred to as the *water table* (various sources) (Figure 33);
- The non-structural columns in the centre of the façade walls are referred to by Murdoch as 'pilasters'. However, since these lack a base and capital, the preferred term is *lesene* (also known as pilaster strip) (see Pevsner 2010:79) (Figure 34);
- The vertical mullions and division of lights in the arched windows on the east façade identify them as *Diocletian windows* (various sources) (Figure 35);
- The preferred term for the 'bands' of buff and black-coloured brick are *belt courses* (various sources) (Figure 36);
- The 'brick arcading' seen on the north and south façades is an *arched corbel table* (see Atkinson 2004:77) (Figure 37);
- The 'carved wood brackets' can be described as *grooved and perforated quarter-round brackets* (see Alcock et al. 2014:F31) (Figure 38); and,
- The 'geometric block pattern' on the main block gables and the 'sunburst' of the north and south cross-gables may be termed *decorative half timbering* (common in the Tudor Revival style), but are more probably 'stick' decoration, indicating the design of the building also incorporates the 'Eastern Stick' style, popular between 1860 and 1910 (Blumenson 1981:54; Penney 1989:86-87). Additionally, the gables have a *pent roof* (Stephen 1972:49) (Figure 39 and Figure 40).



5.2.1.1 Exterior – Figures



Figure 27: The north façade of the Annex (May 2016).



Figure 28: The east and north façades of the Annex (May 2016).



Figure 29: The east façade of the Annex (May 2016).



Figure 30: The south and east façades of the Annex (May 2016).



Figure 31: The south façade of the Annex (May 2016).



Figure 32: The coursed rubble foundation (northeast corner of the main block) (May 2016).



Figure 33: The brick water table (northeast wall of the main block) (May 2016).



Figure 34: Lesenes or pilaster strips on the corners and centre of the north transept (May 2016).



Figure 35: Diocletian windows on the east end wall of the main block (May 2016).



Figure 36: Dichromatic brick belt course and blind window voussoirs on the north wall of the north transept (May 2016).



Figure 37: Arched corbel table on the east wall of the south transept (left) and south wall of the main block (right) (May 2016).



Figure 38: Grooved and perforated quarter-round brackets at the eaves and pent roof of the north transept (May 2016).



Figure 39: 'Stick' decoration on the east gable of the main block (May 2016).



Figure 40: 'Sunburst' Stick decoration and pent roof on the south transept cross-gable (May 2016).



5.2.2 Interior

The Annex interior has four levels —a basement, first level, second level, and attic— which are described individually below (Figure 41).

5.2.2.1 Basement

Access to the basement is from both the interior and exterior, the former via staircases in the south and north transepts, and the latter through the one-storey addition on the Annex' southwest corner. The basement space is divided into seven spaces: three large rooms, two bathrooms, a hot-water heater room; and a furnace room (Figure 42, Figure 43, and Figure 44). Nine windows light the space and are present on all facades.

The basement stands approximately six feet high and is finished with a concrete floor and industrial tube lighting fixtures, although the brick and stone walls have simply been painted white, and the piping that runs along the ceilings is exposed. A modern furnace with aluminum ducts is centrally located, but the original 'Oxford' hot air furnace is still extant in the wall dividing the central east and west spaces (Figure 45). Also present, and likely related to the Oxford furnace, is a brick-lined channel extending east from the furnace and covered by wood planking (Figure 46), and large brick coal bins built into the north and east walls of the furnace room.

Some of the bathroom sinks and taps have been removed but based on the surviving features these are likely to have been modern fixtures. A metal shower remains in the 'boys' bathroom, as do the metal partitions for two stalls (Figure 47 and Figure 48). A higher number of metal stalls are present in the 'girls' bathroom, and this space has been painted a lime green (Figure 49).

In the north and south rooms are some surviving original windows, and in the north room there is an original cast hot-water radiator with floral design placed unusually in the ceiling. In some places the floor joists are visible, and these are 2 × 10-inch circular sawn planks laid running east-west on a 24-inch centre.

5.2.2.2 First Level

There are two entrances to the first level, both on the east façades of the north and south transepts (Figure 50 and Figure 51). From the location of the boys' and girls' bathrooms in the basement, it is presumed that the boys' entrance was in the south transept, while the girls' entrance was in the north transept. Both entrances lead directly to the stairways for access to the basement or second level, and therefore would enforce gender separation for all movement through the building until students entered the central classrooms. Unfortunately both stairways to the second level have been completely removed.

Overall the first level has been divided into nine spaces. Early alterations include placing a bathroom in the north transept and a custodial supply room in the south transept (Figure 52). The classrooms are centrally located and each are 32-feet square. The east room retains this original space, but the west room has been divided into a common area and three office spaces using metal dividers and fibreboard partitions. These partitions and walls do not extend to the full 10-foot wall height but to a lower drop ceiling. Original trim and transom spaces are visible in the interior doorways (Figure 53, Figure 54, Figure 55, and Figure 56)



Most of the walls retain wood wainscoting, high chair rails, and transoms, indicating the original plaster may also survive in most rooms. A slate blackboard with wood chalk well hangs in the south wall of the east classroom and another may survive beneath a corkboard on the room's west wall. Some sections of the wood flooring in the east room has been entirely removed, although in one portion a more recent flooring has been pulled up to reveal varnished tongue-and-groove flooring marked with circles, likely for shuffleboard or similar game. The light fixtures have been replaced with modern industrial types and in some cases the wood doors have been unhinged. Also missing are the hot-water radiators, the former location of which is evident from paint patterns on the walls and pipes extending from the floor (Figure 57, Figure 58, and Figure 59).

5.2.2.3 *Second Level*

The overall division of space—two stairways and two central classrooms—is continued on the second level. The north and south transepts have also been subdivided into offices, although the walls for these have been removed (Figure 60 and Figure 61). The classrooms are identical except that in the west room there is a single slate blackboard, and a 'lab'-type cabinet and desk near the east wall. Two blackboards also survive in the east room, one on the west dividing wall and the other on the south wall. Like the first level, sections of the floor have been taken out, and in the east room there are also concentric rings on the floor. However, the latter have been painted on a coarse fabric or sackcloth floor covering rather than directly on the wood floorboards. A notable feature of the west room is a coal chute and cleanout with metal plate door (Figure 62, Figure 63, Figure 64, Figure 65, Figure 66, and Figure 67).

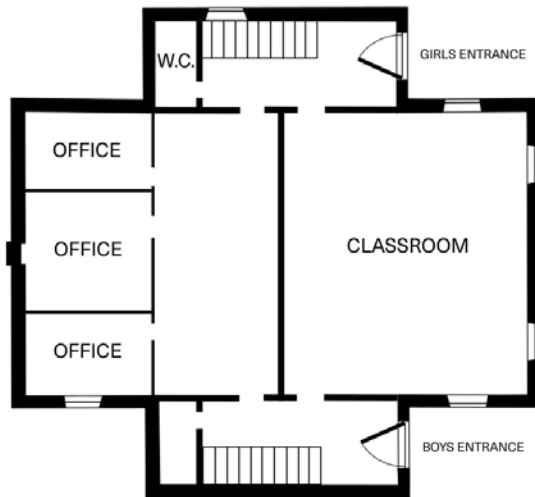
The finishes of the second level are the same as those of the first, and the walls are plastered. Where some of the covering has been removed, the plaster 'keys' are clearly visible (Figure 68). Preservation on this floor is more extensive than the first level despite total removal of the landing and stairs, and radiators. Like the first level, the ceilings are high.

5.2.2.4 *Attic*

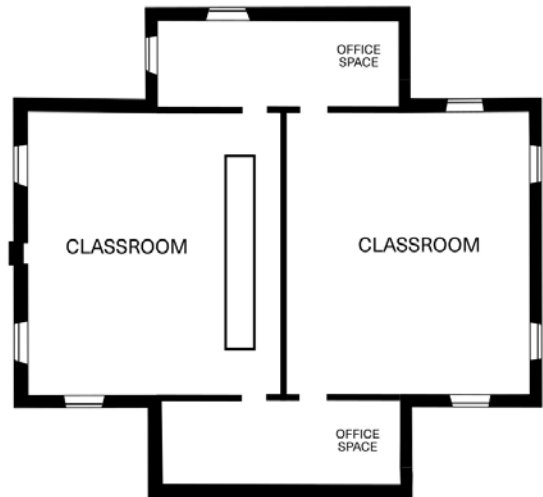
Entrance to the attic is through a hatch on the ceiling of the second level but this space was not accessed during Golder's investigations. However the roof structure was photographed through the hatch and revealed the construction to be relatively light rafters with flush-laid roof boards rather than purlins (Figure 69).



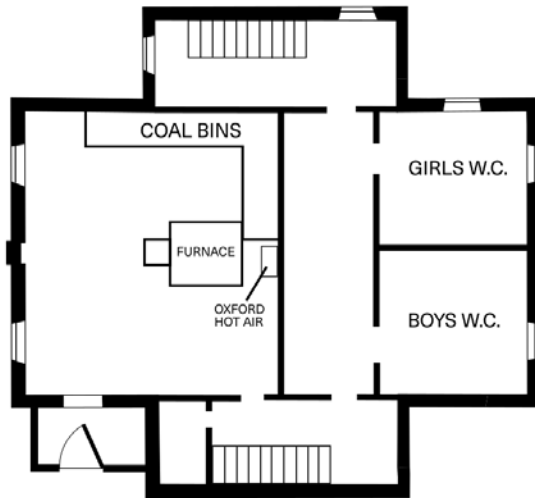
5.2.2.5 Interior – Figures



FIRST LEVEL



SECOND LEVEL



BASEMENT

VICTORIA SCHOOL ANNEX
400 Maple Street
TOWN OF COLLINGWOOD

SCHEMATIC FLOOR PLANS

Surveyed by: CL
Drawn by: HCC
Surveyed: 6 May 2016
Drawn: 11 May 2016
Base data courtesy:
IBI Group Architects
NOTE: Not to Scale

Figure 41: Schematic floor plans for the Annex interior.



Figure 42: Basement of the north transept, facing west (May 2016).



Figure 43: Basement of the south transept, facing west (May 2016).



Figure 44: The west furnace room, facing north (May 2016).



Figure 45: The Oxford furnace on the east wall of the furnace room, facing northeast (May 2016).



Figure 46: Interior of the brick channel running west from the furnace (May 2016).



Figure 47: View facing north of the 'Boys' bathroom showing the former location of sinks (May 2016).



Figure 48: Toilet stalls in the 'Boys' bathroom (May 2016).



Figure 49: Toilet stalls in the 'Girls' bathroom, facing east (May 2016).



Figure 50: First level of the north transept, facing west (May 2016).



Figure 51: First level of the south transept, facing west (May 2016).



Figure 52: Toilet in the first level of the north transept, facing northwest (May 2016).



Figure 53: View facing southeast of the east, first-level classroom (May 2016).



Figure 54: View facing south of the east first-level classroom (May 2016).



Figure 55: View facing south of the west first-level classroom, now divided into offices (May 2016).



Figure 56: View facing north of the west classroom offices (May 2016).



Figure 57: Former hot-water radiator location, wainscoting, chair rail, and window trim in the east first-level classroom (May 2016).



Figure 58: Door architrave and transom in the east first-level classroom (May 2016).



Figure 59: Concentric ring markings in the floor of the east first-level classroom (May 2016).

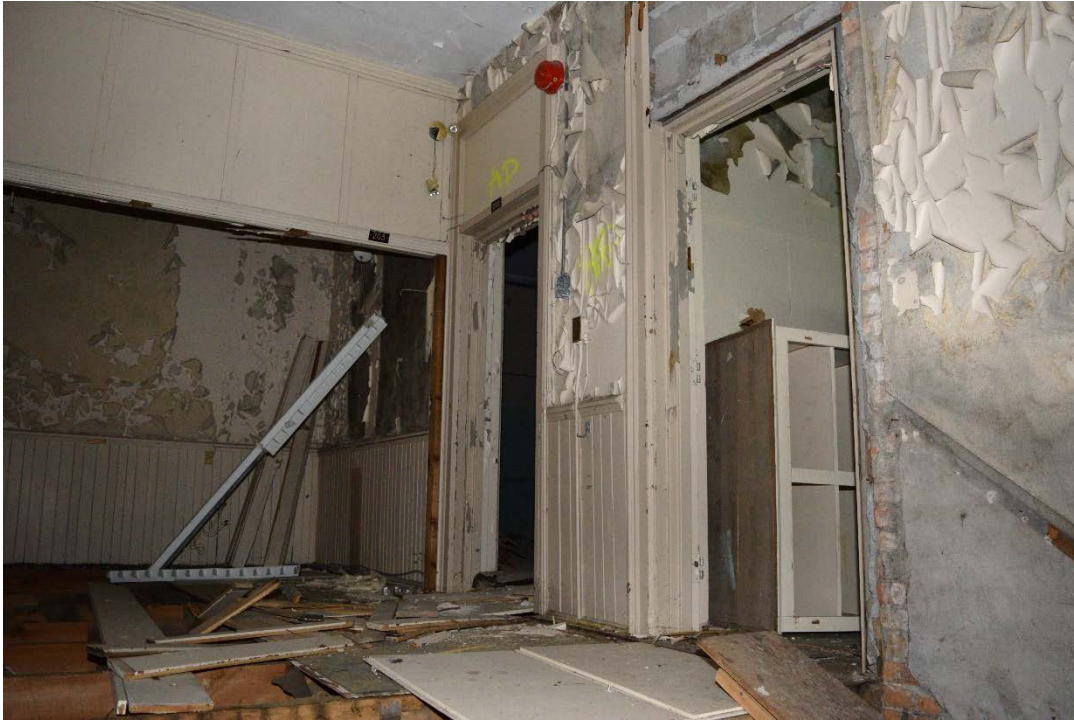


Figure 60: Second level of the south transept, facing west (May 2016).



Figure 61: Second level of the north transept, facing east (May 2016).



Figure 62: View facing north of the west second-level classroom (May 2016).



Figure 63: View facing south of the west second-level classroom (May 2016).



Figure 64: View facing north of the east second-level classroom (May 2016).



Figure 65: View facing east of the east second-level classroom (May 2016).



Figure 66: Painted sackcloth flooring in the second level classroom (May 2016).



Figure 67: Coal chute in the second level classroom (May 2016).



Figure 68: Plaster 'keys' as seen in the second-level classroom (May 2016).



Figure 69: Room framing and planking as seen through the attic access (May 2016).



5.3 Heritage Integrity, Physical Condition, and Interpretation

5.3.1 Heritage Integrity

The concept of ‘heritage integrity’ is closely linked to ideas about preservation and authenticity, rather than structural condition. In this context heritage integrity refers to the literal definition of ‘wholeness’ or ‘honesty’ of a historic place, and is measured by understanding how much of its historic, social, spatial, aesthetic or contextual value survives (English Heritage 2008:45; Historic Scotland 2007:18).

Unlike structural integrity, heritage integrity can prove difficult to quantify, in part because there is no widely accepted criteria. The MTCS *Ontario Heritage Tool Kit: Heritage Property Evaluation* (MTCS, 2006) stresses the importance of assessing the heritage integrity and physical condition of a structure in conjunction with evaluation under *O. Reg. 9/06*, yet does not provide specific guidelines for how this should be carried out. Similarly, Kalman’s *Evaluation of Historic Buildings* includes ‘integrity’ as a criteria, yet offers only general statements to determine overall integrity under the sub-elements of ‘Site’, ‘Alterations’, and ‘Condition’.

Research commissioned by Historic England in 2004, however, proposed a method for determining levels of change in conservation areas (The Conservation Studio 2004) that also has utility for evaluating the integrity of individual structures. To evaluate the heritage integrity of the Annex, Kalman’s and the Historic England approaches have been combined, and the results presented in Table 1:

Table 1: Heritage Integrity Analysis for the Annex.

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Site location	400 Maple Street	None	100	Very Good	Original site and lot size
Footprint	Cruciform-plan	Wood frame addition removed	100	Very Good	No comment
Wall	Brick	Repointing on all façades in Portland cement	95	Very Good	Overall good
Foundation	Stone	Repointing on all façades in Portland cement	95	Very good	No comment
Exterior doors	Wood	All exterior doors replaced with wood composite doors	60	Good	The original wood doors have been removed and replaced with double-leaf composite doors, but still constructed in wood.
Windows	Wood	Steel insert	70	Good	The original wood framing survives but most windows have been replaced with steel inserts.
Roof	Unknown covering, wood fascia, frieze,	Asphalt shingle	90	Very good	Apart from the asphalt shingles (which may have also been applied historically), the roof



HIA - VICTORIA ANNEX

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
	soffit, and brackets				maintains its original shape and details
Chimneys	Three	All but central chimney removed	50	Fair	The gable chimneys are still evident in the gables and appear to have been removed only above the ridgeline.
Water systems	Unknown, likely iron	Steel gutters and rain water leaders	0	Poor	No comment
Exterior decoration	Window lug sills, polychromatic brick, brackets, gable framing, whitewashed east façade	East façade whitewash removed	100	Very Good	No comment
Porches/ exterior additions	One-storey brick addition to south façade pre-1904 Porch added to east façade doorway by 1918 One-story wood addition to south façade pre-1954	New porch added over south façade door	60	Good	Only one addition has been removed, and it may not have been intended as a permanent structure. The porch over the south façade is incompatible as the roof slope is steep and the base construction is entirely in poured concrete.
Interior plan	All details of interior plan are unknown but likely follow existing divisions	New rooms for custodial and bathrooms on all levels	75	Good	Overall the original floorplan survives intact.
Interior walls	Lathe-and-plaster	Some sections replaced with plasterboard	60	Good	The extent of change to the walls is unknown but the presence of original wainscoting, chalk rails, slate blackboards, and interior doors and transoms suggests that a



Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
					high proportion of the original wall fabric is intact
Interior trim	Wainscoting, chalk rails, and door surrounds	Minimal replacement	90	Very good	The extent of change to the interior trim was not calculated but even in renovated spaces the tall moulded trim is still extant
Interior features (e.g., hearth, stairs, doors)	Slate blackboards Interior door transoms, 'Oxford' furnace	Stairs from first to second floor removed, some flooring removed; hot air radiators removed	60	Good	There is a significant level of preservation for interior features, including original heating and vent systems
Landscape features	Garden plots, brick toilets and presumed features such as play areas	All features removed when the Central School was demolished in 1969	50	Fair	Landscape rating of poor is based on the assumption that a number of structures and features were present in the Study Area to support its use as a playground and for outdoor education
AVERAGE OF RATE OF CHANGE/HERITAGE INTEGRITY			72	Good	Rating of Good is based on original element survival rate of between 50-75%

Overall, the Annex has a high (Good) level of heritage integrity.

5.3.2 Physical Condition

The condition of the foundations, exterior walls, roofing, and interior of the Annex ranges from fair to good. The condition assessment presented in Table 2 is based on a checklist developed by Fram (2003), but these observations are based solely on non-specialist, non-systematic, superficial inspection and should not be used to determine the overall structural integrity of the building.

Table 2: Physical Condition Assessment.

Element	Observed Conditions
Building site	<ul style="list-style-type: none"> ■ In general the topography appears to slope away from the Annex and there were no areas of standing water ■ Vegetation is thick along the west façade and appears to be impacting the foundation
Roofs	<ul style="list-style-type: none"> ■ There is no sagging in the roof ridge lines



Element	Observed Conditions
	<ul style="list-style-type: none">■ Rot or damage is not visible in the fascias, soffits, brackets, or eaves and the flashing and gutters appear sound■ The asphalt roof covering is in poor condition in some sections of the south faces, and some shingles are missing■ Water damage to the lathe-and-plaster is evident in the ceiling in the northwest corner of the west second-level classroom, indicating a roof leak (Figure 70)■ The chimney and cap appears sound
Walls	<ul style="list-style-type: none">■ Overall the masonry appears sound, although some areas have been extensively repointed in Portland cement, which has exacerbated the opening of mortar joints, spalling, and exfoliation■ A section of outer wythe on the brick basement access has collapsed (Figure 71)■ A section of the corbel table on the south façade has collapsed and is surrounded by displaced bricks (Figure 72)■ In the same section as the corbel table damage, bricks have been displaced from the voussoirs and central column of the combined arched windows (Figure 72)■ In some areas brick above and below the water table has eroded, spalled, and exfoliated (Figure 73)■ Efflorescence was not observed
Foundations	<ul style="list-style-type: none">■ On the southeast corner the mortar joint has opened and there is some displacement of the stones■ Elsewhere the foundation appears sound, with the exception that there has been some mortar wash-out or poorly executed repointing in Portland cement that has exfoliated, creating open joints.■ No buckling or bulging was observed■ A section of the foundation has been poorly breached to run cast-iron piping
Windows and Doors	<ul style="list-style-type: none">■ Most windows are covered in plywood but the wood framing as seen from the interior appears to be in good condition
Porches and Extensions	<ul style="list-style-type: none">■ The porches exhibit minor cracking and exfoliation■ The roof systems and supports appear sound
Basements	<ul style="list-style-type: none">■ There is standing water in the central furnace room



Element	Observed Conditions
	<ul style="list-style-type: none">■ Exfoliated brick is present in the southeast exterior access stairway■ Exfoliated paint and rust on metal surfaces in the basement spaces suggests a high level of moisture infiltration■ No sagging was noticed in the basement ceiling
Living and working spaces	<ul style="list-style-type: none">■ There is considerable damage to the interior spaces through partial demolition, the most significant of which is the removal of the first and second level stairways. However, despite superficial vandalism and moisture damage, many of the original wall finishes remain intact.■ The paint exfoliation suggests a high level of moisture infiltration
Attics, shafts, and concealed spaces	<ul style="list-style-type: none">■ Not assessed



Figure 70: Water damage in the northwest corner of the west second-level classroom (May 2016).

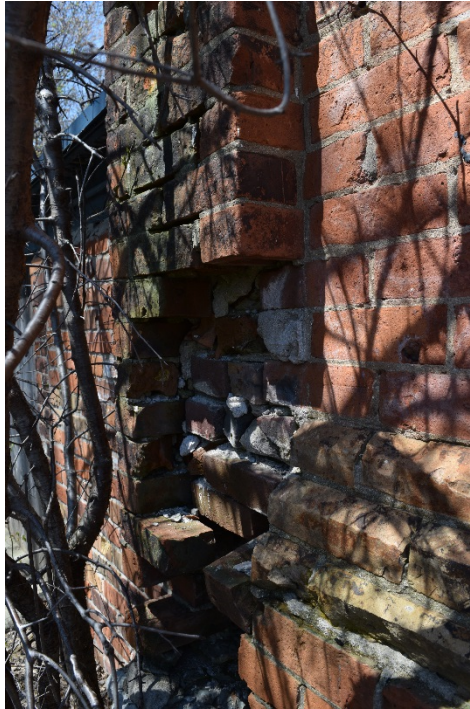


Figure 71: Section of collapsed outer wythe on the brick basement access addition (May 2016).



Figure 72: Missing and displaced section of arched corbel table, voussoir, and window column on the southwest façade of the main block (May 2016).



Figure 73: Erosion, exfoliation and spalling of the brick and stone construction on the southeast corner of the main block (May 2016).

5.3.3 Interpretation

Although victim to repairs with inappropriate material, long-term vacancy, and environmental damage from the late 20th century onward, the Annex retains much of its original appearance, fabric, and division of space on both on the exterior and interior. All three of these elements contribute to understanding the building as a school, which was designed explicitly with quality, permanence, and gender separation in mind. The architecture of the Annex is therefore not simply a product of an aesthetic preference for the Romanesque Revival style (with possible Eastern Stick influence on the gables) but a tangible reflection of the high quality of education provided within, and a structurally reinforced philosophy that this level of education required reducing fraternization between boys and girls until supervised within the classroom. However, there were also considerations for an open and bright internal environment, effected through high ceilings, provisions for natural light through large windows and transoms, and sophisticated heating and ventilation systems. Other surviving details are more directly practical. High wainscoting is often seen in historic school buildings to prevent plaster damage, and large spaces in the stairways of the Annex may have served had clothing hooks and storage areas. Similar attitudes and spatial concepts were expressed in school buildings erected across Canada during the same period (such as the Lunenburg Academy National Historic Site of Canada, see Hale 1983:233 and Cary 2013).

In terms of social significance, school buildings are often central to community identity and memories, sometimes experienced and appreciated by individuals and groups as much as a church, if not more (Historic England 2005:Sec. 2.3). This heritage is recognized today: the UK's heritage body Historic England has developed a 'model brief' specifically for school buildings, and in Ontario alone, there are 53 schools listed in the *Canadian Register of Historic Places* (search terms 'education' and 'primary or secondary school'). The latter number does not include institutional buildings such as Collingwood's East Ward/Connaught School at 125 Napier Street, which is deemed



significant by the Town but is not recorded on the national Register (Figure 74). The long period of vacancy has diminished the importance of the Annex to some degree, since there is no longer yearly output of alumni, but it is still regarded as a local landmark for its imposing height and location on a large and open lot.

This prominence is now greater than when originally constructed because it is no longer an annex to a larger structure. With demolition of the Victoria School, the Annex assumed its Maple Street address and perhaps its principal façade then moved to the east; however, for the preceding seventy-four years the most visible side of the building was its north façade, with the south partially obscured by additions and toilet outbuildings. There are several other architectural details that suggest the north façade was intended as the public face of the building. These are:

- The longer and taller axis of the main block, which is oriented north-south and parallel with Fifth Street.
- In early photographs, the east façade is shown as uniformly white-painted or whitewashed, unlike the polychromatic brick used for the other façades.
- The arched corbel table is more prominent on the north and south façades of the main block.
- The more decorative ‘sunburst’ gable design is only used on the north and south transept façades.
- The now demolished gable chimneys were meant to convey symmetry for the north and south façade; these would have disrupted the symmetry of the east façade.
- An additional opening type —the segmental arch with ‘keystone’ design— is found only on the north and south transept façades.

Despite the original intent to have the north face as the principal façade, the east façade has been building’s primary face for the past forty-seven years. Views of this east façade have been selected for preservation in the draft of subdivision approved by the Town.



Figure 74: The rehabilitated and adaptively re-used East Ward/ Connaught School at 125 Napier Street in the Town of Collingwood (April 2016).



6.0 EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST

Golder concurs fully with the *O. Reg. 9/06* evaluation undertaken by Murdoch, and agrees with the recommendation that the severed property be designated under Part IV of the *Ontario Heritage Act*.

6.1 Statement of Cultural Heritage Value

As presented in Murdoch's designation report, the draft statement of cultural heritage value of interest combines the description of historic place and heritage value:

'The former Victoria School Annex building erected in 1894 on Maple Street represents the final stage in the chronology of Collingwood's first common or public school, Centre Ward School, from makeshift classrooms elsewhere in the 1850s, to the sale of the Annex property by the Simcoe County District School Board in 2004. The Maple Street property was in continuous use for educational purposes from 1884 until 2001, resulting in a long standing association of the site with Collingwood's elementary school aged children, parents, staff, and administrators.

The main school building erected on this site in 1884 and demolished about 1969 was designed by Collingwood architect Marshall B. Aylesworth and built by local contractors. It was a well executed, locally rare example of the Romanesque Revival style of architecture being applied to institutional use.

The standalone Annex building, erected at the west, was designed to match the style and form of the main school building. The contract for its construction was awarded to Frank W. Bryan with Collingwood builders John Chamberlain, D. Peterman & Sons, and other local tradespeople. Although this attributes Bryan with the design, the Annex is a near duplicate of the 1884 school. It could be argued that with the removal of the earlier building, the Annex also now represents Aylesworth's work at this site.

Like the 1884 school, the Annex illustrates the 19th century philosophy that a school building should be inspiring and have certain features such as separate entrances for boys and girls and natural lighting. The plan, massing, gable designs, masonry, decorative and polychromatic (red/buff) brickwork accented with black dye, round and segmental door and window openings together form an attractive composition.

There has been a school building on this property since 1884. The 1894 Victoria School Annex is a neighbourhood and town landmark.'

From this description and Golder's field investigations, a refined draft statement of cultural heritage value or interest is proposed in the following sections. Following guidance provided in the *MTCS Ontario Heritage Tool Kit: Designating Heritage Properties (2005)*, the description of property, statement of cultural heritage value or interest, and heritage attributes, are presented separately.

6.1.1 Description of Property

Constructed in 1894, the two-and-a-half-storey brick Victoria School Annex stands on the west boundary of a flat and open urban lot bounded by Fifth, Sixth, and Maple Streets in the Town of Collingwood, Ontario. It was designed in the Romanesque Revival style, with some apparent Eastern Stick influence, by Collingwood architect Francis W. Bryan and built by local company John Chamberlain, D. Peterman & Sons and other craftsmen as an element



of the larger Centre Ward/Victoria School (built 1884, demolished 1969). The Annex then served as a stand-alone educational institution until 2001.

6.1.2 Statement of Cultural Heritage Value or Interest

The heritage value of the Annex is represented in its design and physical character, its history and cultural associations, and its context. Architecturally the Annex mirrors the earlier Central Ward/ Victoria School and continues Collingwood architect Marshall B. Aylesworth's original vision for the site. Like the 1884 Central Ward/ Victoria School and many contemporary educational buildings in Canada, the Annex speaks to late 19th century educational philosophies stressing that school buildings should be grand in scale, modern in form and ornamentation, well lit, and enforce gender separation. The Annex' cruciform plan and two-and-a-half storey massing, and masonry craftsmanship exhibited in the decorative and polychromatic brickwork and arched door and window openings aimed to tangibly reflect the quality of the education provided within the building.

In addition to its historical association with the first stage of Collingwood's common or public education system, the Annex's prominent architecture and continuous use as an educational institution from 1884 until 2001 has resulted in the site being recognized as a landmark and of social significance for several generations of former students, parents, staff, and administrators, and residents of Collingwood.

6.1.3 Heritage Attributes

Golder's evaluation confirms the exterior heritage attributes as presented by Murdoch, with some additions or modifications:

Exterior

- Cruciform plan composed of a main block and transepts, and building's height, massing, and symmetry;
- Medium pitch gable roof with cross-gables, all with grooved and perforated quarter-round brackets;
- Fenestration (window placement, shape [including Diocletian windows], dimension, and sash type);
- Blind windows on the north and south transepts, that have polychromatic segmental arch heads with 'keys' and belt courses;
- Red-orange and buff-cream coloured brick masonry with buff-coloured lime based mortar;
- The use of black pigment on selected bricks for belt courses and edging;
- All decorative brickwork, including arched corbel tables, lesenes, and belt courses;
- All woodwork, including moulding and carved brackets;
- Coursed rubble foundation with brick water table;
- All 'Stick' elements of the gables and cross-gables;
- All original door openings, with separate boys' and girls' entrances;



- Placement in the centre of a large institutional lot on the corner of two intersections.

Interior

- Oxford hot air furnace;
- Large central classrooms with tall ceilings, interior transoms, and multiple, large windows;
- Gender-separated spaces that are maintained throughout the building from the basement to the second level;
- Tall wainscoting with panel moulding found throughout the first and second levels; and,
- Large slate blackboards with carved wood chalk wells.



7.0 IMPACT ASSESSMENT

7.1 Description of Proposed Development

VAD intends to develop the Study Area with new residential housing. At this time, the specific elements include:

- **Model Homes (2 total)**
 - One, two-storey, semi-detached residential structure divided into two units, with 4.3-6.2 metre (m) wide front yard, 2.4 m side yard, and 7.5 m rear yard, placed on a 26.2 m (N/S) x 25.2 m (E/W) lot in the northwest corner of the Study Area.
 - The materials used in this construction includes:
 - 235 lb black asphalt shingles;
 - ‘Vintage Brick, Moulded John Price’ style in Ontario size (8 3/8-inches long x 2 1/2-inches high) and laid in a 4-inch bed depths and 3/8-inch mortar joints. These are Heritage Red Blend in colour (see <http://www.vintagebrick.ca/HistoricOntarioSize>);
 - Hardiplank lap siding in ‘Cobblestone’, and frieze, fascia, conerboards and columns all in prefinished Hardie Trim boards with smooth finish and ‘Arctic White’ in colour.
- **Landscape features**
 - Central driveway to the Model Suites garages;
 - 37.8 x 33.3 m lot in the north-central and northeast section of the divided into a temporary gravel parking surface on the west and a vacant lot on the east;
 - Board fencing on the southwest and south boundary of the temporary gravel parking surface and enclosing the empty lot;
 - Sod for surfaces surrounding the Model Homes and within the empty lot; and,
 - Overhead lighting and a landscaped buffer on the east side of the temporary board fencing.

The proposed site plan indicates that the distance between the Annex and the new Model Homes construction to the north will be approximately 13.4 m.

A site plan and all elevations are provided in Appendix C.

7.2 Potential Impacts

Following criteria provided in the MTCS *Ontario Heritage Tool Kit: Heritage Resources in the Land Use Planning Process*, the proposed development of the Study Area was assessed for six potential direct or indirect impacts to cultural heritage resources identified in the Study Area and those of the adjacent municipally designated property at 402 Maple Street.

Although the MTCS guidance provides the criteria for type of impact, it does not advise on how to determine the magnitude or severity. Likewise, other impact assessment guidelines produced at the municipal and federal levels



lack clear measures to illustrate the extent of each impact criteria. In the absence of a Canadian source of guidance, a selection of criteria introduced in the Republic of Ireland National Roads Authority (now Transport Infrastructure Ireland - TII) *Guidelines for the Assessment of Architectural Heritage Impacts of National Road Schemes* is adopted for this HIA. The TII document outlines four categories of impact measure —quality, significance, duration, and type— of which only the criteria for significance is used here (TII n.d.:33). These are:

- Profound
 - An impact that obliterates the architectural heritage of a structure or feature of national or international [or local and regional] importance. These effects arise where an architectural structure or feature is completely and irreversibly destroyed by the proposed development. Mitigation is unlikely to remove adverse effects.
- Significant
 - An impact that, by its, magnitude, duration or intensity alters the character and/or setting of the architectural heritage. These effects arise where an aspect or aspects of the architectural heritage is/are permanently impacted upon leading to a loss of character and integrity in the architectural structure or feature. Appropriate mitigation is likely to reduce the impact.
- Moderate
 - An impact that results in a change to the architectural heritage which, although noticeable, is not such that alters the integrity of the heritage. The change is likely to be consistent with existing and emerging trends. Impacts are probably reversible and may be of relatively short duration. Appropriate mitigation is very likely to reduce the impact.
- Slight
 - An impact that causes some minor change in the character of architectural heritage of local or regional importance without affecting its integrity or sensitivities. Although noticeable, the effects do not directly impact on the architectural structure or feature. Impacts are reversible and of relatively short duration. Appropriate mitigation will reduce the impact.
- Imperceptible
 - An impact on architectural heritage of local importance that is capable of measurement but without noticeable consequences.

An assessment of the impact of the proposed development on cultural heritage resources identified in, or adjacent to, the Study Area is presented in Table 3.



Table 3: Impact Assessment for the Proposed Development of the Study Area

Criteria	Evaluation
<p>Destruction of any, or part of any, significant heritage attributes, or features.</p>	<p>Study Area Imperceptible impact. Rationale: None of the Study Area's heritage attributes will be destroyed when the Model Suites or associated landscape features are constructed.</p>
	<p>402 Maple Street Imperceptible impact. Rationale: All development is limited to the Study Area.</p>
<p>Alteration that is not sympathetic or is incompatible, with the historic fabric and appearance.</p>	<p>Study Area Imperceptible impact. Rationale: None of the Study Area's heritage attributes will be altered when the Model Suites or associated landscape features are constructed.</p>
	<p>402 Maple Street Imperceptible impact. Rationale: The development is limited to the Study Area</p>
<p>Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden.</p>	<p>Study Area Imperceptible impact Rationale: The two-storey Model Suites are not only lower in elevation than the Annex, they will also be placed to the north of the heritage building. Therefore, it is unlikely that the new construction will cast shadows that alter the Annex' appearance.</p>
	<p>402 Maple Street Imperceptible impact. Rationale: The Model Suites will be erected approximately 125 m north of 402 Maple Street and therefore will not cast shadows that negatively impact the appearance of the municipally designated property.</p>
<p>Isolation of a heritage attribute from its surrounding environment, context or a significant relationship.</p>	<p>Study Area Slight to moderate impact. Rationale: The Annex will no longer be associated with the large and open space that defined the institutional property from 1895 onward, and was further emphasized since 1969. However, the new development will not sever any visual relationships between the Annex and heritage features outside the Study Area.</p>
	<p>402 Maple Street Imperceptible impact. Rationale: The development will not isolate 402 Maple Street from its historical context. The visual relationship between the Annex and 402 Maple will be maintained, but the two buildings are not connected functionally nor historically.</p>



Criteria	Evaluation
<p>Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features.</p>	<p>Study Area Significant impact. Rationale: If Golder’s conclusion that Francis W. Bryan intended the north side of the Annex to be its public façade is correct, the two-storey Model Suites built on Fifth Street will obstruct significant views or vistas of the Annex. However, the draft plan of subdivision has already been approved under the earlier contention that the east façade was the primary face. Under the current development proposal, views of the east façade from Maple Street will be preserved. A prospect of the north façade will also be visible from the corner of Fifth and Maple Streets.</p>
	<p>402 Maple Street Imperceptible impact. Rationale: Since there is no historical, social, or functional relationship between the Annex and the adjacent property at 402 Maple, no significant views or vistas will be obstructed by development in the Study Area. The new development will slightly alter views of the Annex from 402 Maple Street, but these are also not deemed significant, and represent an evolution of the neighbourhood character. See analysis under Section 7.3 ‘Design Assessment’ below.</p>
<p>A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.</p>	<p>Study Area Significant impact. Rationale: The former institutional/ educational function of the Study Area will change to residential land use.</p>
	<p>402 Maple Street Imperceptible impact. Rationale: The residential land use of the adjacent and nearby designated structures will not be affected by the development.</p>

7.3 Design Assessment

Although the Study Area is not yet designated under Part IV of the *Ontario Heritage Act*, nor within a HCD, the Annex has known heritage value (Murdoch 2015) and the Town wishes to conserve its heritage integrity while the property is under development. To ensure that new construction in the Study Area would be compatible with the Annex once it was designated as a municipal heritage property, the Town advised Golder to assess the proposal using the Town’s *HCD Plan* guidelines. An assessment of the proposed development based on these guidelines is presented in



Table 4. It is important to note that, based on a preliminary assessment of the development using the *HCD Plan* guidelines and consultation with Golder, VAD made a considerable number of design modifications to meet the standard for compatibility with the Annex' heritage attributes.



Table 4: Assessment of the Proposed Development in the Study Area based on the Town’s HCD Design Guidelines.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
14.1 General Principles for New Construction	
<p>The design of a new building, or an addition, does not need to replicate historic design model to be compatible with the HCD. Attention to the form, alignment, height, massing, setback, architectural features, colour schemes, and materials can result in a design that maintains the architectural rhythm of the neighbouring buildings and streetscape, and thus the heritage character of the District</p>	<p>The proposed construction employs similar height, setback, colour schemes, and materials to the neighbouring buildings on adjacent streets.</p> <p>The design employs a combination of Queen Anne style brick gables and bays, as well as the sunburst Stick decoration and horizontal siding, but does so in new and contemporary combinations that do not mimic or attempt to replicate a historic design model. This and the gable roofs with cross-gables is compatible with the architecture of the Annex, and 402 Maple Street.</p>
<p>The construction of an addition should be avoided, if possible, and considered only after it is determined that the uses intended for the addition cannot be accommodated in the existing building</p>	<p>Not applicable.</p>
<p>New construction must conform to the established design principles, qualities, and characteristics of the neighbourhood and the streetscape.</p>	<p>Although semi-detached units are not common to the streetscape or neighbourhood, the divided roof line gives the illusion of two detached units. The two storey massing, use of red brick and horizontal siding with cornerboards, Queen Anne style gables, and symmetrical fenestration conforms to the design characteristics of the neighbourhood and streetscape.</p>
<p>If adjacent buildings are not in keeping with the heritage character of the district, principles of scale, materiality, mass, setback, and form should be consistent with the overall streetscape.</p>	<p>Not applicable. The Model Suites are in keeping with the character of the neighbourhood and streetscape.</p>
<p>New building should be designed to allow pedestrian amenities such as wider sidewalks, lack of obstruction to barrier free entry, and shelter at building entries</p>	<p>The new construction has a considerable set back from the sidewalk and there is shelter at the building entries</p>
<p>Mid block entrances and pathways are encouraged.</p>	<p>Not applicable.</p>
14.3 New Construction House Form	
<i>Appropriate Materials – Exterior Materials</i>	
<p>Materials compatible with the original design</p>	<p>The use of red brick mirrors the Annex construction while the horizontal cladding in Hardiplank with corner boards is commonly seen in heritage structures. The combination is compatible and adding the Hardiplank will ensure that the new construction is clearly differentiated from that of the Annex (as recommended in <i>Standards and Guidelines for the Conservation of Historic Places in Canada</i>, Guideline 14, p.132).</p>



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TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
Stone of a type, cut, and bond pattern that can be documented in the District	Not proposed.
Traditional sizes of smooth, red clay, face brick, with buff clay, face brick as accent	The masonry will use 'Vintage' brick in traditional colours, sizes and bonding methods used in Ontario.
Horizontal, wood clapboard, 4" to the weather	Hardiplank replicates the appearance of wood to a far higher degree than vinyl siding or other synthetic materials.
Smooth, painted, wood board and batten siding	Not proposed.
Roughcast plaster when a similar heritage type can be documented in the District (not fabricated stucco wall systems)	Not proposed.
Wood shingle or shake siding, only when appropriate to the context	This is not proposed, nor authentic, for the new construction.
Combinations of materials when a similar heritage example can be documented in the District	Comparable examples were not searched in the immediate neighbourhood but the combination of brick and horizontal siding is often seen on heritage structures.
<i>Appropriate Materials – Exterior Accent Detail</i>	
Cut stone for accents in brick buildings	Not proposed.
Wood shingles, roughcast plaster, terracotta wall tiles, crushed coloured stone, or applied motifs (for example, floral motif) in centre gables and gable ends	Not proposed.
Painted wood porches, verandas, or porticos, including support posts, brackets, bargeboard, stairways, hand supports, and railings	The porch design includes Tuscan Order columns and a closed pediment, both of which are often seen on heritage structures.
Decorated soffits and fascias, including painted wood bargeboard (also known as gingerbread or vergeboard) and brackets, where appropriate to the architectural style and design	These are not appropriate for the Queen Anne and Stick influenced design.
Shutters that are correct in size to the window opening	None proposed.
<i>Appropriate Materials – Roofs</i>	
Slopes and layouts compatible with the original design	The medium gable roof with cross-gables is compatible with the roof layout of the Annex.
Hipped or gable roof with a minimum 6:12 slope	All proposed structures have gable roofs that exceed 6:12 slopes
Cedar, slate, or simulated slate shingles	All proposed structures have asphalt shingle roof covering, as is appropriate for new construction.
Asphalt shingles in different shapes and patterns, in a colour compatible with neighbourhood house colours	All proposed structures have uniform asphalt shingle roof covering, as is appropriate for the design influences.
Standing seam metal roofing suitable for dwellings	Not proposed.
Cupolas and roof monitors	Not proposed.
<i>Appropriate Materials – Doorcase</i>	



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TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
Wood doors and frames, solid or glazed panel construction	All doors will be panelled, and the garage doors will be glazed with separated lights.
Transom windows in clear, coloured, or art glass, or a decorated panel	None proposed
Paired sidelights with solid and glazed panel construction	Paired sidelights and panels are proposed for the principal façade entrances.
Wood or plaster architrave (trim) in a design that can be documented in the District	Not applicable.
Wood casement (“French”) doors for porch or veranda entrances	Not applicable.
Single-bay wood paneled garage doors	The garage doors will be single bay and wood panelled.
<i>Appropriate Materials – Windows</i>	
Materials and designs compatible and in keeping with the original architectural style	The symmetrical fenestration and two-over-two windows with lug sills is compatible with surrounding architecture and the Annex.
Wood frames, true muntin or glazing bars, sash type appropriate to the original style	As proposed all windows have glazing bars and the sash types appropriate to those of adjacent structures in the neighbourhood.
Vertical proportion, usually ranging from 3:5 to 3:7	All proposed windows have a vertical proportion ratio of 3:5
Metal, vinyl, or vinyl or metal clad wood windows could be allowed where the look replicates wood and the selection is appropriate to the context	Window cladding material has not yet been specified but as for the rest of the cladding will use materials that replicate the appearance of wood.
<i>Appropriate Materials – Flashing</i>	
Visible step flashings should be painted the colour of the wall	Step flashing details will match the colour of the walls.
<i>Inappropriate Materials – Exterior Finish</i>	
Concrete block, calcite or concrete brick	Not proposed.
Textured, clinker, or wire cut brick	Not proposed.
Precast concrete panels or cast-in-place concrete	Not proposed.
Pre-fabricated metal or plastic (vinyl) siding	Not proposed.
Stone or ceramic tile facing	Not proposed.
“Rustic” clapboard or “rustic” board and batten siding; wood shake siding on a primary facade	Not proposed.
<i>Inappropriate Materials – Exterior Detail</i>	
Prefinished metal fascias and soffits	Not proposed.
Pre-manufactured shutters, railings, and decorative woodwork or other trims that do not match in quality, texture, colour, dimension, or materials to other examples in the District or that are inappropriate to an approved design	Not proposed.
Unfinished, pressure-treated wood in decks, porches, verandas, stairways, railings, and trim.	Not proposed.



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TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
<i>Inappropriate Materials – Roofs</i>	
Slopes or layouts not suitable to the architectural style	The gable roof with cross-gables construction is compatible with surrounding architectural types and the Annex.
Low sloped or flat roofs	Not proposed.
Non-traditional metal roofing such as pre-finished or corrugated metal	Not proposed.
Modern skylights visible from the street	Not proposed.
<i>Inappropriate Materials – Doors</i>	
‘Stock’ suburban door assemblies	Not proposed.
Flush doors	Not proposed.
Sidelights on one side only	Not proposed.
Metal storm and screen doors; sliding patio doors	Not proposed.
Double-bay, slab, or metal garage doors	Not proposed.
<i>Inappropriate Materials – Windows</i>	
Large dimension window openings that do not meet the heritage standard for window openings and sash types	Not proposed
Curtain wall systems	Not proposed
Metal, plastic, or fibreglass frames	The window frame materials have been specified
Metal, vinyl, or vinyl or metal clad wood windows could be allowed where the look replicates wood and the selection is appropriate to the context and architectural style of the original building	Window cladding material has not yet been specified but will likely use material that replicates the appearance of wood.
Awning, hopper, or sliding openers	Not proposed
“Snap-in” simulated muntin (glazing bars)	Simulated muntins will be used but is predicted to have minimal visual impact in this new construction.
<i>Inappropriate Materials – Flashings</i>	
Pre-finished metal in inappropriate colours	Not proposed
<i>House Form - General Principles</i>	
Buildings should be set back from the street line to create front yards of similar depth to neighbouring buildings, within the limits set in the Town’s zoning bylaw	The setbacks are similar in depth to neighbouring buildings.
Front yards should be unfenced or have heritage quality fencing in an approved material that is within the height requirements specified in the Town Fence Bylaw	The front yards are unfenced.
Where adjacent incompatible uses require a privacy screen, hedge planting is suitable. The height should be in keeping with the requirements of the Town Fence Bylaw	Not proposed.



TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
Unfinished pressure-treated wood and chain link fencing are not appropriate for fencing visible from the street or public lane or pathway	Not proposed.
A tree preservation and landscape plan may be required	Not proposed at this time.
New plantings should be species typical to the District	New plantings are not proposed at this time.
14.4 Accessory or Outbuildings	
New garages should be sited as separate outbuildings and located in a way that minimizes their street presence. An attached garage is acceptable, if it faces a side lot-line.	The garages are integrated into the design, are symmetrically placed, and will have glazed and panelled, single-bay doors.
New garages should adhere to traditional forms, usually with gable roofs, frame or brick construction, and single bay wood doors with wood trim.	The garages will be clad in brick and have glazed and panelled, single-bay doors.
Other outbuildings, such as storage sheds, should be of traditional wood construction.	Not proposed.
Pre-fabricated metal structures should not be used where visible from the street, public lane or pathway, or a significant viewscape within the District.	Not proposed.
15.1 Streetscape Design	
The preservation of existing heritage buildings is the most important way to preserve the heritage character of the streetscapes.	The Annex will be conserved within the development and is 13.4 m distant from the new construction.
Alterations, additions, and new construction must reinforce the heritage character of the setting and/or streetscape by referencing and respecting the surrounding buildings in siting, architectural design, massing, quality, and landscaping.	The new building construction does not detract from the heritage character of the Annex or surrounding setting; it is smaller in scale than the Annex and its design references the historic architecture of the Annex and the neighbourhood.
Streetscape improvements and public works that reinforce and enhance the distinct identity and special quality of the Commercial and House Form Areas are to be encouraged.	The new development represents a streetscape improvement.
15.2 Lanes and Pathways	
Any enhancement of the lanes and pathways should include repairs and improvements to the visible facades that preserve or restore the heritage qualities inherent in the building.	Not proposed.
Where a building does not extend to the lane, a rear addition with an entrance and display area would increase retail floor space. Similar revisions could accommodate a separate lane-facing retail frontage.	Not proposed.
All alterations, additions, and new construction visible from the lanes and pathways must comply with the design guidelines of the HCD Plan.	Not proposed.



TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION / ALTERATION
Lane entrances and uses that make these areas lively and improve their pedestrian environment are encouraged.	Not proposed.
Plantings and heritage quality benches, patios, privacy fencing, and other amenities that improve the pedestrian environment of the lanes and pathways are encouraged.	Not proposed.
Paving, signage, lighting, and other heritage quality townscape elements are to be encouraged.	Not proposed.
16.3 Lighting	
Street and sidewalk lighting can be accomplished with a single system of fixtures mounted at an intermediate height. The design of the luminaire should be similar to the pedestrian lighting on Hurontario Street.	Not proposed.
To further the integration and use of the lanes and pathways, lighting fixtures similar to those on the streets are recommended.	Not proposed.
16.4 Street Furnishings	
Benches, trash receptacles, bollards, tree guards, and tree grates should have a heritage quality without being overly decorative.	Not proposed.
For street furnishings, a cast-frame, flat-slat bench is a simple but traditional design. Benches are also available in weather resistant, unfinished, tropical woods that require minimal maintenance.	Not proposed.
16.5 Plantings	
Trees planted on public land and encouraged on private land, would increase the amenity of the lanes and pathways.	Not proposed.
16.6 Parking	
Attractive developments that integrate parking with street level commercial and residential uses present a design opportunity to increase parking capacity and address the existing streetscape deficit. Heritage inspired designs and streetscape elements should be among the terms of reference for design proposals.	Parking adjacent to the Model Suites is temporary only.

7.4 Results of the Impact and Design Assessment

From this evaluation, the proposed development of the Study Area as currently proposed:

- **Will not** result in significant impacts to the cultural heritage attributes of the Annex nor those of the municipally designated property at 402 Maple Street.



- Although views of the north façade of the Annex will be affected, this impact was not recognized in the approved draft of subdivision; views of the east and south façade of the building will not be negatively impacted.
- The design, massing, and materials of the Model Suites is compatible with the architectural character of the Annex and streetscape, and does not detract focus from the Annex nor the adjacent designated heritage property at 402 Maple Street.
- The Annex will no longer be surrounded by open space and the institutional land use will change, but the new development will serve to rehabilitate the property, increase the level of security and maintenance of the Annex.



8.0 SUMMARY STATEMENT & CONSERVATION RECOMMENDATIONS

This HIA concludes that development of the Study Area with Model Suites and associated landscape features will not adversely impact the heritage attributes of the Annex, nor those of 402 Maple Street. Although the development represents a change in land use, the construction, design, and scale of the Model Suites proposed for the Study Area is compatible with the architecture and streetscape of the surrounding neighbourhood, and continues its predominantly low-density, residential character.

Mitigation measures are therefore not required. However, Golder recommends that VAD, as owners of a historic structure, consider the following immediate and longer-term stewardship actions to conserve the Annex and ensure its long-term sustainability as a valued heritage resource in the Town of Collingwood.

8.1 Recommendations: Immediate Action

As noted in the *Standards and Guidelines for the Conservation of Historic Places in Canada*, a fundamental first step in heritage conservation is to stabilize a resource until any subsequent intervention is undertaken. This may include actions to:

- Ensure window and door openings are secured and boards covering the windows are painted to prevent rot;
- Erect a high fence around the building to limit access to the structure;
- Install a video monitoring system to dissuade vandalism or unlawful entry; and,
- Establish a regular inspection and monitoring protocol.

Additional advice relevant to the care of the Annex while it is vacant can be found in the Historic England guide *Vacant Historic Buildings: An Owner's Guide to Temporary Uses, Maintenance and Mothballing*.

During construction of the Model Suites, measures should be taken to ensure the structural integrity of the Annex is not compromised. Masonry is particularly vulnerable to damage from vibration (Randl 2001), and Golder therefore recommends that:

- A buffer of least 10 m should be maintained around the structure to minimize the potential for vibration damage. This buffer should be enclosed with interlocking construction site protection fencing (or other security fencing as recommended above), and communicated to site supervisors.
- Heavy equipment traffic should not be routed in the vicinity of the Annex and bi-weekly monitoring should be conducted while the Study Area is an active work site to ensure that the Annex is not being effected by vibration.
 - VAD staff or a designate should keep brief inspection reports recording the date, any changes to the building's status, and actions taken.

8.2 Recommendations: Future Action

The actions recommended below can be undertaken over a longer term, and may be carried out concurrently with each other, and with the immediate actions suggested above.

- **Document**, through measured drawings, rectified photography, and written notes, the Annex prior to undertaking any intervention beyond minor stabilization or maintenance;



- **Prepare a heritage conservation plan** that outlines how the heritage attributes of the Annex will be conserved, protected, and enhanced, and the preferred conservation treatment (*preservation, rehabilitation* [or adaptive reuse], or *restoration*) that balances the objectives of heritage conservation with economic and social sustainability (see also Murdoch 2007:24);
- **Stabilize** the heritage attributes of the Annex through prioritized repairs by qualified heritage professionals, and ensure the building is protected and monitored during any construction after the Model Suites are erected;
- **Develop an inspection and monitoring schedule** that specifically addresses the heritage attributes of the Annex;
 - Golder can provide advice on developing this schedule but guidance is also available in published sources such as *Maintenance of Historic Buildings: A Practical Handbook* (2011).
- **Designate the Victoria School Annex** under Part IV of the *Ontario Heritage Act* and request it be added to the *Canadian Register of Historic Places*; and,
- **Commemorate** the site and Annex through interpretive panels or other media that detail the history and heritage value of the Central/Victoria School property and Annex structure, and clearly denote which elements are original and historically authentic.

9.0 CLOSURE

We trust that this report meets your current needs. If you have any questions, or if we may be of further assistance, please contact the undersigned.

GOLDER ASSOCIATES LTD.

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11.0 IMPORTANT INFORMATION AND LIMITATIONS OF THIS REPORT

Golder Associates Ltd. has prepared this report in a manner consistent with the standards and guidelines developed by the Ontario Ministry of Tourism, Culture, and Sport and Town of Collingwood, subject to the time limits and physical constraints applicable to this report. No other warranty, expressed or implied is made.

This report has been prepared for the specific site, design objective, developments and purpose described to Golder Associates Ltd., by the Victoria Annex Development Corporation (the Client). The factual data, interpretations and recommendations pertain to a specific project as described in this report and are not applicable to any other project or site location.

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Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Client in the design of the specific project.



APPENDIX A

**Heritage Designation Report: Former Victoria School Annex
Property, 400 Maple Street, Collingwood, Ontario, 2015**

HERITAGE DESIGNATION REPORT

FORMER VICTORIA SCHOOL ANNEX PROPERTY

***400 MAPLE STREET
COLLINGWOOD, ONTARIO***

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NOVEMBER 2015



SUMMARY

The property at 400 Maple Street in Collingwood contains a brick school building erected in 1894 as an annex to the 1884 Central/Victoria Public School. The 1884 school on the property was demolished about 1969. The Annex was used for educational purposes until 2001, was sold by the Simcoe County District School Board in 2004, and in 2015 was vacant.

Based on the findings of this Heritage Designation Report, it is concluded that the portion of the property that contains the 1894 former school Annex is a suitable candidate for designation under section 29 of the Ontario Heritage Act (municipal designation).

It is recommended that Council not proceed with considering the protection of this property until the current site plan application is resolved, as it includes a severance of the parcel of land that contains the Annex. A new legal description of the Annex property may then be applicable.

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FORMER VICTORIA SCHOOL ANNEX PROPERTY

400 MAPLE STREET, TOWN OF COLLINGWOOD

1.0 REPORT OBJECTIVE AND METHODOLOGY

This Heritage Designation Report is intended to provide the Town of Collingwood (“the Town”) with the information necessary to consider for protection under section 29 of the Ontario Heritage Act (“the Act”) (municipal designation of individual property) the property known municipally as 400 Maple Street.

This property contains the former 1894 Victoria School Annex building (“the Annex”) and vacant lands associated with the 1884 main school building and playground (both removed). It has frontage on Maple, Fifth, and Sixth streets. A 2015 site plan application for residential development proposes to sever the location of the Annex as a separate parcel of land (Figure 2).

The findings of this report are based on a *Heritage Evaluation and Impact Assessment* undertaken in March 2007 by Su Murdoch Historical Consulting on behalf of the Town. A site visit on October 27, 2015, confirmed that there has been no substantive change to the property since 2007.

This report does not include the identification of any archaeological resources or areas of archaeological potential. Only an archaeologist licensed under the Act can undertake that fieldwork, if required.

2.0 SUBJECT PROPERTY

The subject property is a 1.5-acre, rectangular block of Lots 10, 11, 12, north side, Sixth Street, and Lots 10, 11, 12, south side, Fifth Street, Plan 45, Town of Collingwood (Figure 1). Known municipally as 400 Maple Street, it is bounded on the south by Sixth Street, east by Maple Street, north by Fifth Street, and west by single detached dwellings.

The site contains a 2.5 storey, brick building constructed in 1894 and known as the former Central/Victoria School Annex. It was designed as a standalone structure, flanking the west side

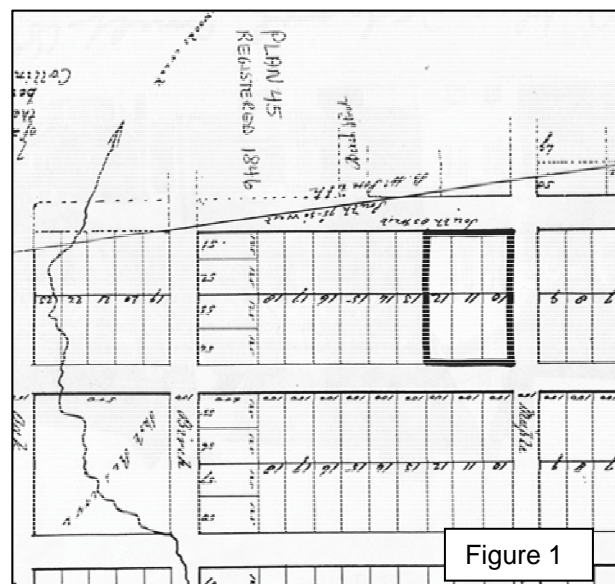


Figure 1

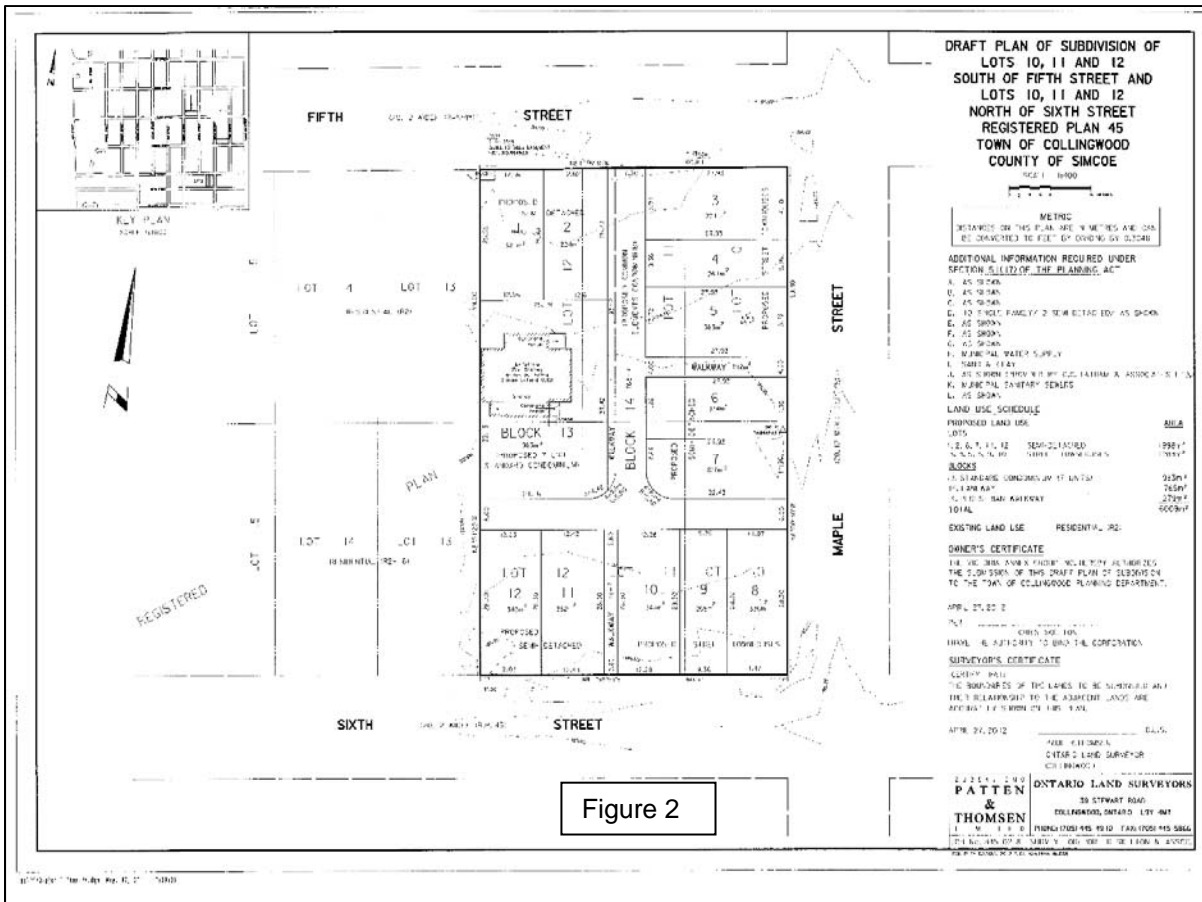


Figure 2

of the 1884 main school building and is at the western extent of the property. The 1884 school was demolished about 1969. The Annex continued in use until October 2001.¹ It is currently vacant.

The site is flat with minimal vegetation but has some mature specimen trees along the perimeter. The neighbourhood is a mix of 19th and 20th century, modest dwellings. The property at 402 Maple Street is designated by bylaw under s.29 of the Act.

3.0 EVALUATION CRITERIA

Ontario Regulation 9/06 sets the minimum standard for criteria to be applied by a municipality when evaluating the cultural heritage value or interest of a property being considered for designation under s.29 of the Act. One or more of the criterion in the categories of Design or Physical Value, Historical or Associative Value, and Contextual Value must be met for the property to be designated. O. Reg. 9/06 was used as the framework for the evaluation of the subject property in this Report.

4.0 HISTORICAL OR ASSOCIATIVE VALUE

O. Reg. 9/06: The property has historical value or associative value because it,

- i. has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community,
- ii. yields, or has the potential to yield, information that contributes to an understanding of a community or culture, or
- iii. demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.

4.1 SCHOOLS IN COLLINGWOOD

Collingwood began when its harbour was selected about 1852 as the terminus of the Ontario, Simcoe and Huron Union Railroad line (later Northern Railway) between Toronto, through Allandale near Barrie, to Georgian Bay. The completion of the railway in 1855 transformed the sparsely populated area into a flourishing community. The growth was such that Collingwood was never a village, but separated from Nottawasaga Township to incorporate as a Town on June 10, 1857, effective January 1, 1858.

From the start, the residents of Collingwood were concerned about education. In June 1857, they successfully petitioned Simcoe County Council to establish a local grammar school. Classes were held in several locations until 1874 when a purpose built brick school building was erected at Hume and Hurontario streets. In 1879, it was enlarged and the classification of the school was elevated to a collegiate institute.

There are several traditions about the founding of common or public school education in Collingwood. Prior to 1858, classes may have been held in the kitchen of a house on Ste. Marie Street East, just north of Huron Street. Other locations for the early classes are described as a frame building built as a hotel at the southwest corner of First and Beech streets. In 1854-1855, the Reverend Edward Sallows wrote to the Missionary Society of the Wesleyan Methodist Church in Canada noting: "The house erected by the missionary [Sallows], being without partitions, is rented for a common school."² There is general agreement that classes were held in a frame house on Pine Street, a few lots south of First Street.³

4.2 CENTRE WARD, CENTRAL, OR VICTORIA SCHOOL

4.2.1 PINE STREET LOCATION

In 1843, Benjamin Walker Smith was appointed the first sheriff of the newly formed Simcoe District. In 1851-1852, he acquired land at the Collingwood harbour and in late 1852 moved from Barrie to Collingwood. He donated the use of half an acre on the east side of Pine Street between Second and Third streets for the site of a frame school building. This was likely in 1858

and the building is considered Collingwood's first purpose built school structure and the founding of Centre Ward, later Central or Victoria School.

On June 6, 1870, the School Board trustees requested plans and specifications for improvements to the Centre Ward schoolhouse. On February 11, 1874, plans to enlarge the school were discussed. On April 6, the tender of William [Hayer] was accepted to erect a two storey, brick addition to the frame building. On September 28, the Board considered the purchase of Lot 24, East Pine Street, adjoining the school grounds on the north.

4.2.2 MAPLE STREET LOCATION

At the June 18, 1883 School Board meeting, it was decided that an addition should be added to the brick portion of the Centre Ward schoolhouse on Pine Street. Eventually, the trustees agreed to make a request to Council for \$10,000 for "new school houses in Centre and East Wards." The decision to erect a new structure, rather than an addition, may have been influenced by a teacher reporting that the ceiling in his Centre Ward classroom was collapsing. A support post was installed.

By January 1884, there still was no response from Council regarding the requested funds. The Board stated "there are 1300 children of school age in Town – while the present school buildings will only legally accommodate 500."

In April 1884, the Board made an Offer to Purchase and in September acquired Lots 10, 11, and 12, south side, Fifth Street, and Lots 10, 11, and 12, north side, Sixth Street, Plan 45. This is the subject property at 400 Maple Street. The parcel was bought from accountant David Russell Dobie and merchant David Melville, both of Owen Sound, and the Merchants Bank. Each lot measured a quarter acre and the purchase price was \$1,100.

Marshall B. Aylesworth

On May 27, 1884, Collingwood architect Marshall B. Aylesworth was awarded the contract based on his plans and specifications for a "school with brick partitions." The contract estimate was \$9,400. Contractor and trades bids were received in July for painting and glazing, excavation and rubblestone work, brick and cut stone, tinwork, plastering, and carpentry. (Aylesworth was also commissioned to build a new building for East Ward School, later Connaught Public School still standing at 125 Napier Street.)

The *Biographical Dictionary of Architects in Canada 1800-1950*, has the following entry:

Marshall Benjamin Aylesworth (1850-1911) was active in many towns in central and northern Ontario where his eclectic and often elaborately decorated churches and institutional buildings were erected. Born in Ontario on 20 April 1850 he was the son of

George Aylesworth of Northumberland County but no information can be found on his early education and training there. In 1878 he was employed as a draughtsman in Toronto, and 1879-80 worked as an architect in that city. He moved to Collingwood, Ont. in late 1880 and advertised his services as an instructor in architectural and mechanical drawing (Daily Messenger [Collingwood], 16 Dec. 1880, 1, advert.). He maintained a practise in Collingwood but the success of his career there was overshadowed by the untimely death of his young wife in May 1883 (obituary for Florence Stone in The Enterprise [Collingwood], 17 May 1883, 3).

In early 1885 he returned to Toronto to open an office on King Street East in 1886 where he remained for the next ten years. During this period he travelled to Europe 'in search of architectural knowledge' (C.A.B., v, Jan 1892, 10) and published an extensive essay on his discoveries there entitled 'A Chapter From My Notebook - Building Methods in Rome' (C.A.B., viii, March 1895, 44-6). He appears to have left Toronto in 1896 but returned to the city in late 1899 and continued to work there until September 1902 when he moved to Fort William. It is here that his most important works in northern Ontario were built, including the Fort William City Hall (1903-04) and the Masonic Temple at Port Arthur (1910). He died at Sarnia, Ont. on 29 August 1911 after suffering a stroke while travelling by steamer from Detroit to Sarnia, and was buried at Warkworth, Northumberland Co., Ont. (biography and list of works in M. Bixby, Industries of Canada - Toronto and Environs, 1886, 190; obituary in Sarnia Observer, 30 Aug. 1911)

Construction of the 2.5 storey, brick building called Central School was nearly complete by October 7, 1884. The following May 5, 1885, the Board asked Council for \$3,000 to finish the project. As no funds arrived by July, the building could not be occupied. That September there was a fire at the "old" Centre Ward School. It was December 1885 before the pupils were moved from the old to new location. Even then there were problems with open ditches and unfinished water drains on the property.

Aylesworth designed an impressive Romanesque Revival style school building (Figures 3 and 4). The massing was symmetrical, with north and south blocks flanking a recessed centre section with a dormer and 25 foot bell tower.⁴ The boys' and girls' entrances were on the north and south. Architecturally, the principal facade was the east, facing Maple Street. The school opened with twelve classrooms.

4.3 THE ANNEX

On April 30, 1894, the Board asked for an "estimate of a four room separate school or four rooms added to the Central School." Soon there was general agreement "to build a separate school house of four rooms, two to be furnished." On June 11, the contract proposal from architect Francis W. Bryan was accepted. He was affiliated with Bryan Manufacturing Company in Collingwood, manufacturers and suppliers of building materials.⁵



Above: Figure 3: Central School shortly after completion in 1885. The (front) east facade is on the right; the south facade is centre left. (Collingwood Museum 007-10-13)

Below: Figure 4: Central School about 1910. The Annex is not visible but was standing at the west (left) end of the main school. (Private Collection)



Frank W. Bryan

According to the *Collingwood Bulletin* newspaper of December 20, 1906:

Frank W. Bryan (Figure 5) was born in Coventry, Worcestershire, England in March 1860 to William Bryan and Elizabeth Taylor. He was one of five sons and three daughters born to this couple and was quite young when his family emigrated from England and settled in Collingwood.

After leaving school, he entered upon a life of building and contracting with his brother William H. Bryan and organized the Bryan Manufacturing Co. which was an important part of the industrial life of Collingwood for close to seventy years. Twice during this time the company suffered heavily from losses due to fire, but not deterred, rebuilt and expanded.

In the early years of the business, they contracted for many of the homes and public buildings in the town; Victoria School, St. Mary's Church, the Town Hall and the Collingwood General and Marine Hospital amongst others. Later the company confined its activities to the lumber business.

He was married to Jeanette McIvor, the daughter of an early family in Collingwood and with her had a son George, who took over as active head of the company upon his retirement and daughter Mrs. Burdette Clark who lived in Montreal.

Mr. Bryan was a public spirited gentleman who took part in any activity that would be of benefit to the town. He was a member for some years of the Town Council and as such was chairman to many important committees. He was also an enthusiastic member of the Board of Trade.

He was a member of All Saint's Anglican Church. In sports, he was a long-time member of the curling club.

Mr. Bryan was acknowledged as a successful industrialist with wide business connections. He was known for his fair and upright dealings, and will be remembered for the place he made for himself and his family in the Town of Collingwood.

The Annex was erected "at the rear of the present Central School" and "level with the north wall of the main building." "Mr. Chamberlain tendered for the brick, stone, and plastering"

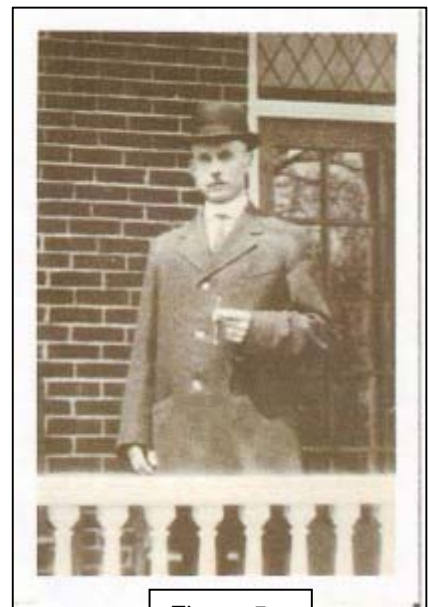


Figure 5

work. On December 4, the Board complained that D. Peterman & Sons was using elm instead of the more expensive pine, so reduced the payment amount. Peterman was a local contractor and builder.

“Mr. Chamberlain” was John Chamberlain. He was born at Birkenhead, near Liverpool, England, in 1849, and arrived in Collingwood about 1876. The W.H. Irwin & Co. 1884-85-86 directory lists Chamberlain as a contractor residing on Pine Street. According to the *Collingwood Bulletin* newspaper of December 20, 1906:

Chamberlain is an Englishman by birth, coming to Canada when only a young man. By trade he is a stonemason, but several years ago began contracting, and has erected some of the finest structures in the town, including the brick and stonework of the large market building.

Chamberlain’s career in local municipal politics is described in *The Collingwood Bulletin Industrial Number* of December 1906:

He has for many years been prominently connected with civic affairs and for some time he represented Ward No. 5 at the Council Board, and held the chairmanship of several of the most important committees.

For four years he was Mayor of the town, holding the office during a very important period of its development and playing a leading part in the negotiations which led to the establishment of the Dry Dock and Shipbuilding Company.

The attendance report of February 5, 1895, is the first to indicate that Central School had fourteen, instead of twelve operating classrooms. This suggests the Annex was occupied by that date.

4.4 IMPROVEMENTS TO THE SCHOOL COMPLEX

Steam Heating

The next major undertaking for Central School (main building and Annex) was the conversion of the heating system from stoves to steam in May 1897. This was done by Keith & Fitzsimmons using plans and specifications prepared by architect W.J. Holland. Other work may have been involved. The *Enterprise Messenger* mentions that Central School was reopened, and then shortly after on September 16, reports that at a recent School Board meeting:

Application was presented from Keith & Fitzsimmons for \$1200, progress on contract, and also a number of accounts in connection with the work. The contract for the heating

by the way has not yet been signed. A legal opinion is to be had as the liability for accounts for extras.

Landscaping

Collingwood's first kindergarten class opened in Central School in 1906.⁶ That year, the School Property Committee made some improvements to the landscaping. The *Collingwood Enterprise* of June 6, 1906, reported:

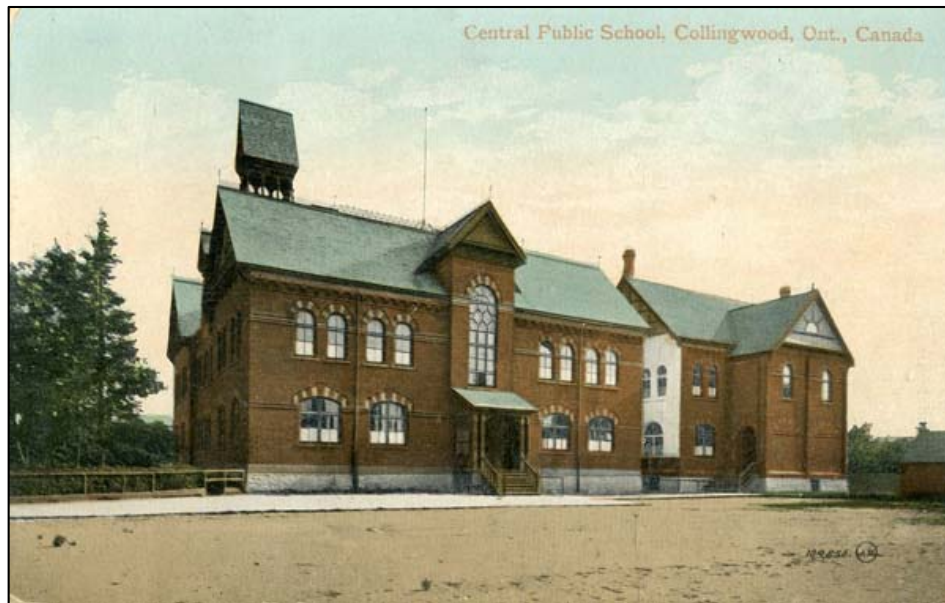
The School Property Committee are putting in a lot of hard work and, so far as we can judge, the work seems good. They have cut down every other tree on the north side of the Central School, the girls have planted poplars and maples along the south side and maples along the east side and have trimmed back the fir trees which cast too much shadow on the east rooms. They have also made good additions to the small garden plots and these are now laid out neatly so that each room has its own little plot from which to learn practical lessons in botany. The Committee are to be congratulated on the energetic performance of their duties.

Toilets and a Basement

On August 19, 1909, the *Enterprise* reported on the need for improvements:

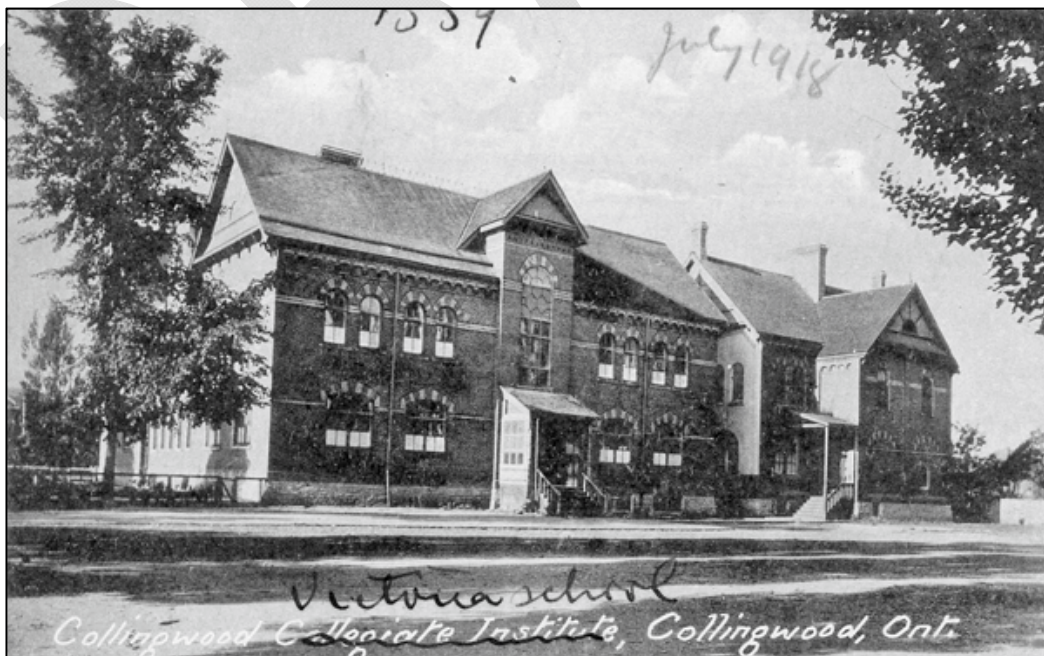
The deputation that visited the Toronto schools last week returned home firmly convinced that the excavation of the basement of the Central School and placing the latrines therein, is the proper scheme to adopt. Architect Bishop of Toronto, a gentleman of wide experience in school construction, showed them every courtesy and strongly condemned outdoor closets as an abomination. They have been abandoned in every public school that had any claim for up-to-date sanitary conveniences.

During this period, Ontario's Minister of Education, the Hon. R.A. Pyne, was reviewing health and sanitation issues in all public schools. To qualify for a provincial grant program, inspections had to be completed under the direction of C.H. Hodgetts, M.D., Chief Health Officer of Ontario. A Provincial Health Inspector was in Collingwood on October 6, 1909. He visited East Ward School, North West School, West Ward School, and Central School:



Above: Figure 6: Central School about 1905 (before change of name in 1911 to Victoria School). Shown are the north facades of the main school on left and Annex on right (Collingwood Museum X969-152-1)

Below: Figure 7: Same view as above, possibly dating July 1918. Note the removal of the tower (removed by 1936) from the main building and addition of another chimney and a shed roof canopy over the entrance to the Annex. (Collingwood Museum X970-870-1)



The 1909 inspection report references Central School:

This school consists of two brick buildings. The older and larger having accommodation for twelve classes was built in 1883, while the Annex, which accommodates four classes, was erected in 1897.

Two visits were made to this school, the first just before the noon recess, and the second in the afternoon between two and three o'clock.

On the occasion of the first visit, I found the room and halls, without exception, stuffy, notwithstanding the fact that the day was bright and sunny and in most of the rooms the windows had been open during the session.

The system of heating of this school was originally by means of stoves and the ventilation system is the same now as at that time in operation. With the change to steam heating no provision had been made to provide a system suited to this changed method, therefore, at present, it is entirely inadequate, and with the method of [damaged section of newspaper] of the room, where in the winter they undergo a drying out process, the air of the room becomes very vitiated, a condition which is very unhealthy for the pupils and teachers.

In respect to the closet [toilet] accommodation, I found them entirely inadequate indeed; it is a matter which calls for immediate attention. The boys' closet is a brick building, about 12x16' outside measurement with a partition in the centre, making two small apartments about 6'x16'. . . .A similar building is provided for the girls. . . .

In my opinion, the school and outbuildings are in a very unsanitary condition, and the remedy lies in the installation of a proper and suitable system of ventilation and the providing of modern conveniences in the basement. This latter work can be done by a deepening of the cellar.

I would also recommend the providing of space for cap and cloak rooms for both teachers and pupils, which rooms should be separate from, but adjacent to the class rooms.

Taking the schools on the whole they are not up to modern requirements, and are not what one would expect to find in a town of the size of Collingwood, and for sanitary reasons the situation should receive the immediate consideration of the authorities.

The Town and School Board responded to this inspection in several ways. Construction of an eight-room school for pupils in the west side of town, King George School, was started in 1911. East Ward School was repaired about 1910.

For Central School, the Board moved forward with plans that were already underway. Local architect John Wilson had prepared drawings in August 1908 for the “Toilet Rooms, Central Public School.” These specified excavating the cellar lower and creating a below grade link between the main school building and the Annex. Included in the plans is a roof cupola, possibly for improving the ventilation and installing stackpipes.⁷

The School Board journal of receipts and disbursements indicate the following contractors were used for the “new building and improvements:”

A. Court, mason, with accounts from April 1910 to February 1911
 D.A. Bell, carpenter, July 1910 to January 1911
 H.G. Wynes, plasterer, July 1910 to February 1911
 John Luckton, plasterer, August 1910
 William Parrott, plumbing and heating, August 1910 to February 1911
 James Godden, painting and glazing, September 1910 to February 1911
 John Wilson, contingency account February 1911

John Wilson was born in Collingwood on August 17, 1863, and went on to become a master builder and noted architect. There is a tradition that he was involved in the construction of the 1884 Central School building.⁸

4.5 CENTRAL BECOMES VICTORIA

In 1911, the Duke of Connaught, son of British monarchs Queen Victoria and Prince Albert, was appointed governor general of Canada. To celebrate his appointment, many Canadian schools adopted the names of British monarchs. Central became Victoria School; East Ward became Connaught; and the newest school was named King George.

4.6 CONTINUING USE

In 1910, the Board of Education was seeking classroom space for manual training. In 1912, two rooms in the Annex were requested. The Board held these classes in the Town library and at Central/Victoria School until a technical school was opened in 1913 on Third Street.⁹

The March 8, 1945 issue of the *Enterprise Bulletin* announced, “Victoria School Annex to be Opened” and stated “That work be proceeded with under John Wilson, architect, to open the annex of Victoria School.” By September, Principal Hugh Davidson had “two rooms now open in the annex.” It is presumed that the classrooms in the Annex had not been required in recent years, due to low student enrollment.

When a new collegiate building was opened in 1954, the former building became Admiral Collingwood School. As it was a senior public school drawing all students in Grades 6, 7, and 8, Victoria School became a junior public school. Although some Victoria School students were relocated in 1967 to the new Cameron Street School, it continued to be used as a junior public school until 1969. The 1884 structure was then demolished.

In 1969, the Association for Retarded Children moved from the first (East Ward) Connaught School building (renamed the R.H. Davidson Memorial School) to the Victoria School Annex. The Annex served as the Collingwood Alternative School until October 2001.¹⁰

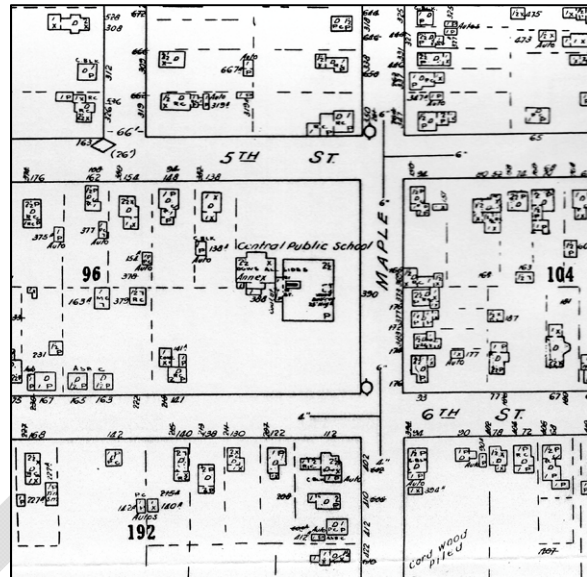


Figure 8: Underwriter's Fire Insurance Plan, 1955. Courtesy of Simcoe County Archives

The Collingwood Public School Board and its 1969 successor, the Simcoe County Board of Education, held continuous ownership of the property until the six lots were sold to a private owner in 2004 and subsequently to the current owner. In 2015, the Annex building was vacant.

5.0 DESIGN OR PHYSICAL VALUE

- O. Reg. 9/06: The property has design value or physical value because it,
- i. is a rare, unique, representative or early example of a style, type, expression, material or construction method,
 - ii. displays a high degree of craftsmanship or artistic merit, or
 - iii. demonstrates a high degree of technical or scientific achievement.

5.1 SCHOOLHOUSE ARCHITECTURE

Ontario's first Chief Superintendent of Education, Egerton Ryerson (appointed 1846), advocated that a schoolhouse should be "neat, elegant and attractive. . . . The impression fixed in the minds of the children would be that school was a place of power, influence and importance."

A handbook of instructions for building schoolhouses evolved into Ontario's standard manual on schoolhouse architecture published in 1876. The lot size was to be an acre, a pleasant location, and the building one that would inspire young minds. The concept of separate entrances and



Figure 9: North façade of Annex, March 15, 2007.



Figure 10: North façade, March 15, 2007. Detail of segmental (lower level) and round (upper) window openings, step-like brick corbelling within the gable, sunburst gable design, wood brackets, brick arcading at the eaves, and use of red/cream/black bricks.



Figure 11: Left: North façade (R), east façade (L), March 15, 2007. **Figure 12:** Right: October 27, 2015. This view from Fifth Street shows the two types of gable designs.



Figure 13: East façade, March 15, 2007. When built in 1894, this façade would only be visible from the west side of the 1884 schoolhouse.



Figure 14: Left: East façade (R), south façade (L), March 15, 2007.



Figure 15: Bottom Left: East façade (R), south façade (L), March 15, 2007. **Figure 16:** Bottom Right: October 27, 2015



Figure 17: South façade, March 15, 2007.



Figure 18: West façade (R), north façade (L), March 15, 2007. The brick dwelling abuts the northwest corner of the property.

play yards for boys and girls began about 1870 and continued into the 1930s.¹¹ Collingwood's 1884 Central School and 1894 Annex are in keeping with these provincial recommendations for schoolhouse design.

5.2 STYLE, PLAN, AND MASSING

The 1884 Central School building had elements of the “modern” Romanesque Revival style of architecture. The 1894 Annex duplicated and continued with the Romanesque style and design elements of the 1884 building.

The Annex is a 2.5 storey structure in a modified cruciform plan with the smaller gabled projections extending north and south. It is a standalone building with all the facades finished with equal workmanship and quality of materials. Its design and structural integrity did not depend on the existence of the 1884 structure. The primary entrance façade faces east, originally a short distance from the west facade of the 1884 building. After 1910, the basements of the two structures were linked below grade.

5.3 ROOF

The roof is a medium pitched, cross gable. There are two gable designs, both with lower hips or horizontal sections that have a slight bellcast or tent curve. The fascia boards are flat with beading and there appears to be moulded trim along the soffit of each gable. An early photograph indicates there were finials (ornament) at the apex of (possibly) each gable.

The north and south (smaller) gables have a sunburst motif composed of wood strapping separating what appears from a distance to be a granular plaster material (or textured board). This is a modified version of the gable design on the 1884 structure.

The main east and west gables have a geometric block pattern formed by strapping and the granular material (or textured board). There is evidence of what may be two openings within each gable, possibly for ventilation, but now blocked. At the centre of each gable is a section of brick chimney. There is no known photographic evidence indicating that this gable design was on the 1884 structure.

The four gables are an attractive element of the Annex, especially when both design types can be viewed together as a composition.

The two end chimneystacks have been removed from the roof. The existing chimneystack at the centre is not original but is visible in a photograph possibly dating 1918 (Figure 7).

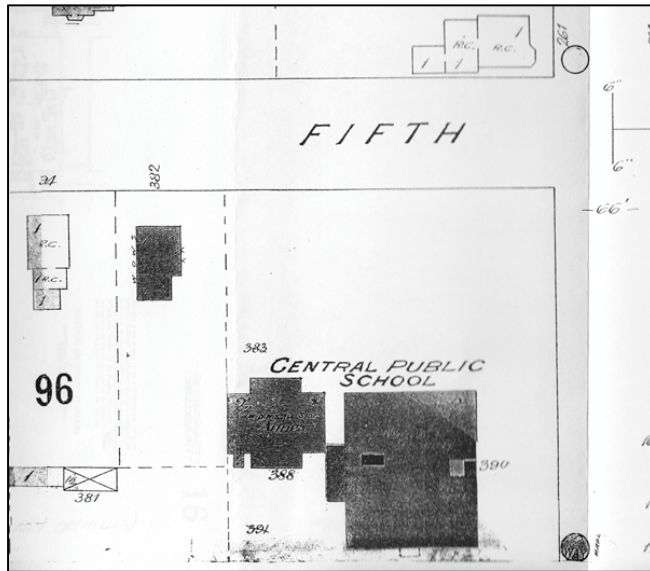


Figure 19: Fire insurance Plan 1904 updated to 1917. Courtesy of Collingwood Museum

A 1904/updated to 1917 insurance plan (Figure ??) identifies the roof of the 1884 structure as shingle on board and the Annex as composite (now asphalt shingle).

5.4 MASONRY

This is a solid masonry building constructed with red-orange colour bricks laid in common bond. Buff-cream colour bricks are used to create horizontal bands, alternating (red/buff) surrounds at each door and window opening, and portions of the arcading at the eaves. The popular period technique of applying black pigment to bricks for use as bands and edging is also evident. The mortar is a buff coloured lime-based mix.

Flat, brick pilasters are used to divide the wall massing into vertical sections. Each pilaster is terminated at the eaves with carved wood brackets. The main walls have brick arcading at the eaves (the upper edges are now partially obscured by eavestroughs). Each gable wall has brick corbelling rising in steps to the gable. All of the masonry is patterned after the 1884 structure.

The foundation is rubblestone. The cellar was excavated in 1910 to create a basement.

5.5 ENTRYWAYS

The east facade of the north-south block of the Annex has one entrance on the north half and one on the south half (boys and girls). The door openings are a half round arch with transoms (upper sections) that were likely glazed, now boarded. Double width doors are recessed within the arch, making it unnecessary to have a portico (porch).

The 1884 building had open porticos at the entrances; each with a shed roof supported by turned posts and carved brackets. The skeletal, shed roof porticos now on the Annex were a later practical addition. The roof of the north entrance portico slopes north to match the north portico of the 1884 building. The south portico roof of the Annex slopes east. With the removal of the 1884 structure, the two Annex portico rooflines now appear mismatched.

The doorways are accessed by stairways. The metal handrails are replacements for the original wood handrail and supports. There is what appears to be a basement entrance at the southwest corner of the structure.

5.6 WINDOW OPENINGS

Most of the window openings are the round arch type; some are segmental in shape. Both shapes are typical of Romanesque Revival styling. There are paired and single openings of varying width. The upper section of each opening is decorated with alternating red/buff coloured brick voussoirs with brick keystones. Black pigmented brick is used to edge and visually link the openings. The sills are the extended (lugsill) type in stone (or possibly concrete).

The original windows were likely double hung, flat, 2x2 pane, wood sashes, with shaped glazed transoms. The frames appear to be wood. Some openings have been bricked (possibly at any early date) and some were boarded recently. It is not known to what extent the original sashes survive.

The basement window openings are flat.

The overall fenestration (window placement and type) is symmetrical and important to the building design.

5.7 OTHER FEATURES

Other transient features, such as the metal light fixture mounted on the building, and any landscape features should be surveyed.

5.8 INTERIOR

An inspection of the interior of the Annex was not possible. It is recommended that a survey of the interior be conducted to identify any significant school related artifacts that may be suitable for incorporating into an adaptive reuse project for the building or for use in an historical display.

6.0 CONTEXTUAL VALUE

- O. Reg. 9/06: The property has contextual value because it,
- i. is important in defining, maintaining or supporting the character of an area,
 - ii. is physically, functionally, visually or historically linked to its surroundings, or
 - iii. is a landmark.

There has been a school building on this site since 1884. Although as a standalone institution building in a residential area it does not define, maintain, or support the character of the area, the 1894 Victoria School Annex building is a neighbourhood and town landmark.

7.0 CONCLUSION AND RECOMMENDATIONS

7.1 RECOMMENDATIONS

Based on the findings of this Heritage Designation Report, it is recommended that Collingwood Council consider this property a suitable candidate for designation under s.29 of the Act.

Due to the pending site plan application which proposes to sever that part of the acreage that contains the 1894 former Victoria School Annex building, it is advisable to delay issuing the Notice of Intention to Designate until there is confirmation of any change in the legal description of the severed parcel. Otherwise, the entire acreage will be protected under the Act.

It is also recommended that a survey of the exterior and interior of the Annex be conducted to identify any significant school related artifacts that may be suitable for incorporating into an adaptive reuse of the Annex or elsewhere in an historical display. This includes such vintage items as lighting fixtures, school bells, chalkboards, etc.

7.2 DRAFT STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The former Victoria School Annex building erected in 1894 on Maple Street represents the final stage in the chronology of Collingwood's first common or public school, Centre Ward School, from makeshift classrooms elsewhere in the 1850s, to the sale of the Annex property by the Simcoe County District School Board in 2004. The Maple Street property was in continuous use for educational purposes from 1884 until 2001, resulting in a long standing association of the site with Collingwood's elementary school aged children, parents, staff, and administrators.

The main school building erected on this site in 1884 and demolished about 1969 was designed by Collingwood architect Marshall B. Aylesworth and built by local contractors. It was a well executed, locally rare example of the Romanesque Revival style of architecture being applied to institutional use.

The standalone Annex building, erected at the west, was designed to match the style and form of the main school building. The contract for its construction was awarded to Frank W. Bryan with Collingwood builders John Chamberlain, D. Peterman & Sons, and other local tradespeople. Although this attributes Bryan with the design, the Annex is a near duplicate of the 1884 school. It could be argued that with the removal of the earlier building, the Annex also now represents Aylesworth's work at this site.

Like the 1884 school, the Annex illustrates the 19th century philosophy that a school building should be inspiring and have certain features such as separate entrances for boys and girls and natural lighting. The plan, massing, gable designs, masonry, decorative and polychromatic (red/buff) brickwork accented with black dye, round and segmental door and window openings together form an attractive composition.

There has been a school building on this property since 1884. The 1894 Victoria School Annex is a neighbourhood and town landmark.

DESCRIPTION OF HERITAGE ATTRIBUTES

The only heritage attribute of the property is the 1894 Romanesque Revival style school Annex building, elements of which include:

Exterior Only

- Cruciform plan, height, massing, and symmetry
- Cross gable, medium pitch roof type
- Fenestration (window placement, shape, dimension, and sash type)
- Red-orange and buff-cream coloured brick masonry with buff coloured lime based mortar
- The use of black pigment on selected bricks as banding and edging
- All decorative brickwork, including corbelling, arcading, pilasters, and bands
- All woodwork, including moulding and carved brackets
- Rubblestone foundation
- All elements of the gables
- All original door openings, with separate boys' and girls' entrances

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Abstract of Title and related instruments for subject property. Simcoe County Land Registry Office, Barrie

ENDNOTES

¹ Shelley Wells & Associates. "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement, March 2006," p. 5. Copy provided by Town of Collingwood Planning Services.

² Barbara Arp, ed. *Reflections, Collingwood An Historical Anthology*, p. 258.

³ This is said to have later been used as a residence and burned in 1898.

⁴ The bell from the school on Pine Street was moved to new location. On April 1, 1889, the Board passed a motion to move the bell to East Ward School and buy a new bell for Central. One of these bells is now at the Collingwood museum.

⁵ Henry Vernon & Son, publishers. *Vernon's Simcoe County Directory Including Complete Town Directories of Barrie, Collingwood, Midland and Orillia for the Year 1923*.

⁶ Arp, p. 258.

⁷ The drawings for these renovations are included in the *Heritage Evaluation and Impact Assessment for the Former Victoria School Annex Property, March 2007*.

⁸ Isabel Griffin. "Events in Collingwood's History No. 41: The legacy of John Wilson, Collingwood's Master Builder." *The Enterprise Bulletin*, March 19, 1997. Copy provided by Simcoe County Archives. A large collection of architectural drawings by Wilson is held by the Simcoe County Archives.

⁹ Arp, p. 262

¹⁰ Wells, p. 5.

DRAFT



APPENDIX B

**Heritage Evaluation and Impact Assessment for the Former
Victoria School Annex Property, 400 Maple Street, Collingwood,
Ontario, 2007**

**HERITAGE EVALUATION AND
IMPACT ASSESSMENT**

**FOR THE FORMER
VICTORIA SCHOOL ANNEX PROPERTY**

**400 MAPLE STREET
COLLINGWOOD, ONTARIO**

SU MURDOCH HISTORICAL CONSULTING

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MARCH 2007



EXECUTIVE SUMMARY

The subject property at 400 Maple Street in Collingwood contains a brick school building erected in 1894 as an annex to the 1884 Central/Victoria Public School. The 1884 school was demolished about 1969. The annex was used for educational purposes until 2001, was sold by the Simcoe County District School Board in 2004, and in 2007 was vacant.

The current proposal is for residential development of the site, which tentatively incorporates the former annex. No specifications for the alterations proposed for the annex were provided for review, except that the interior is to be "gutted" and the exterior "restored" as part of its conversion to a 4-unit condominium.

Based on provincial Regulation 9/06 "criteria for determining cultural heritage value or interest," it is concluded that the portion of the property that contains the 1894 former school annex is a candidate for designation under section 29 of the Ontario Heritage Act (municipal designation). The final decision rests with Council.

To complete the heritage impact assessment section of this report, it was necessary to assume that Council will be implementing a long-term heritage conservation strategy for the property, such as designation and/or a conservation plan. In this context, the proposed development was assessed for any potential negative impacts it may have on the annex building.

With regard to the proposed site plan, of major concern is the proximity/joining of the new 3-unit condominium called the "coach house" to the annex, as well as its massing and design.

Adjustments to the site plan that would improve the views of the annex as a neighbourhood landmark and focal point of the development are outlined. These include, widening and/or shifting the pedestrian walkway, positioning the semi-detached unit to maximize the view of the annex from Fifth Street, and limiting the height of new construction and landscaping.

It is advised that the architectural designs for new construction should enhance, not compete, with the historic.

It is recommended that a conservation plan for any work proposed for the annex be developed by a qualified heritage building specialist using accepted standards and guidelines for the conservation of heritage properties.

Overall, there is considerable merit in incorporating the annex into this development and the approach taken by the owner in March 2006. The implications for the heritage integrity of the annex will depend on the level of protection provided it by Council and the cooperation of the owner.

Su Murdoch
March 2007

HERITAGE EVALUATION AND IMPACT ASSESSMENT

**FORMER VICTORIA SCHOOL ANNEX PROPERTY
400 MAPLE STREET, TOWN OF COLLINGWOOD**

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HERITAGE EVALUATION AND IMPACT ASSESSMENT

FORMER VICTORIA SCHOOL ANNEX PROPERTY 400 MAPLE STREET, TOWN OF COLLINGWOOD

PREAMBLE

1.0 BACKGROUND

For over a year, there has been discussion between Town of Collingwood Planning Services, Collingwood Heritage Committee, and the current owner regarding the redevelopment of the former Victoria School annex property at 400 Maple Street. The document, "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement" was prepared in March 2006 by Shelley Wells & Associates, on behalf of the owner, and submitted to Planning Services. This document clearly indicates the intention of the owner was to retain the former school annex building within the proposed residential development of the site.

On January 24, 2007, the property owner applied for a demolition permit for the annex building.

On February 26, 2007, Council initiated a motion to consider designation of the property under section 29 (municipal designation of individual property) of the Ontario Heritage Act, R.S.O., 1990, c.O.18, as amended ("OHA"). Following this Council meeting, Collingwood Heritage Committee passed a motion requesting Council to issue the notice of intention to designate. The Committee also met with the property owner.

On March 12, 2007, the owner withdrew the application for a demolition permit and Council's motion to issue the notice of intention to designate was held.

Council, Planning Services, and the Collingwood Heritage Committee requested that a report be prepared to further evaluate any cultural heritage value or interest that may be held by the property, and to assess the impact the proposed development may have on that value or interest. This Heritage Evaluation and Impact Assessment is that report.

The property is outside the boundary of the Downtown Collingwood Heritage Conservation District and not subject to the district guidelines.

2.0 REPORT OBJECTIVES

This first objective of this Heritage Evaluation and Impact Assessment is to determine whether the subject property has sufficient cultural heritage value or interest for

designation under section 29, OHA, as prescribed by the evaluation criteria of OHA Regulation 9/06. (See appendix for copy of Regulation 9/06.)

If found to hold sufficient cultural heritage value or interest, the second objective is to assess, and suggest a conservation strategy to minimize any negative impact to the heritage attributes (features) of the property that may result from the proposed development.

The findings and recommendations of this report are based on preliminary documentary research, a land registry search, site viewing from the street only (March 15, 2007), a review of the March 2006 document "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement" by Shelley Wells & Associates, and discussions with Planning Services and the Collingwood Heritage Committee.

This report does not include the identification of any archaeological resources or areas of archaeological potential (including the grounds associated with a historic structure that may contain artifacts that yield information about the site). The process for archaeological assessment is set out in provincial standards and guidelines under the Planning Act and OHA. Only an archaeologist licensed under the OHA can undertake this fieldwork.

3.0 SUBJECT PROPERTY

The subject property is a 1.5-acre, rectangular block of lots 10, 11,12, north side, Sixth Street, and lots 10, 11, 12, south side, Fifth Street, Plan 45, Town of Collingwood. Known municipally as 400 Maple Street, it is bounded on the south by Sixth Street, east by Maple Street, north by Fifth Street, and west by single detached dwellings.

The site contains a 2½ storey, brick building constructed in 1894 and known as the former Central/Victoria School annex. It was designed as a standalone structure, flanking the west side of the 1884 Central/Victoria School building and is at the western extent of the property. The 1884 school building was demolished about 1969. The annex continued in use until October 2001.¹ It is currently vacant.

The site is flat with minimal vegetation but has mature specimen trees along the perimeter. The neighbourhood is a mix of nineteenth and twentieth century, modest dwellings.

4.0 HERITAGE DESIGNATION

4.1 LEGISLATION

The Ontario Heritage Act enables a municipality to adopt Official Plan policies and practices to identify, list, and designate or otherwise conserve cultural heritage properties within its jurisdiction (buildings, features, cultural heritage landscapes, heritage conservation districts, archaeological resources). The Provincial Policy Statement of the Planning Act, section 2.6.1 states: "Significant built heritage resources

and significant cultural heritage landscapes shall be conserved.”

The Official Plan for the Town of Collingwood contains cultural heritage policies that comply with the intent of the OHA and the Provincial Policy Statement. Similarly, the County of Simcoe Official Plan has cultural heritage resource policies.

Designation under section 29, OHA, takes the form of a municipal bylaw governing the real property (i.e., the land). The designation bylaw must include “a statement of cultural heritage value or interest” and a description of the “heritage attributes” (features) of the property that support that cultural heritage value or interest.

In March 2007, there were twenty-five designated properties in Collingwood, some of which are within the Downtown Heritage Conservation District. None are adjacent to the subject property at 400 Maple Street.

The OHA requires that the municipal heritage committee be consulted on matters relating to designation. In March 2007, the Collingwood Heritage Committee endorsed the evaluation of the Central/Victoria School annex property.

4.2 EVALUATION CRITERIA

OHA Regulation 9/06 sets the minimum standard for criteria to be used by municipalities when evaluating the cultural heritage value or interest of a property being considered for designation under section 29, OHA. One or more of the criterion in the categories of Historical or Associative Value, Design or Physical Value, and Contextual Value must be met for the property to be designated. (See appendix for a copy of Regulation 9/06.)

According to Town staff, as of March 2007, the Town does not have local evaluation criteria for determining the cultural heritage value or interest of a property in its jurisdiction. Regulation 9/06, therefore, applies by default.

4.3 OBJECTION TO DESIGNATION

Under section 29, once a property is found to hold sufficient cultural heritage value or interest, Council can issue a notice of intention to designate. The OHA enables municipal councils to designate property without the owner’s permission.

The owner or anyone else can object in writing within thirty days of publication of the notice. The municipal clerk must refer the objection to the Conservation Review Board for a hearing before the designation can proceed. The decision of Council, not the Review Board, is final.

4.4 ALTERING A DESIGNATED PROPERTY

Designation does not halt changes to the property. It is intended to ensure that any proposed development or site alteration is in keeping with the spirit and intent of the

statement of cultural heritage value or interest of the property, and that negative impacts on the heritage attributes are minimized.

Section 33 of the OHA requires an owner of a designated property, who wants to make alterations that involve its heritage attributes, to obtain written consent from Council. Council can approve the permit application, refuse, or add terms and conditions to its consent. The owner can object and the matter is referred to the Conservation Review Board. The decision of Council, not the Review Board, is final.

4.5 DEMOLISHING OR REMOVING A STRUCTURE

Council must consider any application for a permit to demolish or remove a building or structure on a designated property. The application can be approved, refused, or approved with terms and conditions. The owner can appeal to the Ontario Municipal Board, which makes the final decision.

PART I

EVALUATION OF CULTURAL HERITAGE VALUE OR INTEREST

5.0 HISTORICAL OR ASSOCIATIVE VALUE

OHA Regulation 9/06 requires that one or more of the criterion in the categories of Historical or Associative Value, Design or Physical Value, and Contextual Value must be met for the property to be designated under section 29, OHA.

The following information about the evolution of public education in Collingwood is subject to further research to verify and supplement the findings.

5.1 GRAMMAR SCHOOL AND COLLEGIATE INSTITUTE

Collingwood began when the harbour was selected about 1852 as the terminus of the Ontario, Simcoe and Huron Union Railroad (later Northern Railway) line between Toronto, through Allandale near Barrie, to Georgian Bay. The completion of the railway in 1855 transformed the sparsely populated harbour area into a flourishing community. The growth was such that Collingwood was never a village, but separated from Nottawasaga Township to incorporate as a town on June 10, 1857, effective January 1, 1858.

Also in June 1857, residents of Collingwood petitioned Simcoe County Council to establish a grammar school. The County bylaw to this effect was passed on June 20. The first principal was the Reverend John Langtry. In 1859, the Collingwood Board of (Public) School Trustees provided him desks or benches for use in the grammar school.² Classes were held in several locations until 1874 when a purpose-built brick school building was erected at Hume and Hurontario streets. In 1879, it was enlarged and the

classification of the school was elevated to a collegiate institute, the first in the county. It was administered by a High School Board of Trustees.

In December 1923, the Hume Street building burned and a replacement was opened in 1926. On April 30, 1954, a new collegiate building was officially opened at the southwest corner of Hurontario and Cameron streets. The 1926 building became a Senior Public School drawing Grade 6, 7, and 8 students from across the town. Known as Admiral Collingwood Senior Public School, the building was closed in 2003 when a new school building opened on Dey Street. The Admiral Collingwood School building was later demolished.

The site of the first grammar school is commemorated by a plaque that reads: "Presented to mark the Centennial of Collingwood Collegiate Institute. This building was the site of the original school in 1873-1874."

5.2 ELEMENTARY SCHOOLS

There are several traditions about the founding of common or public school education in Collingwood. Prior to 1858, classes may have been held in the kitchen of a house on Ste. Marie Street East, just north of Huron Street. Other locations for the early classes are described as a frame building built as a hotel at the southwest corner of First and Beech streets. In 1854-1855, the Reverend Edward Sallows wrote to the Missionary Society of the Wesleyan Methodist Church in Canada noting: "The house erected by the missionary [Sallows], being without partitions, is rented for a common school."³ There is general agreement that classes were held in a frame house on Pine Street, a few lots south of First Street.⁴

In 1843, Benjamin Walker Smith was appointed the first sheriff of the newly formed Simcoe District. In 1851-1852, he acquired land at the Collingwood harbour and in late 1852 moved from Barrie to Collingwood. He donated the use of a half-acre lot on the east side of Pine Street between Second and Third streets for the site of a frame school building. This was likely in 1858 and the building is considered Collingwood's first purpose-built school structure and the founding of Centre Ward, later Central or Victoria School.

Like most nineteenth century municipalities, as the population increased, the area was subdivided into geographic districts or wards. In Collingwood, elementary schools were assigned names of Centre Ward, West Ward, East Ward, and North-West Ward.

The January 24, 1859 meeting of the Collingwood Board of School Trustees was held in the "Senior School House." At the meeting, the trustees agreed that the Reverend Mr. Sallows was to be paid rent and damages for the "old schoolhouse."⁵

By January 31, 1860, there were three school committees: Senior School No. 1, East Ward, and Junior School No. 1. The March 14 minutes that year mention School No. 2 was in need of window repair. Evidently, the growth of education was rapid in Collingwood's founding years. Trustees were continuously making plans for improvements and new construction.

East Ward School

East Ward was the first "branch" school in Collingwood and may have been a frame building at the easterly end of Ontario Street. It was noted at the January 24, 1859 School Board meeting that desks and seats had been made for the East Ward schoolhouse. On July 7, 1859, the Board chairman was asked to provide a statement "of all moneys expended in the construction of the East Ward school-house." The total was \$497.20.

On June 6, 1870, the Board requested plans and specifications for an addition. At the June 18, 1883 meeting, it was decided that a new school building was needed. Lots 3, 4, and 5, East Napier Street were acquired in August. On July 8, 1884, local architect Marshall B. Aylsworth was commissioned to design and supervise the construction of the new school, once the old school property was sold and a deed secured for the new lots. (Aylsworth was also assigned the construction of a new school for Centre Ward on Maple Street (subject property) and there are similarities in the two designs.) The tenders for contractors and trades suggest the East Ward schoolhouse was brick. About October 8, when the new school was nearly complete, the old school was lost to fire.

The tradition is that the school building was enlarged in 1902 to four rooms. In December 1911, the name was changed from East Ward to Connaught Public School. The building was used until 1961 when students moved to a new facility on Peel Street. The earlier building was made available to the Association for Retarded Children and renamed R.H. Davidson Memorial School. This building survives at 125 Napier Street and in 2007 was used as a fitness centre.

West Ward School

There is a tradition that classes in the West Ward were conducted in a log house at Oak and Fourth streets and then in a two-room brick building at Cedar and Fourth. The June 6, 1870 School Board minutes reference only two schools in existence, East Ward and Centre Ward. On April 10, 1872, the Board considered the need for a "new school building in West Ward." On May 6, it was debated whether to buy one or two school sites for one or two schools in the ward.

On June 28, 1872, the Board presented an offer to purchase lots 41 and 42 East Cedar Street. The following January 14, plans and specifications were requested for a one-storey, 30'x40', brick school building. On May 5, the tender of Messrs. Hamilton and Mathieson was accepted for building the West Ward School by August.

A 1909 inspection report for the school by C.H. Hodgetts, M.D. describes it as originally intended for a one-room school built "some fifty years ago." The Board of Health bought the building in 1913 to use as an isolation hospital. (Further research is required to determine its current status.)

North West Ward School

On November 1, 1881, the trustees received a petition requesting more school accommodation in West Ward. At the April 1, 1890 meeting, five lots on Elm and two lots

on Cedar Street were considered. On July 8, it was agreed to ask for plans for a two-room schoolhouse in "West Ward" (North-West Ward School). The motion was amended to add an additional storey.

On July 29, 1890, plans were accepted from local designer and builder Fred T. Hodgson.⁶ Based on the tradesmen required, this seems to be a brick school. At the same meeting, Hodgson was also authorized to build a one room, frame schoolhouse for sixty pupils. The overall project may have been to upgrade the old school and build a new school building. At the February 2, 1891 Board meeting the first report of attendance at "North Ward" School was provided.

An inspection report for the school in 1909 by C.H. Hodgetts, M.D. describes it as "a one-roomed wooden building of barn-like structure and appearance, the wood rotting in places." He states the "building would be condemned and pulled down, for it is not worth being used as a barn." It was used for classes until about 1912 and then became a cider mill operated by the Vancise family and in 1937 the Dougherty garage. In 1979, the building was moved to By-Gone Days Pioneer Farm on Sixth Street.⁷ The fate of the 1890 brick building designed by Hodgson, if erected, requires further research.

St. Mary's Separate School

The first separate school building was erected in 1907 at the northwest corner of St. Paul and Ontario streets. The students moved to new premises in 1970 and the former building was demolished in 1974.

King George School

King George School opened in 1912 in a two-storey building on the south side of Second Street at Walnut Street. The Victoria School annex may also have served as an annex for King George School.⁸ In 1971, King George students were moved to a new facility, Mountain View School on Spruce Street.

Cameron Street School

A school building was erected in 1967 on Cameron Street to serve south end elementary school aged children. It also accommodated the higher grades of Victoria School.

5.3 CENTRE WARD, CENTRAL OR VICTORIA SCHOOL

The vacant building standing at 400 Maple Street (subject property) was erected in 1894 as an annex to the 1884 Central / Victoria School.

Pine Street Location

Collingwood's first purpose-built school building is believed to have been on the east side of Pine Street between Second and Third streets. Sheriff Benjamin W. Smith donated the use of the lot about 1858. This frame structure was called Centre Ward School and may, in part, be standing in 2007 on School House Lane.

On June 6, 1870, the School Board trustees requested plans and specifications for improvements to the Centre Ward schoolhouse. On February 11, 1874, plans to enlarge the school were discussed. On April 6, the tender of William [Hayer] was accepted to erect a two-storey, brick addition to the frame building. On September 28, the Board considered the purchase of Lot 24, East Pine Street, adjoining the school grounds on the north. The brick addition is standing in 2007 on School House Lane.

Maple Street Location

At the June 18, 1883 Board meeting, it was first decided that an addition should be added to the brick portion of the Centre Ward school. Eventually the trustees agreed to make a request to Council for \$10,000 for "new school houses in Centre and East Wards." The decision to erect a new structure, rather than an addition, may have been influenced by a teacher reporting that the ceiling in his Centre Ward classroom was collapsing. A support post was installed.

By January 1884, there still was no response from Council regarding the requested funds. The Board stated "there are 1300 children of school age in Town – while the present school buildings will only legally accommodate 500."

At the April 1, 1884 meeting, the trustees agreed to an offer to purchase lots 10, 11, and 12, south side, Fifth Street, and lots 10, 11, and 12, north side, Sixth Street, Plan 45 (subject property). The Merchants Bank of Canada tried unsuccessfully to pressure the Board into buying all fifteen lots within the block, which were likely vacant at that date.

On May 27, Collingwood architect Marshall B. Aylsworth was awarded the contract based on his plans and specifications for a "school with brick partitions." The contract estimate was \$9,400. Contractor and trades bids were received in July for painting and glazing, excavation and rubblestone work, brick and cut stone, tinwork, plastering, and carpentry. Aylsworth was also commissioned to build a new building for East Ward School.

The start of work was delayed until the old Centre Ward school property was sold. The July 24, 1884 minutes explain that the late sheriff, Benjamin W. Smith, donated the use of the lot. His widow was willing to sign over the ownership but as her circumstances were considerably "for the worse, since the property had been given," she felt "some compensation was due her."

In September 1884, the Board acquired the six lots between Sixth and Fifth streets. The parcel was bought from accountant David Russell Dobie and merchant David Melville, both of Owen Sound, and the Merchants Bank. Each lot measured a quarter acre and the purchase price was \$1,100.

Construction of the 2½ storey, brick building called Central School was nearly complete by October 7, 1884. The following May 5, the Board asked Council for \$3,000 to finish the project. As no funds arrived by July, the building could not be occupied. That September there was a fire at the "old" Centre Ward School. It was December 1885 before the pupils were moved from the old to new location. Even then there were problems with open ditches and unfinished water drains on the property.

Aylsworth designed an impressive Romanesque Revival style school building. The massing was symmetrical, with north and south blocks flanking a recessed centre section with a dormer and 25' bell tower.⁹ The boys' and girls' entrances were on the north and south. Architecturally, the principal façade was the east, facing Maple Street. The school opened with twelve classrooms. (See appendix for historic images.)

The Annex

On April 30, 1894, the Board asked for an "estimate of a four room separate school or four rooms added to the Central School." Soon there was general agreement "to build a separate school house of four rooms, two to be furnished." On June 11, the contract proposal from architect Francis W. Bryan was accepted. He was affiliated with Bryan Manufacturing Company in Collingwood, manufacturers and suppliers of building materials.¹⁰

The new building (the annex) was erected "at the rear of the present Central School" and "level with the north wall of the main building." "Mr. Chamberlain tendered for the brick, stone, and plastering" work. On December 4, the Board complained that D. Peterman & Sons was using elm instead of the more expensive pine, so reduced the payment amount. Peterman was a local contractor and builder.

The attendance report of February 5, 1895, is the first to indicate that Central had fourteen, instead of twelve operating classrooms.

Steam Heating

The next major undertaking for Central School (main building and annex) was the conversion of the heating system from stoves to steam in May 1897. This was done by Keith & Fitzsimmons using plans and specifications prepared by architect W.J. Holland. Other work may have been involved. The *Enterprise Messenger* mentions that Central School was reopened, and then shortly after on September 16, reports that at a recent School Board meeting:

Application was presented from Keith & Fitzsimmons for \$1200, progress on contract, and also a number of accounts in connection with the work. The contract for the heating by the way has not yet been signed. A legal opinion is to be had as the liability for accounts for extras.

Landscaping

Collingwood's first kindergarten class opened in Central School in 1906.¹¹ That year, the School Property Committee made some improvements to the landscaping. The *Collingwood Enterprise* of June 6, 1906, reported:

The School Property Committee are putting in a lot of hard work and, so far as we can judge, the work seems good. They have cut down every other tree on the north side of the Central School, the girls have planted poplars and maples along the south side and maples along the east side and have trimmed back the fir trees which cast too much shadow on the east rooms. They have

also made good additions to the small garden plots and these are now laid out neatly so that each room has its own little plot from which to learn practical lessons in botany. The Committee are to be congratulated on the energetic performance of their duties.

Toilets and a Basement

On August 19, 1909, the *Enterprise* reported on the need for improvements:

The deputation that visited the Toronto schools last week returned home firmly convinced that the excavation of the basement of the Central School and placing the latrines therein, is the proper scheme to adopt. Architect Bishop of Toronto, a gentleman of wide experience in school construction, showed them every courtesy and strongly condemned outdoor closets as an abomination. They have been abandoned in every public school that had any claim for up-to-date sanitary conveniences.

During this period, the Hon. R.A. Pyne, provincial Minister of Education, was reviewing health and sanitation issues in all public schools. To qualify for a provincial grant program, inspections had to be completed under the direction of C.H. Hodgetts, M.D., Chief Health Officer of Ontario. A Provincial Health Inspector was in Collingwood on October 6, 1909. He visited East Ward School, North West School, West Ward School, and Central School:

The 1909 inspection report identifies East Ward School as a "four-roomed school;" North West as a "one-room wooden building;" and West Ward as a two-room brick building." With regard to Central School, he states:

This school consists of two brick buildings. The older and larger having accommodation for twelve classes was built in 1883, while the annex, which accommodates four classes, was erected in 1897.

Two visits were made to this school, the first just before the noon recess, and the second in the afternoon between two and three o'clock.

On the occasion of the first visit, I found the room and halls, without exception, stuffy, notwithstanding the fact that the day was bright and sunny and in most of the rooms the windows had been open during the session.

The system of heating of this school was originally by means of stoves and the ventilation system is the same now as at that time in operation. With the change to steam heating no provision had been made to provide a system suited to this changed method, therefore, at present, it is entirely inadequate, and with the method of [damaged section of newspaper] of the room, where in the winter they undergo a drying out process, the air of the room becomes very vitiated, a condition which is very unhealthy for the pupils and teachers.

In respect to the closet [toilet] accommodation, I found them entirely inadequate indeed; it is a matter which calls for immediate attention. The boys' closet is a brick building, about 12x16' outside measurement with a partition in the centre, making two small apartments about 6'x16'. . . . A similar building is provided for the girls. . . .

In my opinion, the school and outbuildings are in a very unsanitary condition, and the remedy lies in the installation of a proper and suitable system

of ventilation and the providing of modern conveniences in the basement. This latter work can be done by a deepening of the cellar.

I would also recommend the providing of space for cap and cloak rooms for both teachers and pupils, which rooms should be separate from, but adjacent to the class rooms.

Taking the schools on the whole they are not up to modern requirements, and are not what one would expect to find in a town of the size of Collingwood, and for sanitary reasons the situation should receive the immediate consideration of the authorities.

The Town and School Board responded to this inspection in several ways. Construction of an eight-room school for pupils in the west side of town, King George School, was started in 1911. East Ward School was repaired about 1910.

For Central School, the Board moved forward with plans that were already underway. Local architect John Wilson had prepared drawings in August 1908 for the "Toilet Rooms, Central Public School." These specified excavating the cellar lower and creating a below grade link between the main school building and annex. Included in the plans is a roof cupola, possibly for improving the ventilation and installing stackpipes. (See appendix for drawings.)

The School Board journal of receipts and disbursements indicate the following contractors were used for the "new building and improvements:"

A. Court, mason, with accounts from April 1910 to February 1911
D.A. Bell, carpenter, July 1910 to January 1911
H.G. Wynes, plasterer, July 1910 to February 1911
John Luckton, plasterer, August 1910
William Parrott, plumbing and heating, August 1910 to February 1911
James Godden, painting and glazing, September 1910 to February 1911
John Wilson, contingency account February 1911

John Wilson was born in Collingwood on August 17, 1863, and went on to become a master builder and noted architect. There is a tradition that he was involved in the construction of the 1884 Central School building.¹²

Central Becomes Victoria

In 1911, the Duke of Connaught, son of British monarchs Queen Victoria and Prince Albert, was appointed governor general of Canada. To celebrate his appointment, many Canadian schools adopted the names of British monarchs. Central became Victoria School; East Ward became Connaught; and the new school was named King George.

Continuing Use

In 1910, the Board of Education was seeking classroom space for manual training. In 1912, two rooms in the annex were requested. The Board held these classes in the Town library and at Central/Victoria School until a technical school was opened in 1913 on Third Street.¹³

The March 8, 1945 issue of the *Enterprise Bulletin* announced, "Victoria School Annex to be Opened" and stated, "That work be proceeded with under John Wilson, architect, to open the annex of Victoria School." By September, Principal Hugh Davidson had "two rooms now open in the annex." It is presumed that the classrooms in the annex had not been required in recent years, due to low student enrollment.

When a new collegiate building was opened in 1954, the former building became Admiral Collingwood School. As it was a senior public school drawing all students in Grades 6, 7, and 8, Victoria School became a junior public school. Although some Victoria School students were relocated in 1967 to the new Cameron Street School, it continued to be used as a junior public school until 1969. The 1884 structure was then demolished.

In 1969, the Association for Retarded Children moved from the first (East Ward) Connaught School building (renamed the R.H. Davidson Memorial School) to the Victoria School annex. The annex served as the Collingwood Alternative School until October 2001.¹⁴

The Collingwood Public School Board and its 1969 successor, the Simcoe County Board of Education, held continuous ownership of the property until the six lots were sold to the current owner in 2004. In 2007, the annex building was vacant.

5.4 SUMMARY OF HISTORICAL OR ASSOCIATIVE VALUE

The former Victoria School annex building represents the final stage in the chronology of Collingwood's first common or public school, Centre Ward School. In the 1850s, classes were held in makeshift locations until a purpose-built, frame building was erected about 1858 on Pine Street. This was enlarged in 1874 by a brick addition. This frame and brick structure, or part of, is standing in 2007 on School House Lane.

Construction began in 1884 on a substantial, Romanesque Revival style school building on Maple Street between Sixth and Fifth streets. The matching, standalone, annex building was erected at the west in 1894.

The subject property at 400 Maple Street was in continuous use for educational purposes from 1884 until 2001. The result is a long-standing association of the site with Collingwood's elementary school aged children, parents, staff, and administrators.

The 1884 school building was designed by Collingwood architect Marshall B. Aylsworth and built by local contractors. The annex is a near duplicate of his 1884 design and it could be argued that with the removal of the earlier building, the annex now represents Aylsworth's work at this site.

The annex was designed and erected under the supervision of another local architect, Francis W. Bryan, with Collingwood builders D. Peterman & Sons and local tradespeople.¹⁵

6.0 DESIGN OR PHYSICAL VALUE

6.1 SCHOOLHOUSE ARCHITECTURE

Ontario's first Chief Superintendent of Education, Egerton Ryerson (appointed 1846), advocated that a schoolhouse should be "neat, elegant and attractive. . . . The impression fixed in the minds of the children would be that school was a place of power, influence and importance."

A handbook of instructions for building schoolhouses evolved into Ontario's standard manual on schoolhouse architecture published in 1876. The lot size was to be an acre, a pleasant location, and the building one that would inspire young minds. The concept of separate entrances and play yards for boys and girls began about 1870 and continued into the 1930s.¹⁶ Collingwood's 1884 Central School and 1894 annex are in keeping with these provincial recommendations for schoolhouse design.

A Collingwood resident also held opinions about the suitable architecture of "Our Public Schools." A letter written by local builder, designer, and engineer Fred T. Hodgson was published in the April 24, 1884 issue of the local newspaper. Hodgson is critical of the local Board of Education, stating that it "has no reason to be proud of its past experience in school structures; whether as regards external appearances or internal arrangements." He argues that good architectural design:

[As] a "Thing of Beauty" is also an educator and refiner, and that the school days are those in which are planted the seeds of future happiness or misery; and what aids to the happiness of matured life, more than pleasing memories of days spent at school? When such pleasant memories may be intensified by making the school and its surroundings cheerful and attractive, it is clearly our duty to see to it, that while preparing the necessary and useful, the pleasing and beautiful are not overlooked.

In 1890, Hodgson is believed to have designed a brick school building to be erected in the West Ward as the North-West School. (Further research is required.)

6.2 STYLE, PLAN, AND MASSING

Hodgson cautions in his April 1884 letter that the Gothic Revival style, although popular throughout Canada for educational institutions, is "altogether out of place" and should be avoided. He calls it the "gloomy style" that "possesses a deterrent effect on the cheerfulness of the young." He encourages the School Board to employ an architect with "modern ideas" and suggests the Queen Anne style as an appropriate choice.

Although not Queen Anne, the 1884 Central School building had elements of the "modern" Romanesque Revival style of architecture. The 1894 annex duplicated and continued with the Romanesque style and design elements of the 1884 building.

The annex is a 2½ storey structure in a modified cruciform plan with the smaller gabled projections extending north and south. It is a standalone building with all the facades

finished with equal workmanship and quality of materials. Its design and structural integrity did not depend on the existence of the 1884 structure. The primary entrance façade faces east, originally a short distance from the west facade of the 1884 building. After 1910, the basements of the two structures were linked below grade.

6.3 ROOF

The roof is a medium pitched, cross gable. There are two gable designs, both with lower hips or horizontal sections that have a slight bellcast or tent curve. The fascia boards are flat with beading and there appears to be moulded trim along the soffit of each gable. An early photograph indicates there were finials (ornament) at the apex of (possibly) each gable.

The north and south (smaller) gables have a sunburst motif composed of wood strapping separating what appears from a distance to be a granular plaster material (or textured board). This is a modified version of the gable design on the 1884 structure.

The main east and west gables have a geometric block pattern formed by strapping and the granular material (or textured board). There is evidence of what may be two openings within each gable, possibly for ventilation, but now blocked. At the centre of each gable is a section of brick chimney. There is no known photographic evidence indicating that this gable design was on the 1884 structure.

The four gables are an attractive element of the annex, especially when both design types can be viewed together as a composition.

The two end chimneystacks have been removed from the roof. The existing chimneystack at the centre is not original but is visible in a photograph hand dated 1918.

A 1904/updated to 1917 insurance plan identifies the roof of the 1884 structure as shingle on board and the annex as composite (now asphalt shingle).

6.4 MASONRY

This is a solid masonry building constructed with red-orange colour bricks laid in common bond. Buff-cream colour bricks are used to create horizontal bands, alternating (red/buff) surrounds at each door and window opening, and portions of the arcading at the eaves. The popular period technique of applying black pigment to bricks for use as bands and edging is also evident. The mortar is a buff coloured lime-based mix.

Flat, brick pilasters are used to divide the wall massing into vertical sections. Each pilaster is terminated at the eaves with carved wood brackets. The main walls have brick arcading at the eaves (the upper edges are now partially obscured by eavestroughs). Each gable wall has brick corbelling rising in steps to the gable. All of the masonry is patterned after the 1884 structure.

The foundation is rubblestone. The cellar was excavated in 1910 to create a basement.

6.5 ENTRYWAYS

The east facade of the north-south block of the annex has one entrance on the north half and one on the south half (boys and girls). The door openings are a half round arch with transoms (upper sections) that were likely glazed, now boarded. Double width doors are recessed within the arch, making it unnecessary to have a portico (porch).

The 1884 building had open porticos at the entrances; each with a shed roof supported by turned posts and carved brackets. The skeletal, shed roof porticos now on the annex were a later practical addition. The roof of the north entrance portico slopes north to match the north portico of the 1884 building. The south portico roof of the annex slopes east. With the removal of the 1884 structure, the two annex portico rooflines now appear mismatched.

The doorways are accessed by stairways. The metal handrails are replacements for the original wood handrail and supports.

There is what appears to be a basement entrance at the southwest corner of the structure.

6.6 WINDOW OPENINGS

Most of the window openings are the round arch type; some are segmental in shape. Both shapes are typical of Romanesque Revival styling. There are paired and single openings of varying width. The upper section of each opening is decorated with alternating red/buff coloured brick voussoirs with brick keystones. Black pigmented brick is used to edge and visually link the openings. The sills are the extended (lugsill) type in stone (or possibly concrete).

The original windows were likely double hung, flat, 2x2 pane, wood sashes, with shaped glazed transoms. The frames appear to be wood. Some openings have been bricked (possibly at any early date) and some were boarded recently. It is not known to what extent the original sashes survive.

The basement window openings are flat.

The overall fenestration (window placement and type) is symmetrical and important to the building design.

6.7 OTHER FEATURES

Other transient features, such as the metal light fixture mounted on the building, and any landscape features should be surveyed when access to the site is permitted.

6.8 INTERIOR

An inspection of the interior of the annex was not possible. Section 29, OHA, allows for the protection of interior features that support or contribute to the cultural heritage value or interest of the property. In this case, it is recommended that a survey of the interior be conducted to identify any significant school related artifacts that may be suitable for incorporating into the renovated interior or for use in an historical display.

6.9 SUMMARY OF DESIGN OR PHYSICAL VALUE

The 1894 annex is a well-executed local example of the Romanesque Revival style of architecture being applied to institutional use. It is patterned after the 1884 school building on the site designed by Collingwood architect Marshall B. Aylsworth, but was designed and erected as a standalone structure. The annex illustrates the nineteenth century philosophy that a school building should be inspiring and have certain features such as separate entrances for boys and girls and natural lighting. The plan, massing, gable designs, masonry, decorative and polychromatic (red/buff/black) brickwork, round and segmental door and window openings together form an attractive composition. The building maintains its overall architectural integrity.

7.0 CONTEXTUAL VALUE

There has been a school building on this site since 1884. The 1894 Victoria School annex building is a neighbourhood and town landmark.

8.0 RECOMMENDATIONS

8.1 DESIGNATION UNDER SECTION 29, OHA

Given the documentary and physical evidence, it is concluded that the portion of the property at 400 Maple Street that contains the 1894 Victoria School annex building holds cultural heritage value or interest to the municipality.

There are essentially two options under the Ontario Heritage Act for the conservation of a cultural heritage property: designation under section 29, or a heritage conservation easement agreement.

In this instance, and as the Town is currently not proposing loans or incentives to the property owner, a conservation easement agreement may not be appropriate. Designation under section 29 is a long-term conservation strategy for the property, while allowing the annex building to be integrated into the proposed residential development. In either case, it is Council that makes the final decision in this matter.

It is also recommended that consideration be given to evaluating the cultural heritage

value or interest of the former East Ward/ Connaught School building at 125 Napier Street. The original section of this building was also constructed in 1884 and designed by Collingwood architect Marshall B. Aylsworth. Although East Ward began as a much smaller school, there are visible similarities between it and the 1884 Central School building and 1894 annex. The enlargement of the East Ward schoolhouse in 1902 continued the Romanesque Revival style approach. Connaught School could serve as the primary site for the commemoration of elementary public school education in Collingwood. Reference could also be made to the survival of the earlier school buildings on School House Lane.

8.2 DRAFT STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

If designation under section 29, OHA, is proposed, the following is recommended as the statement of cultural heritage value or interest and description of heritage attributes, for purposes of the designation bylaw.

HISTORICAL OR ASSOCIATIVE VALUE

The former Victoria School annex building on Maple Street represents the final stage in the chronology of Collingwood's first common or public school, Centre Ward School, from makeshift classrooms elsewhere in the 1850s, to the sale of the annex property by the Simcoe County District School Board in 2004. The Maple Street property was in continuous use for educational purposes from 1884 until 2001, resulting in a long-standing association of the site with Collingwood's elementary school aged children, parents, staff, and administrators.

The 1884 school building was designed by Collingwood architect Marshall B. Aylsworth and built by local contractors. The 1894 annex is a near duplicate of his 1884 design and with the removal of the earlier building, now represents Aylsworth's work at this site. The annex is also the work of another local architect, Francis W. Bryan, with Collingwood builders D. Peterman & Sons and local tradespeople.

DESIGN OR PHYSICAL VALUE

The 1894 annex is a well-executed local example of the Romanesque Revival style of architecture being applied to institutional use. It is patterned after the 1884 school building on the site designed by Collingwood architect Marshall B. Aylsworth, but was designed and erected as a standalone structure. The annex illustrates the nineteenth century philosophy that a school building should be inspiring and have certain features such as separate entrances for boys and girls and natural lighting. The architectural elements form an attractive composition and maintain their overall integrity.

CONTEXTUAL VALUE

There has been a school building on this property since 1884. The 1894 Victoria School annex is a neighbourhood and town landmark.

HERITAGE ATTRIBUTES

The following is based on viewing the annex from the street and is subject to revision.

The significant heritage attribute of the property is the 1894 Romanesque Revival style school annex building, elements of which include:

Exterior Only

- Cruciform plan, height, massing, and symmetry
- Cross gable, medium pitch roof type
- Fenestration (window placement, shape, dimension, and sash type)
- Red-orange and buff-cream coloured brick masonry with buff coloured lime based mortar
- The use of black pigment on selected bricks as banding and edging
- All decorative brickwork, including corbelling, arcading, pilasters, and bands
- All woodwork, including moulding and carved brackets
- Rubblestone foundation
- All elements of the gables
- All original door openings, with separate boys' and girls' entrances

PART II

HERITAGE IMPACT ASSESSMENT

9.0 BACKGROUND

The draft development proposal for the property at 400 Maple Street is to erect a 3-unit condominium, 10 single detached and 1 semi-detached residential units, and convert the 1894 former Victoria School annex to a 4-unit condominium. This proposal is presented in the document, "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement, March 2006" prepared by Shelley Wells & Associates on behalf of The Victoria Annex Group Inc. It is currently being considered by Planning Services.

A copy of the Wells document and other materials about the proposed official plan amendment, zoning bylaw amendment, plan of subdivision, and site plan were provided by Planning Services in March 2007 for this Heritage Evaluation and Impact Assessment.

The Town has requested a preliminary assessment of any negative impacts this development may have on the heritage attributes of the property.

10.0 REPORT OBJECTIVES

10.1 PURPOSE OF A HERITAGE IMPACT ASSESSMENT

Physical alterations such as renovations, facility upgrades, repairs, additions, and other changes may involve the introduction of modern materials, new forms, incompatible architectural style elements, and other factors that may diminish the cultural heritage value or interest and integrity of a heritage property.

Changes in drainage patterns, shadows, wind velocity and direction, landscaping, snow build-up, or other new conditions may threaten the stability of a heritage property over the short and/or long term.

For a property formerly associated with public use, such as the annex site, the way in which the public continues to view and appreciate the site can also be an important consideration.

A heritage impact assessment is intended to identify the implications of a proposed site alteration and/or development on a cultural heritage property and recommend to Council ways in which any negative impacts can be minimized or avoided.

10.2 ASSESSMENT IS PRELIMINARY

To undertake this heritage impact assessment, it was necessary to assume that the Town considers the subject property to hold cultural heritage value or interest, as evaluated in Part I of this report. It was also assumed that it is Council's intention to implement a long-term conservation strategy (possibly section 29, OHA, designation) for the annex building, as the primary feature of the property. The position of Council in these matters has yet to be finalized.

The objective of this heritage impact assessment is to analyze the actions being proposed for the integration of the annex into the new residential development. The findings and recommendations are based on the information learned through the compilation of Part I (heritage evaluation) of this report, a review of the materials provided by the Town, and the application of standards and guidelines for the conservation of heritage properties.

It is understood that this development requires further approvals before proceeding to a final site plan. No specifications or work plan for the alterations proposed for the annex were provided for review, except that the interior is to be "gutted" and the exterior "restored" as part of its conversion to a 4-unit condominium. For these reasons, this assessment should be considered preliminary only.

11.0 CULTURAL HERITAGE VALUE OR INTEREST

Section 8.2 of Part I of this report provides a draft statement of the cultural heritage value or interest of this property and identifies those heritage attributes important to maintaining the integrity of that value or interest. Within this context, the following summarizes the implications for new development or site alteration.

HISTORICAL OR ASSOCIATIVE VALUE

The statement of historical or associative value suggests that any aspects important to the identification of the annex as a community school building, such as, the plan, massing, fenestration, boys' and girls' entrances, etc., should be preserved.

Alterations and new construction should not diminish the integrity of the building as an example of the work of the local architects, builders, and tradespeople involved with its design and construction.

DESIGN OR PHYSICAL VALUE

The statement of design or physical value suggests that the Romanesque Revival style and architectural components of the annex, as listed under heritage attributes, are to be preserved. Any alterations should be in keeping with the intent of the original design and be guided by standards and guidelines for conserving heritage properties.

As the annex was erected as a standalone structure, any direct contact with new construction is to be avoided or done in such a way as to minimize the visual and physical impacts.

New construction should enhance the historic, where they form one viewscape.

CONTEXTUAL VALUE

The implication of the statement of contextual value is that the annex building should be retained on the site as the landmark or focal point within the new development. Public association with the site should be allowed to continue through adequate viewscales from public streets.

12.0 CURRENT DEVELOPMENT PROPOSAL

12.1 DEVELOPMENT AND DESIGN APPROACH

In the March 2006 Wells report, reference is made to the approach being taken to the integration of the annex into the new development. No specifications for actual alterations to the annex are included:

- p. 6 Renovation of the existing historic structure to accommodate 4 residential lofts (the Annex)

Expansion of the existing structure to include 3 additional residential lofts (the Coach House)

- p. 9 The exterior of the existing structure will be restored

The coach house lofts will compliment the period architecture of the existing annex building

Renovations to the existing structure will consist of exterior restoration, gutting of the interior and reconstruction to modern standard in order to create new condominium units

The single detached and semi-detached residences will be constructed of materials and colour pallets in an architectural style compatible with the surrounding neighbourhood and with the vision of Collingwood as a whole. The architecture and landscape treatments will be taken from the local climate,

topography, and historical and existing Collingwood neighbourhoods

- p. 17 The existing building will be preserved and enhanced
- p. 30 The prime objective of the architectural vision for the Victoria Annex project is to ensure compatibility with the established built form. The Victoria Annex must fit within the context of the existing neighbourhood but also provide for the Victoria Annex a unique character and sense of identity.

Anchoring the proposed development, at its centre, is the historic Victoria Annex, an existing two storey brick building dating back to 1917. After considering several options, a vision was developed to restore the landmark building, convert its interior to condominium apartments, and to renovate and restore the exterior as necessary to upgrade and protect the structure's historic value.

The restored brick Annex building will be complimented with a wood clad board and batten addition, "the Coach House," appropriately scaled to enhance the existing building and provide three additional condo units, enclosed parking for the units and services for the main building.

The proposed interior vehicular land will provide access to the Annex/Coach House building and for the single detached dwellings, which surround and reinforce the historic focus of the Annex/Coach House. A pedestrian path provides an axial access to the Annex/Coach House from Maple Street, providing pedestrian permeability as well as a visual focal point to celebrate the historic structure.

The surrounding single family detached dwellings are one and a half storey and are detailed to compliment the historic annex building and vernacular architecture of downtown Collingwood homes.

Comment

Taken at face value, this approach to the integration of the annex into the new development has merit. It is also known that early in 2007, a change in approach resulted in an application for a demolition permit for the annex. This has since been withdrawn, pending negotiations on the permitted number of units for the site.

12.2 ANALYSES OF SITE PLAN AND GRAPHICS

The following analysis and recommendations are based on a review of the proposed site plan and accompanying graphics in the March 2006 Wells report. It is noted that there are inconsistencies between the plotting on the site plan and the artistic renderings.

12.2.1 OVERALL ARCHITECTURAL CONSIDERATIONS

Density

A total of nineteen units are being proposed for this site. Currently, provincial interests

are advocating high-density “intensification” and infill construction. As evident in the Provincial Policy Statement of the Planning Act, these interests are not intended to override heritage conservation as an important tool in the cultural and economic vitality of a community.

Height

It appears that except for the coach house, the maximum proposed height for all new construction is 1.5 storeys, but no final measurements are provided. It is advisable that no new structures, either adjacent or distant, exceed the eave height of the annex building. This is in an effort to maintain the annex as the focal point of the development and as the local landmark.

Built Form

The Wells report states: “The prime objective of the architectural vision for the Victoria Annex project is to ensure compatibility with the established built form. The Victoria Annex must fit within the context of the existing neighbourhood but also provide for the Victoria Annex a unique character and sense of identity.”

Figures 11c, e, f, and g (not provided, see Wells report) are the designs proposed for the residential units. These are a fusion of styles, elements, and materials drawn from over two centuries of architectural heritage. Whether this eclectic mix captures the “vernacular architecture of downtown Collingwood homes” should be further analyzed.

Viewscapes

Historically, the annex was immediately west of the 1884 schoolhouse, with their north facades aligned. The south façade of the annex was recessed back from the south façade (“to the rear”) of the 1884 structure. The annex was designed and erected as a standalone structure. The workmanship and quality of materials are equal on all facades.

From an architectural design perspective, the principal façade is likely the east (as it was for the 1884 schoolhouse). When built, the east façade could only be fully viewed looking west from or very near the 1884 schoolhouse. With the removal of the 1884 structure, this principal façade has been revealed.

The closest view of the annex for the public was looking directly south or southwest from Fifth Street to the north facade. Looking east from Birch Street, the first floor of the annex is visually blocked by the nineteenth century dwelling abutting the northwest corner of the property.

The south façade of the annex could be viewed looking north, and partially northwest, from Sixth Street and was visually secondary to the two-building composition.

The west façade of the annex has been obscured since the construction of residential buildings on the abutting property.

Given the historic viewscapes, it is recommended that priority be given to maintaining an unobstructed view of the east façade of the annex. As the north façade is the closest to a public street, efforts to maintain some view of this façade are also advised.

Wherever the annex and new construction form one viewscape, the design of the new component should enhance and frame, not compete, with that of the annex.

Landscape

The Wells report states the intention to maintain, where possible, the existing mature specimen trees. Any new plantings that form part of the viewscape of the annex are best with a low height at maturity.

12.2.2 COACH HOUSE

Figure 7 (see appendix) of the Wells report indicates that a new 3-unit condominium ("coach house") is to be erected adjacent to/abutting the south façade of the annex and extending slightly east of the annex. The result is the coach house will fully block the view of the south façade and recess part of the east façade of the annex. The single detached units proposed for the Sixth Street frontage also interfere with the view of the south façade of the annex.

As stated in 12.2.1 Viewscales, the view of the south façade of the annex is less important from a heritage perspective, than being able to view the east façade. The need to build units along the Sixth Street frontage is obvious, and they will interfere with the public view of the south facade of the annex from that direction. It is, however, advised that the coach house not extend east of the annex and interfere with the view of the east façade. If the view of the south facade of the annex is to be blocked, then the view of the east façade should be maximized.

Figure 11a (see appendix) shows a narrow open space between the annex and coach house. In Figure 11b (see appendix), this "open" space between the units appears filled by an east entryway. If this space is too narrow or enclosed, issues of dampness deteriorating any wood elements, inadequate circulation for seasonal drying of the masonry, snow build up, etc. may place the annex at risk. The actual distance between these two structures needs to be clarified and measures taken to avoid any risks to the annex.

Figure 11a also shows the south annex gable and north coach house gable as joined. Figure 11b shows the south annex gable becoming a cross gable that terminates on the south (not north) side of the coach house. Essentially, the south gable of the annex is lost. The annex gables are considered to have cultural heritage value or interest and should not be altered in this manner.

The proposed design of the coach house, as in Figure 11b, does not "compliment the period architecture of the existing annex building." For example, the coach house is not a gable end form; the roof has pseudo Gothic Revival style dormers, not Romanesque gables; and there is no reference to the massing or alignments of the annex. The coach house does not need to be a duplicate of the annex, but as these structures may be abutting, taking inspiration from the round and segmental door and window openings, gable proportions and design motifs, decorative brickwork, and other elements is advised.

The wall cladding for the coach house is "wood clad board and batten." Although examples exist, the use of board and batten for dwellings was not common in the mid to late nineteenth century in this part of Ontario. It is seen more frequently on outbuildings. Using it adjacent to a red/buff brick building would be inappropriate from a historic architecture perspective.

12.2.3 SEMI-DETACHED DWELLING

No graphic is provided for the semi-detached building to be erected at the northwest corner of the property. It is evident that a structure in this location will obstruct the traditional public view of the annex from Fifth Street. To at least partially maintain this viewscape, the semi-detached dwelling would be best positioned as close to the west lot line as permitted, and the roofline kept below the brick arcading at the eaves of the annex.

The upper section of the north façade of the annex will become the backdrop to the semi-detached building. It is advisable that the design of the new construction visually enhance and not conflict with the historic.

At the northeast corner of the annex, two styles of gables form an important visual composition. Any massing or configuration of the roof of the semi-detached structure that can maintain the public view of the two gables is recommended.

12.2.4 PEDESTRIAN WALKWAY

The symmetry of the annex is important to the success of its Richardson Romanesque styling. It is also an important expression of the function of the building as a schoolhouse with north and south/ boys' and girls' entrances.

The proposed pedestrian walkway from Maple Street as shown on Figure 11a is narrow and exits just north of the midpoint of the east façade of the annex. Figure 11d (see appendix) indicates that the view west along the walkway is a section of the south half of the east façade of the annex. This is unlikely the actual view. (It should be noted that the east façade is incorrectly represented as having a gable with the sunburst motif. This east gable is the geometric design type.)

As the east façade of the annex is best viewed from a central point, repositioning and widening the proposed walkway is recommended.

The two detached dwelling units flanking the walkway frame the public view of the east façade. The architectural design, massing, and elements shown in Figure 11d seem to have minimal relationship to those of the annex. Attention should be paid to the proportions and architectural design components of these units so as to enhance and frame the view of the annex.

13.0 CONSERVATION PLAN

There are accepted standards and guidelines for the conservation of heritage properties. The core principle is that work will stabilize the structure, restore the surviving historic components, repair before replacing, and replace with like materials, without jeopardizing the integrity of the structure. The priority is to conserve the historic fabric, with particular attention to those heritage attributes identified in any governing agreement or bylaw for the property.

At this stage of the development proposal, no specifications or work plan for the annex have been compiled. It is recommended that a qualified heritage building specialist develop a conservation plan based on accepted standards and principles for the annex. The Plan should include instructions such as not to clean the masonry with abrasives, use the correct mortar mix, good workmanship, document existing features, non-damaging servicing upgrades, and integrating new elements with regard to the historic fabric, etc.

14.0 IMPLEMENTATION AND MONITORING

It is recommended that Planning Services consider this Heritage Evaluation and Impact Assessment when assessing the proposed development. Once approvals are in place and the development is at its final site plan and design stage, a final review by a qualified heritage building specialist or committee is advised.

Any work that impacts the annex should be monitored for compliance with any governing agreement, bylaw, or conservation plan.

Artifacts or remnants related to the past use of the site may be revealed if and when there is soil disturbance. This possibility should be monitored and a licensed archaeologist contacted in the event that any unusual or significant artifacts, remnants, or human remains are discovered.

ENDNOTES

- ¹ Shelley Wells & Associates. "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement, March 2006," p. 5. Copy provided by Town of Collingwood Planning Services.
- ² Minutes of the Board of School Trustees for the Town of Collingwood, January 1859. Huron Institute Collection. Simcoe County Archives.
- ³ Barbara Arp, ed. *Reflections, Collingwood An Historical Anthology*, p. 258.
- ⁴ This is said to have later been used as a residence and burned in 1898.
- ⁵ Board of School Trustees minutes, January 1859. Simcoe County Archives.
- ⁶ Robert Hill, letter to Su Murdoch, May 31, 1983, noting a Contract Record dated August 9, 1890, refers to Hodgson "preparing plans" for a "School in the West Ward of Collingwood." This is believed to refer to North-West Ward School.
- ⁷ Arp, p. 260.
- ⁸ *The Enterprise Bulletin*, June 9, 1971. "The King George Annex is the last unit of the former Victoria Public School on Sixth Street." Collingwood Schools Collection. Simcoe County Archives
- ⁹ The bell from the school on Pine Street was moved to new location. On April 1, 1889, the Board passed a motion to move the bell to East Ward School and buy a new bell for Central. One of these bells is now at the Collingwood museum.
- ¹⁰ Henry Vernon & Son, publishers. *Vernon's Simcoe County Directory Including Complete Town Directories of Barrie, Collingwood, Midland and Orillia for the Year 1923*.
- ¹¹ Arp, p. 258.
- ¹² Isabel Griffin. "Events in Collingwood's History No. 41: The legacy of John Wilson, Collingwood's Master Builder." *The Enterprise Bulletin*, March 19, 1997. Copy provided by Simcoe County Archives. A large collection of architectural drawings by Wilson is held by the Simcoe County Archives.
- ¹³ Arp, p. 262
- ¹⁴ Wells, p. 5.
- ¹⁵ Some names of tradespeople are contained in the Board of School Trustees for the Town of Collingwood Minute Book. Further research is required to identify all involved.
- ¹⁶ Anne M. Logan, *School's Out: A Pictorial History of Ontario's Converted Schoolhouses*, p. 9.

APPENDIX

- Plan 45, registered 1856. Simcoe County Land Registry Office, Barrie
- Images of Central/Victoria School and annex. X968.891.1 (1910); X970.870.1 (July 1918); X971.549.1; X969.152.1 (Collingwood Museum)
- Victoria School, south and west facades and annex, 1936. Note the removal of the tower. X970.858.1 (Collingwood Museum)
- Architectural drawings by John Wilson: Central Public School Plan of Proposed Toilet Rooms August 1908; Central Public School First Floor Plan; Sections. (Simcoe County Archives)
- Collingwood Fire Insurance Plan, 1904/updated to June 1917. 973.11.15, Collingwood Museum
- Collingwood Fire Insurance Plan, November 1955. Simcoe County Archives
- Historic images
- Site visit images March 15, 2007
- "The Victoria Annex, Planning Review and Neighbourhood Compliance Statement, March 2006" by Shelley Wells & Associates:
 - Figure 7
 - Figure 11a
 - Figure 11b
 - Figure 11d
- Ontario Heritage Act Regulation 9/06
- Sources

62	100	100
61	100	250

Seventh Street

60	100	100
59	100	250
58	100	100
57	100	250
56	100	200

High Street

55	100	100
54	100	250
53	100	100
52	100	250
51	100	100

High Street

60	125	125
59	125	125

Stre

10	100	100
11	100	100
12	100	100
13	100	100
14	100	100
15	100	100
16	100	100
17	100	100
18	100	100
58	125	125
57	125	125
56	125	125
55	125	125

Maple

10	125	125
11	125	125
12	125	125
13	125	125
14	125	125
15	125	125
16	125	125
17	125	125
18	125	125
56	125	125
55	125	125
54	125	125
53	125	125
52	125	125
51	125	125

Seventh Street

B. W. Smith

Back Street

PLAN 45
REGISTERED 1846

Underwoods Creek

58	100	100
57	100	100
56	100	100
55	100	100

Birch

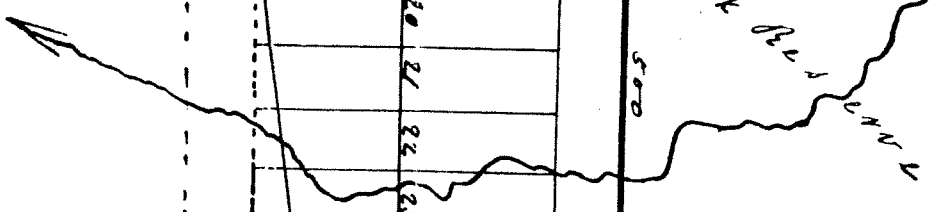
Oak

60	100	100
59	100	100

Stre

19	100	100
20	100	100
21	100	100
22	100	100
23	100	100
54	100	100
53	100	100
52	100	100
51	100	100

7th Series
of a Survey
the Town
being for
Collinswood

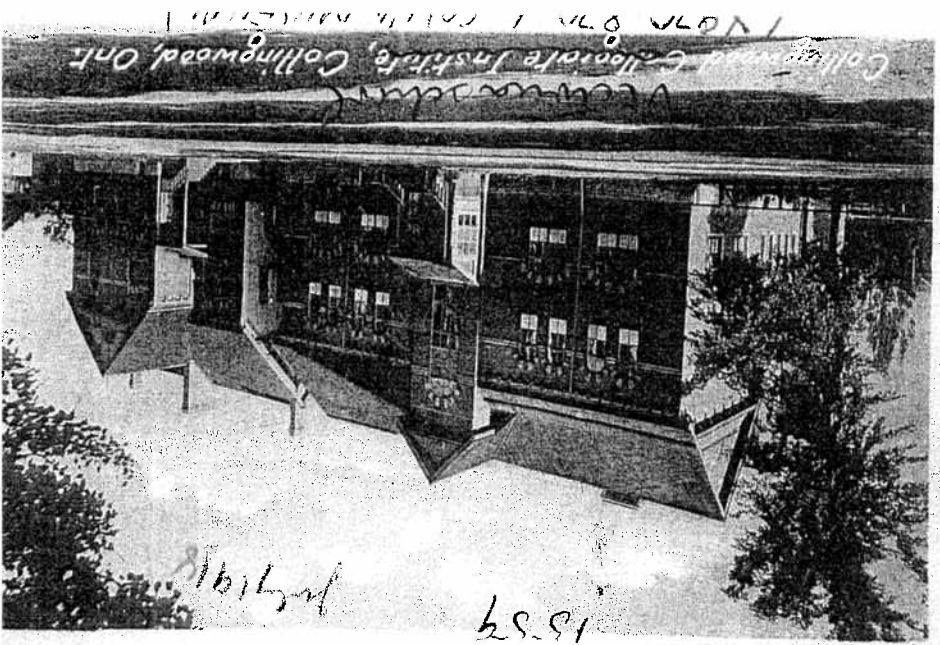


(X970.8581 COLL. MUSEUM)

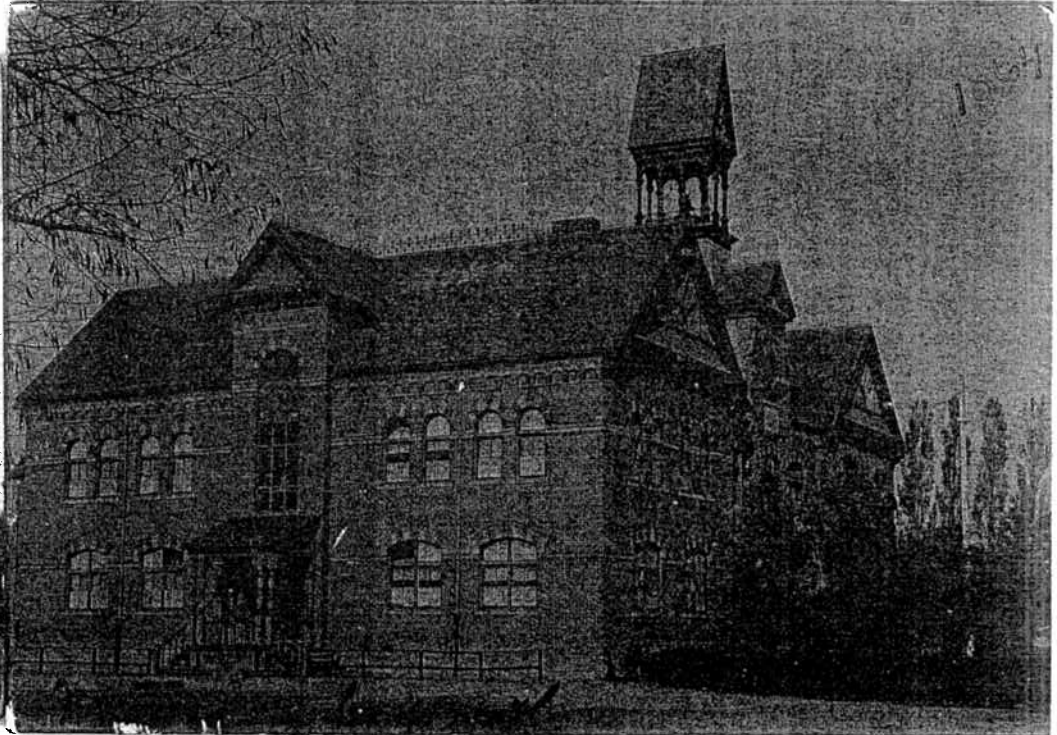
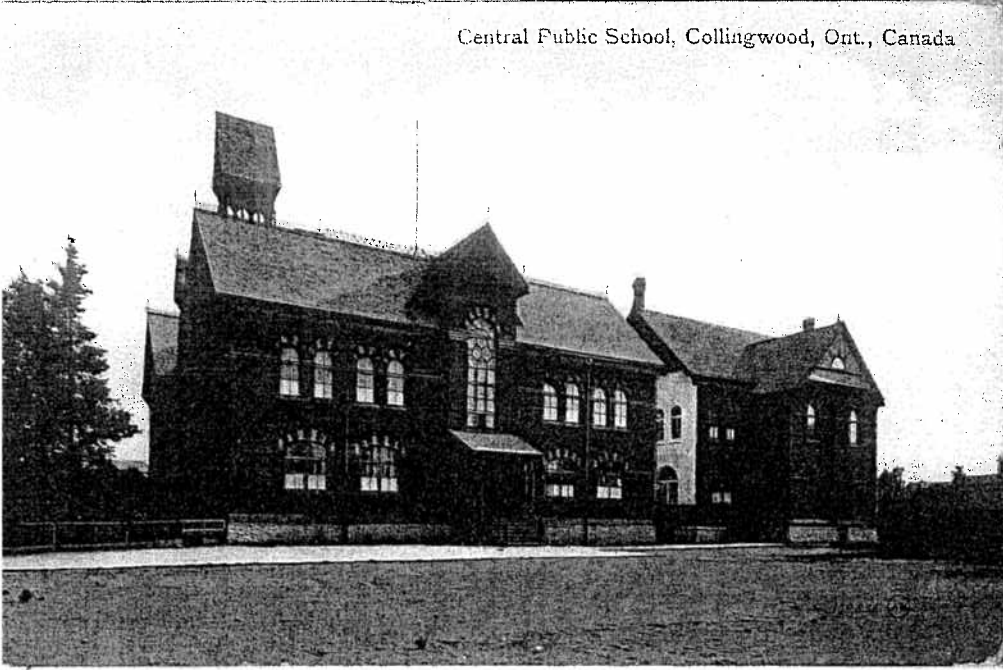
1931



Victoria Public School built 1884
No. 101



Central Public School, Collingwood, Ont., Canada





APPENDIX C

**Elevations & Site Plan for the Proposed Development at 300
Maple Street, Town of Collingwood (courtesy IBI Group)**



VICTORIA ANEX
 COLLINGWOOD, ON



IBI Group Architects
 55 St Clair Avenue West, 7th Floor
 Toronto ON M4V 2Y7 Canada
 tel 416 596 1930
 fax 416 596 0644

REVISION
 Issued for
 Issue date
 Project no.
 Drawn by

SEPT. 30 2016
 30702-2
 S.A

NORTH STREET ELEVATION

Drawing title
 Sheet no.



VICTORIA ANEX
COLLINGWOOD, ON



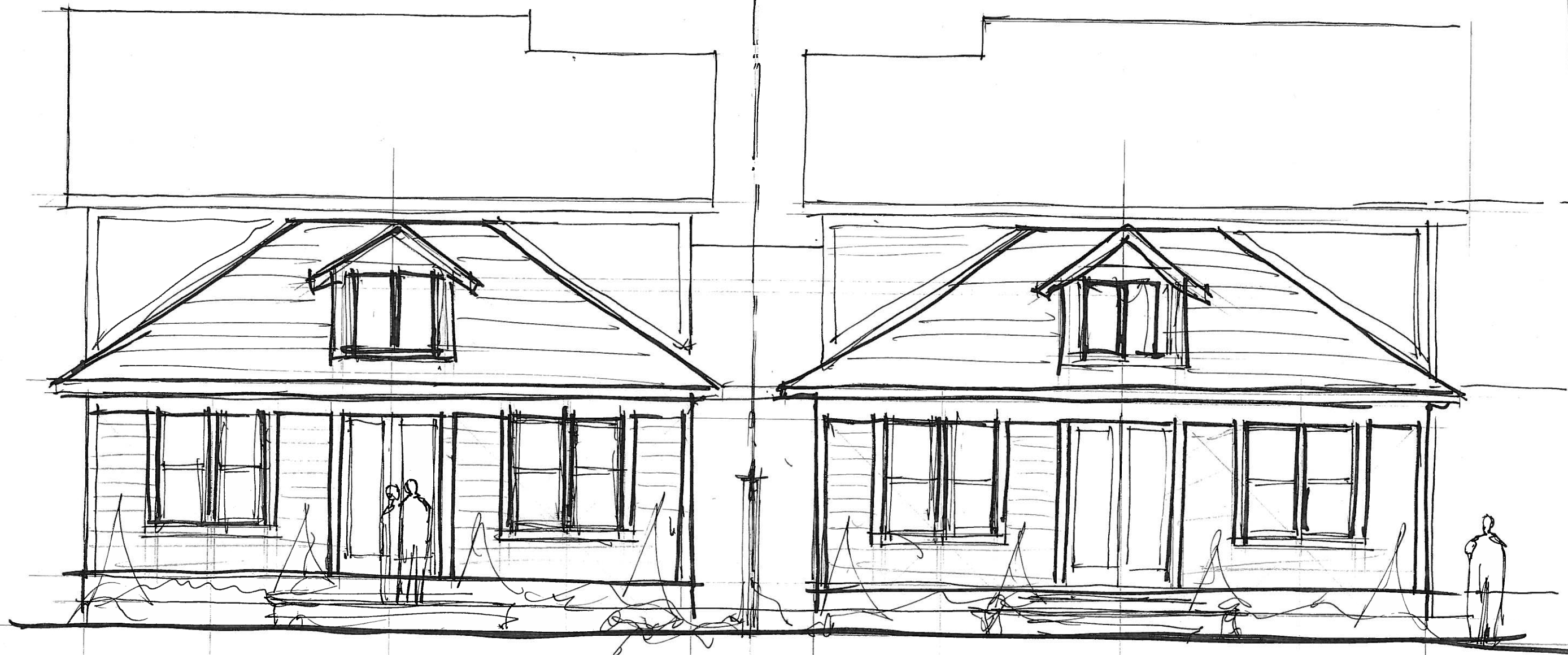
IBI Group Architects
55 St Clair Avenue West, 7th Floor
Toronto ON M4V 2Y7 Canada
tel 416 596 1930
fax 416 596 0644

ISSUED FOR: *REVIEW*
ISSUE DATE: *SEPT-30 2016*
PROJECT NO.: *30702*
DRAWN BY: *S.A.*

EAST SIDE ELEVATION

Drawing title

Sheet no.



VICTORIA ANEX
COLLINGWOOD, ON



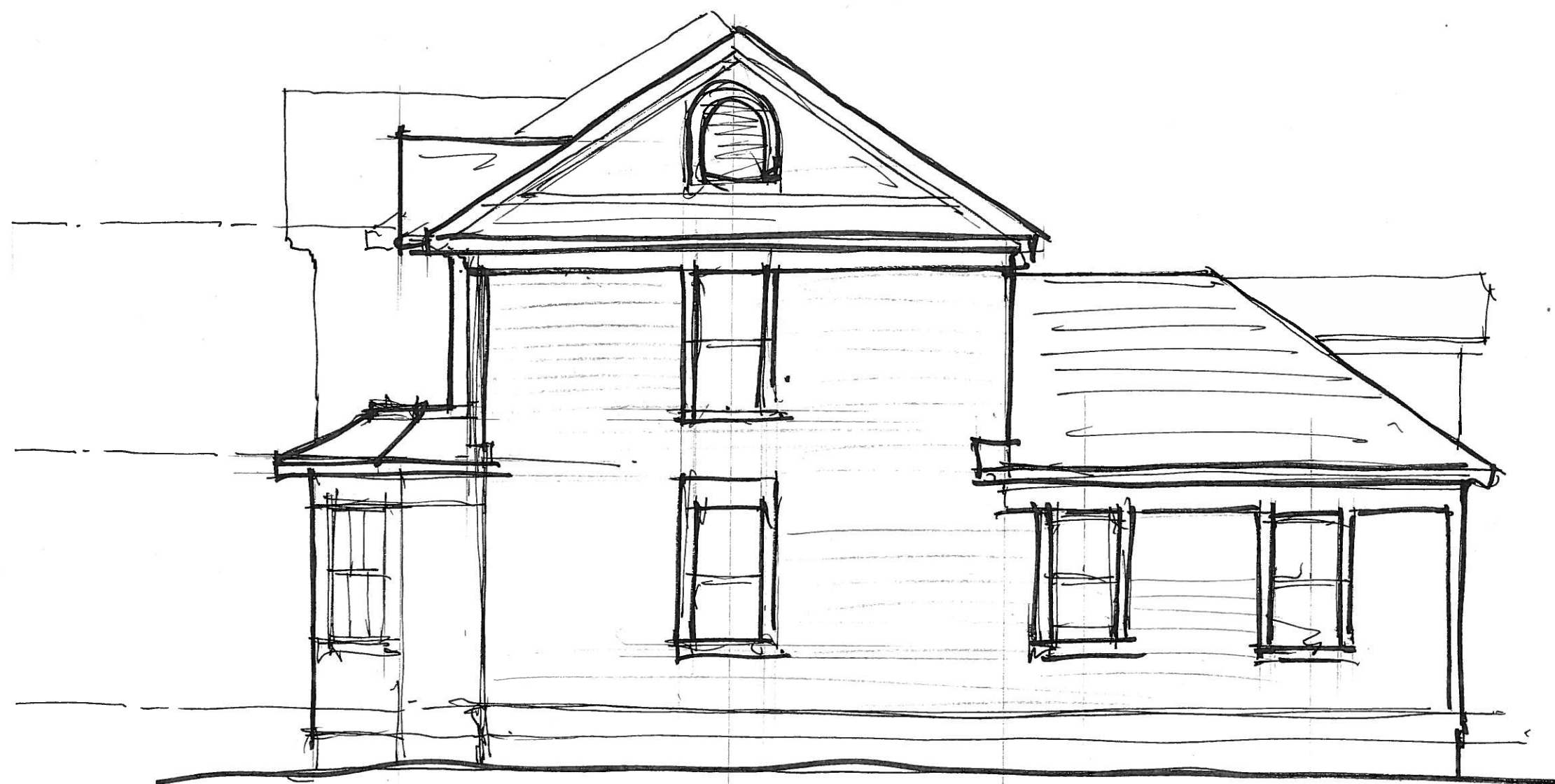
IBI Group Architects
55 St Clair Avenue West, 7th Floor
Toronto ON M4V 2Y7 Canada
tel 416 596 1930
fax 416 596 0644

Issued for *REVIEW*
Issue date *SEP 30 2016*
Project no. *39792* Drawn by *SA.*

SOUTH REAR ELEVATION

Drawing title

Sheet no.



VICTORIA ANEX
COLLINGWOOD, ON



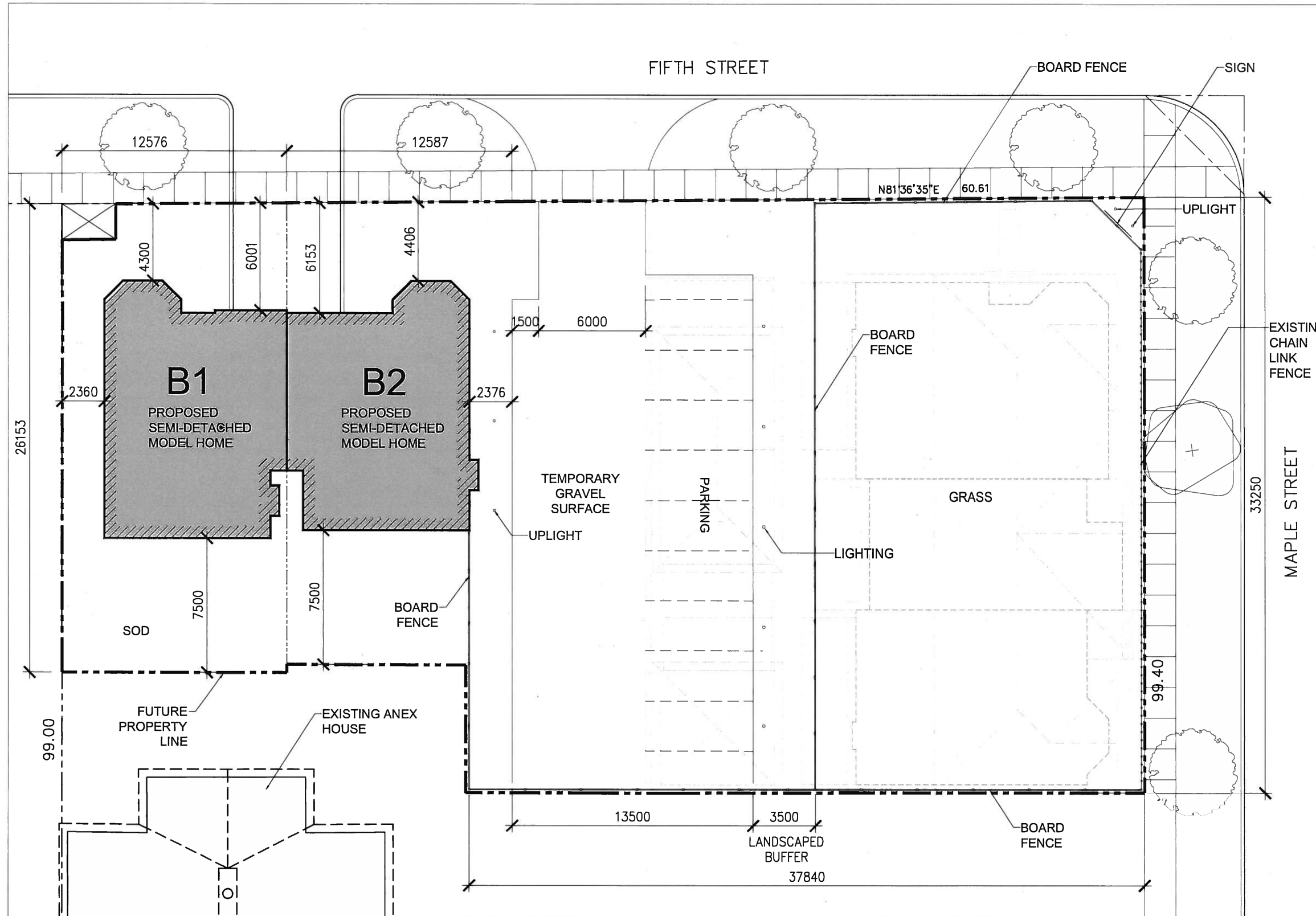
IBI Group Architects
55 St Clair Avenue West, 7th Floor
Toronto ON M4V 2Y7 Canada
tel 416 596 1930
fax 416 596 0644

ISSUED FOR: *REVIEW*
ISSUE DATE: *SEPT 30 2016*
PROJECT NO.: *39702*
DRAWN BY: *S.A.*

WEST SIDE ELEVATION

Drawing title

Sheet no.

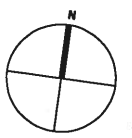


IBI Group Architects

55 St Clair Avenue West, 7th Floor
Toronto ON M4V 2Y7 Canada

tel 416 596 1930
fax 416 596 0644

Rev.	Date	Description	Initial
-	Sept 30, 2016	COORDINATION	JG



North Arrow

Date Drawing Started: JULY 2016

Professional Certification

COORDINATION

Issued for

SEPTEMBER 30, 2016

Issue date

38782

Project No.

JG

Drawn by

JW

Checked by

VICTORIA ANEX

COLLINGWOOD, ON

Project

Model Unit Sales - Site Plan

Drawing title

A0.1

Sheet no.

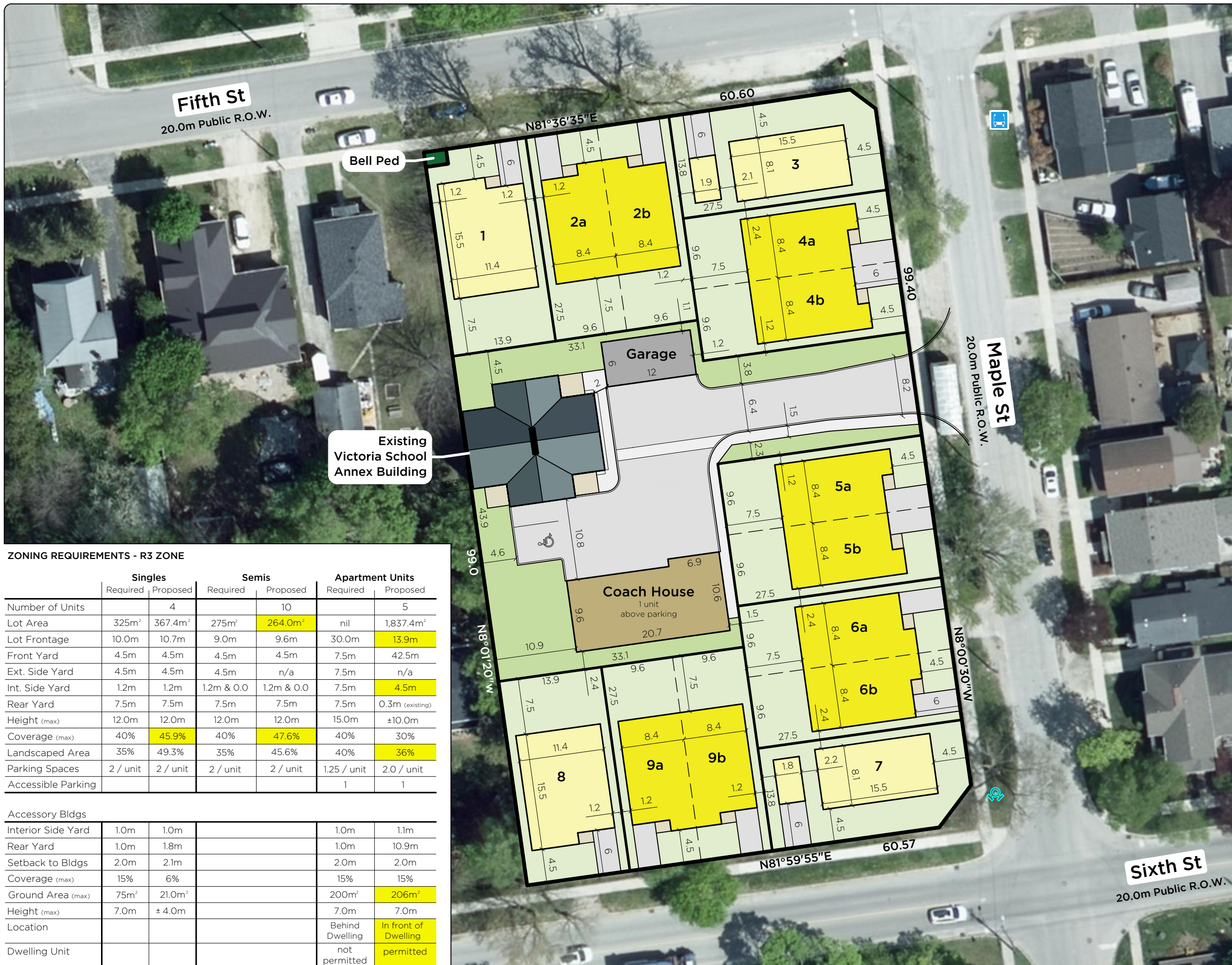


MODEL UNIT SALES - PROPOSED SITE PLAN

1
A0.1 1:250

APPENDIX C

Design Concept Documents



CONCEPT PLAN

Former Victoria School Annex

400 Maple Street, Town of Collingwood

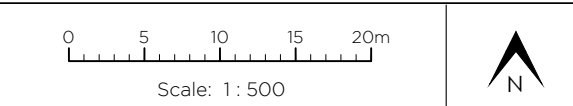


Key Map

Scale 1 : 15,000

LEGEND

- SUBJECT LANDS**
 Lot Area: 5,985.3m² (1.48ac)
 No. of Proposed Units: 19
 Density Target: 32 u/ha
 Proposed Density: 31.7 u/ha
- SINGLE DETACHED - 4 Lots**
 GFA: 376.7m² (4,054.2ft²) min.
- SEMI DETACHED - 10 Units**
 GFA: 350.1m² (3,768.4ft²) min.
- VICTORIA SCHOOL BUILDING - 4 Units**
- COACH HOUSE - 1 Unit**
 above 4 parking spaces
- DETACHED GARAGE**
- Porch
- Existing Hydrant



Drawn By: A.M.

Date: November 6, 2020



85 Bayfield Street, Unit 500,
 Barrie, Ontario, L4M 3A7
 705 730-5900



traVis and associates:

275 First St, Unit 7,
 Collingwood, Ontario, L9Y 1A8
 705 446-9917 - colint@travisinc.ca

ZONING REQUIREMENTS - R3 ZONE

	Singles		Semis		Apartment Units	
	Required	Proposed	Required	Proposed	Required	Proposed
Number of Units		4		10		5
Lot Area	325m ²	367.4m ²	275m ²	264.0m ²	nil	1,837.4m ²
Lot Frontage	10.0m	10.7m	9.0m	9.6m	30.0m	13.9m
Front Yard	4.5m	4.5m	4.5m	4.5m	7.5m	42.5m
Ext. Side Yard	4.5m	4.5m	4.5m	n/a	7.5m	n/a
Int. Side Yard	1.2m	1.2m	1.2m & 0.0	1.2m & 0.0	7.5m	4.5m
Rear Yard	7.5m	7.5m	7.5m	7.5m	7.5m	0.3m (existing)
Height (max)	12.0m	12.0m	12.0m	12.0m	15.0m	±10.0m
Coverage (max)	40%	45.9%	40%	47.6%	40%	30%
Landscaped Area	35%	49.3%	35%	45.6%	40%	36%
Parking Spaces	2 / unit	2 / unit	2 / unit	2 / unit	1.25 / unit	2.0 / unit
Accessible Parking					1	1

Accessory Bldgs	
Interior Side Yard	1.0m 1.0m 1.0m 1.1m
Rear Yard	1.0m 1.8m 1.0m 10.9m
Setback to Bldgs	2.0m 2.1m 2.0m 2.0m
Coverage (max)	15% 6% 15% 15%
Ground Area (max)	75m ² 21.0m ² 200m ² 206m ²
Height (max)	7.0m ± 4.0m 7.0m 7.0m
Location	Behind Dwelling In front of Dwelling
Dwelling Unit	not permitted permitted



June 24, 2020

Adam Farr, MCIP RPP
Director of Planning Services
Town of Collingwood
P.O. Box 157
Collingwood ON
L9Y 2L9

VIA EMAIL ONLY

Dear Mr. Farr,

**RE: Victoria Annex
West Side of Maple Street, between Fifth and Sixth Streets
Your File: D001818
Preconsultation Application**

This is further to preliminary telephone enquiries with Kandas Bondarchuk and Lindsay Ayers on the above noted property (outlined in Figure 1, over). I understand that there were two preconsultation meetings regarding a development proposal these lands; December 2018 and January 2019.

I'm aware that the subject lands have a history of planning applications and proposals. The purpose of this letter is not to review the history in any depth other than to acknowledge what the existing Official Plan and Zoning By-law provisions are. In addition, I'm aware that the lands are also subject to a Part 4 heritage designation.

The purpose of this application is to present changes to the previously submitted concept plans along with modifications to the Zoning By-law regulations. Our conclusion is that the proposed design changes represent an improvement over previous proposals and would enable an economically viable development program that would complement the existing neighbourhood. Excerpts of the proposed development Concept Plan are below, a full copy is appended.

Included with this submission is a contextual analysis brief describing the property, location, and proposal. In addition, the attached brief reviews the immediate area to provide context in terms of use, scale and nature.

OFFICIAL PLAN AND ZONING BY-LAW

The Official Plan designates the subject lands for medium density uses with limiting policies found in S. 4.3.2.6.3.3 (Victoria Annex – OPA#24). These limiting policies direct that permitted uses are single-detached dwellings, semi-detached dwellings, townhouse dwellings, one walk up apartment dwelling consisting of a maximum of seven units, home occupations and public

uses. A maximum of 19 dwelling units are permitted and the overall density is not to exceed 32 units per gross ha. In addition, the Official Plan policy requires that architectural and landscape design shall be sympathetic to the existing Victoria School Annex as well as adjacent residential neighbourhoods. Finally, the site-specific policy requires design guidelines to be completed to the Town's satisfaction as a condition of draft plan approval of the plan of subdivision.



Figure 1: Subject Lands at Fifth, Sixth and Maple Streets

The Zoning By-law zones the subject lands 'R3-38', Residential Third Density Exception 38 (see Figure 2, below). This site-specific zoning permits residential dwelling unit types listed in the Official Plan and, provides for additional regulations concerning a detached accessory building, parking requirements and the establishment of a private road under a Common Elements Condominium. In addition, Illustration 8 (see over) identifies a variety of setbacks for several building envelopes.

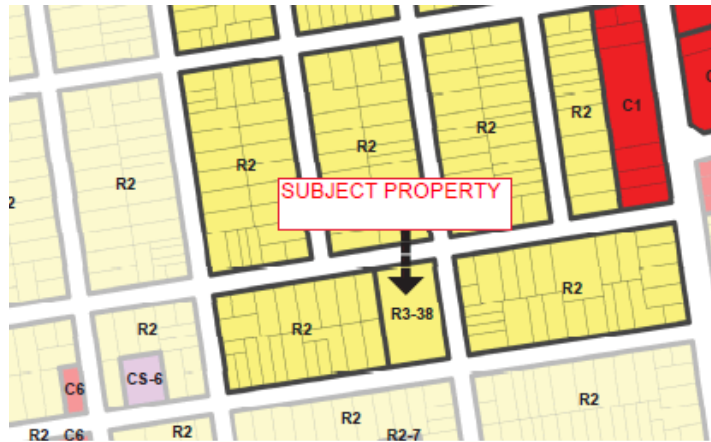
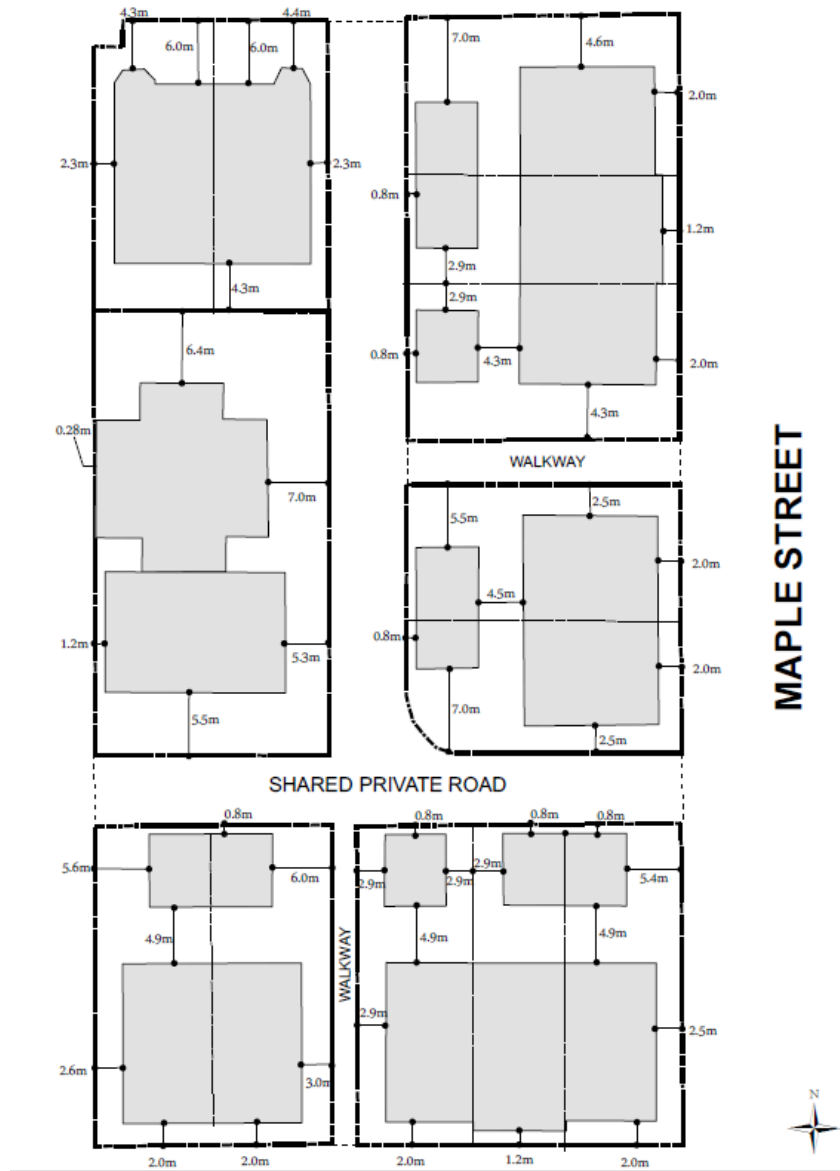


Figure 2: Zoning By-law Schedule A Excerpt



PROPOSAL

The subject lands are about 0.599ha in area having a frontage along Maple St of 99.4m while flanking both Fifth and Sixth Streets at about 60.6m each. The lands are generally flat and are occupied by the Victoria School Annex building (the Annex).

The proposal is to retain the existing Annex building and develop the site in accordance with Official Plan land use policy. The result would be a unique residential infill project consisting of four single detached dwellings, ten semi-detached dwellings and, five apartment dwellings for 19 dwelling units in total (Figure 4).



Figure 4: Development Concept Plan

Key differences in the approach of the proposed development concept plan over existing development parameters include:

1. The shared private road (condominium) access off Sixth Street is eliminated.
2. There is one driveway off Maple Street to serve the five apartment dwellings (the condominium tenure of the road to remain).
3. The driveway to serve the interior units has been re-designed so that it presents the Annex building to Maple Street.
4. The proposed single and semi-detached dwelling units address the public street frontages in a manner consistent with the established pattern.
5. Minimum yards along Maple Street and Sixth Street are increased from around 2m to 4.5m. Recessed garages will ensure driveway length compliance.
6. The Coach House is a detached building having an increased westerly yard to over 14m from 1.2m.

Preliminary site statistics taken from the development concept plan are provided in the table below. The main differences over what is currently approved reflect the design approach illustrated in the concept plan. Of note are:

1. The private road is reduced in length as it would serve the 5 apartment dwellings only.
2. The single detached and semi-detached dwellings will be serviced directly off the public streets, negating individual and unique zoning setbacks for detached garages and dwelling building envelopes.
3. As lotting is more traditional, implementing zoning standards relative to the standard R3 zone are achievable for the most part.
4. The existing zoning Illustration 8 schedule regulates for semi-detached and townhouse type dwelling units whereas the concept plan proposes single-detached and semi-detached dwelling units.

From a massing perspective, the proposed built form is intended to reflect the mid range of existing dwelling units within the immediate neighbourhood. Existing lot sizes vary as do heights and lot coverages. The proposed development concept and layout is structured to reflect existing lotting patterns and scale and, enable architectural design and treatment to be sympathetic to the older design influences evident in the neighbourhood. Design and context are further explained in the attached brief. We understand that a further design brief will be required at time of application for approvals.

Based on the development concept plan, the following are key municipal approvals that will be required (subject to confirmation):

1. Zoning By-law Amendment
2. Site Plan Approval
3. Heritage Impact Study to support Heritage Designation refinement and the development plan
4. Development Site Plan Agreement
5. Draft Plan of Subdivision

6. Condominium Plan
7. Deeming By-law (to be confirmed)
8. Part Lot Control By-law

ZONING REQUIREMENTS - R3 ZONE

	Singles		Semis		Apartment Units	
	Required	Proposed	Required	Proposed	Required	Proposed
Number of Units		4		10		5
Lot Area	325m ²	368.9m ²	275m ²	264.0m ²	nil	1,842.2m ²
Lot Frontage	10.0m	13.9m	9.0m	9.6m	nil	13.9m
Front Yard	4.5m	4.5m	4.5m	4.5m	7.5m	42.6m
Ext. Side Yard	4.5m	4.5m	4.5m	n/a	7.5m	n/a
Int. Side Yard	1.2m	1.2m	1.2m & 0.0	1.2m & 0.0	7.5m	4.8m
Rear Yard	7.5m	7.5m	7.5m	7.5m	7.5m	0.3m (existing)
Height (max)	12.0m	12.0m	12.0m	12.0m	15.0m	±10.0m
Coverage (max)	40%	45.9%	40%	47.6%	40%	24.8%
Landscaped Area	35%	49.3%	35%	45.6%	40%	47.8%
Parking Spaces	2 / unit	2 / unit	2 / unit	2 / unit	1.25 / unit	2.6 / unit
Accessible Parking					1	1

Accessory Bldgs

Interior Side Yard	1.0m	1.0m		1.0m	2.5m
Rear Yard	1.0m	1.0m		1.0m	14.6m
Setback to Bldgs	2.0m	3.0m		2.0m	8.2m
Coverage (max)	15%	5.7%		15%	10.9%
Ground Area (max)	75m ²	21.0m ²		200m ²	200m ²
Height (max)	7.0m	± 4.0m		7.0m	7.0m

Figure 4: Preliminary Site Statistics Based on Development Concept Plan

The Servicing Review from the project engineers address the revised development concept. A copy of the initial advisory (June 1, 2020) along with a sketch plan is included with this submission. Overall, it is concluded that the development according to the direction of the concept plan can be serviced through connections to existing town infrastructure. The advisory also addresses drainage, access, local road improvements, utilities and a commentary on geotechnical.

CONCLUDING COMMENTS

The subject lands have had several development attempts over the past decade. The original Zoning By-law passed to enable development of this former school site included a very prescriptive schedule of precise building envelopes that probably hampered the ability of successive owners to consider alternate designs better suited to both the market and neighbourhood.

The development concept forming the foundation of this preconsultation application is an advanced attempt at marrying three essential considerations:

1. Retention, utilization and incorporation of the Annex into a viable infill development.
2. Site and architectural approaches that respect and reflect historical design influences of both dwelling and site design.
3. Create and build a sensitive residential infill project that meets market expectations and succeeds in contributing to neighbourhood vitality.

As shown in the attached brief, the existing immediate neighbourhood is dominated by dwelling units of various shapes, sizes, ages and style. The street grid pattern along with key older buildings in the area provide an underlying historical perspective that reinforces form along with the simple fact that residential dwellings address the street frontage. The proposed concept plan recognizes these influences and will enable a creative and respectful architectural treatment.

Attached with this covering planning report are:

1. Preconsultation Application
2. Brief on Area Context and Design Approach
3. Tatham Engineering Summary Letter

We look forward to confirmation that the application and materials are in order and your offices can proceed with reviewing this application.

Yours Truly



Travis & Associates
Colin Travis, MCIP RPP

Cc: D. Bunston
Ryan McGonigle
Belinda Boucher

VICTORIA ANNEX

400 MAPLE STREET, COLLINGWOOD,
ONTARIO

PREPARED BY:
GEORGIAN COMMUNITIES
COLIN TRAVIS, TRAVIS & ASSOCIATES

APPROVED
PLANNING & DEVELOPMENT
SERVICES

Senior Manager, Urban Design

Date



Town File Number:
File Number:
Submission Date:

1.0 GENERAL



MAPLE ST. VIEW OF THE
EXISTING VICTORIA SCHOOL
ANNEX BUILDING

MAPLE ST.
PROPERTY
VIEW

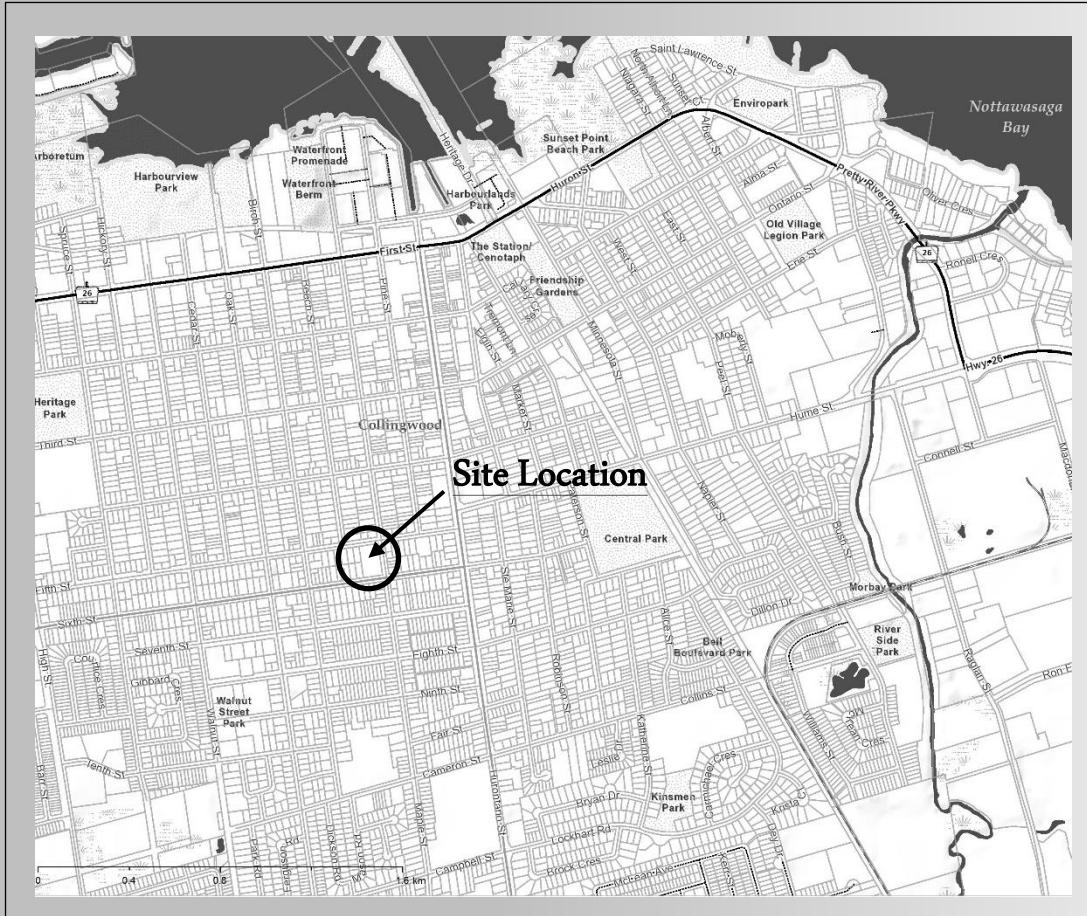


- **APPLICATION:** Preconsultation Application for proposed residential infill development on former school site in an existing built neighbourhood.
- **SCOPE OF PROPOSAL:** Retain existing school building, add 4 single detached, 10 semi-detached, 4 school house apartments and, 1 coach house apartment.
- **PURPOSE OF BRIEF:** To provide a general overview of the proposed applications along with the nature and character of the existing neighbourhood and how the proposal relates to existing built form and function – recognizing that substantial additional detail will be provided and reviewed through Site Plan Approval.

2.0 APPLICATION OVERVIEW

- **PLANNING APPROVALS REQUIRED:** Zoning By-law Amendment, Site Plan Approval, Draft Plan Subdivision, Condominium Plan.
- **OFFICIAL PLAN:** Existing- Schedule 'C' Medium Density Residential, S.4.3.2.6.3 Exception 3 limiting uses to singles, semis, towns, 7 apartments to maximum of 19 dwelling units along with design requirements.
- **ZONING BY-LAW:** Existing- R3-38 with specific building envelope requirements.
- **VISION:** An underutilized vacant parcel of land located withing walking distance of historic downtown Collingwood is transformed into a unique living experience that contributes to the variety and vitality of the community.
- **PRINCIPLES:** Acknowledge the existing Annex building through sympathetic design of new buildings and respect the scale and nature of surrounding residential uses.
- **OBJECTIVES:** Retain the existing Annex building and repurpose for custom residential dwellings; provide a range of dwelling types; incorporate architectural design elements that respect historical precedents and contribute to the scale and character of the immediate neighbourhood.

3.0 ADDRESS / SITE LOCATION



400 MAPLE STREET, COLLINGWOOD

Fronting onto Maple Street with a north property line along Fifth Street and a southerly property line along Sixth Street.

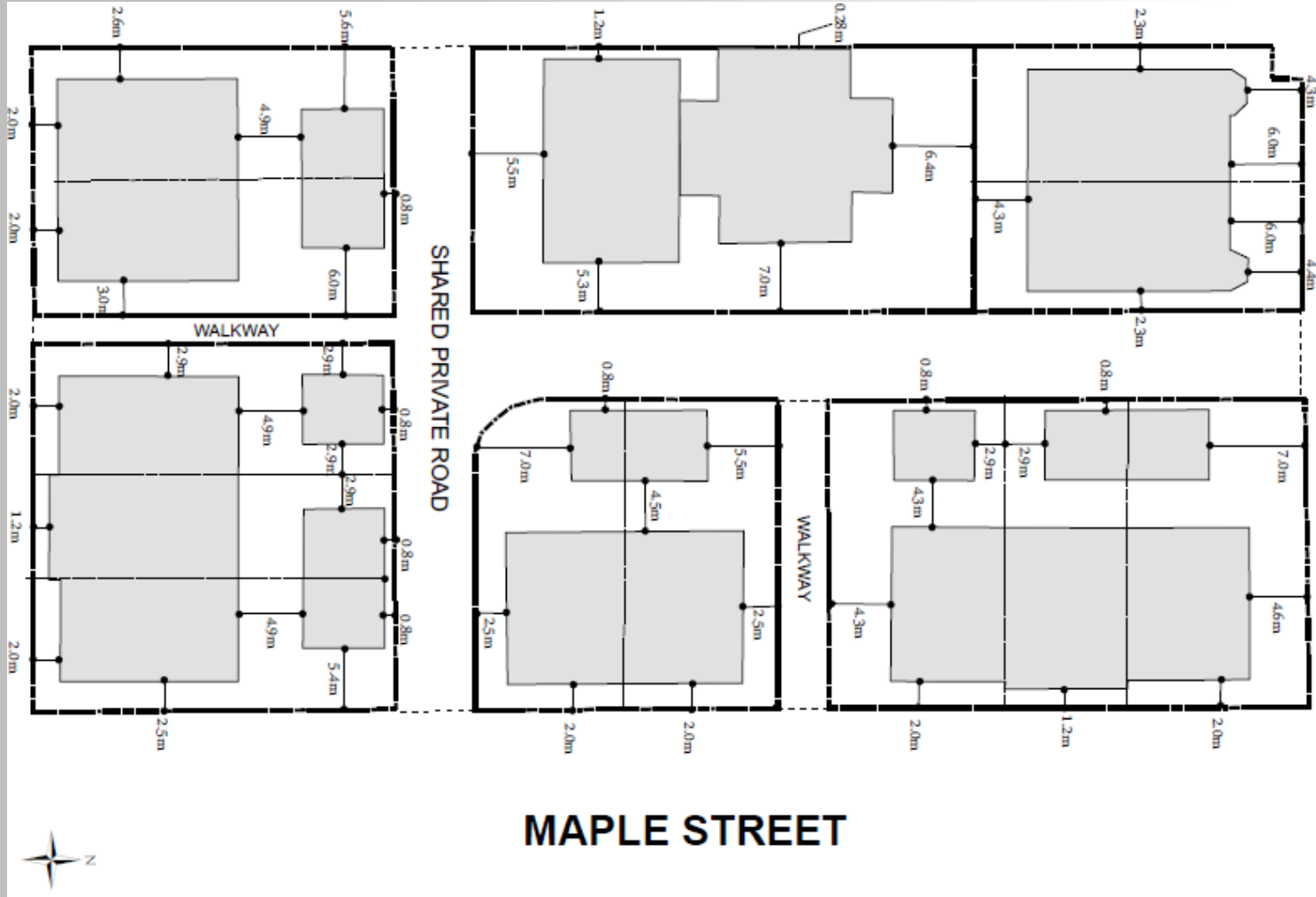
Apart from the school annex building the site is vacant.

Lands are generally flat, for the most part grassed with some border shrubbery.

Immediate neighbourhood dominated by older 1 and 2 storey single detached dwellings.

Within three blocks of Downtown Collingwood.

4.0 EXISTING ZONING BY-LAW "R3-38" – Building Envelopes



5.0 PROPOSED DEVELOPMENT CONCEPT



- Retain the school house (4 apartments)
- 10 semis, 4 singles and one coach house apartment
- Retain access off Maple St for the Annex and Coach House only
- Direct access off public streets for the singles and semis
- Amend the site specific zoning to reflect the modified site development plan by updating the Building Envelope schedule
- Update Draft Plan

5.1 CONCEPT PLAN DETAIL



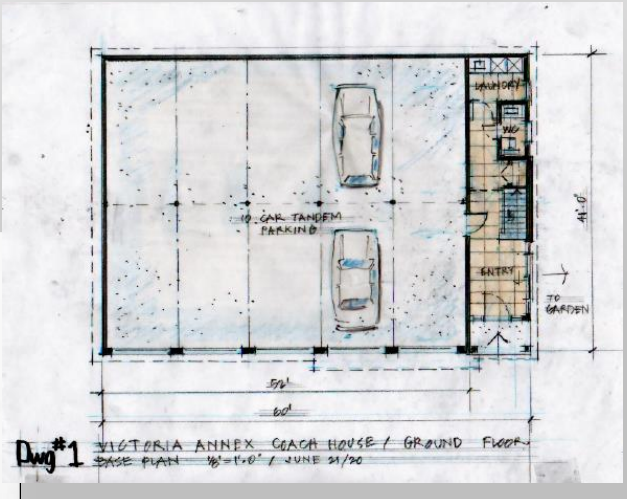
5.2 CONCEPT PLAN STATISTICS

ZONING REQUIREMENTS - R3 ZONE						
	Singles		Semis		Apartment Units	
	Required	Proposed	Required	Proposed	Required	Proposed
Number of Units		4		10		5
Lot Area	325m ²	368.9m ²	275m ²	264.0m ²	nil	1,842.2m ²
Lot Frontage	10.0m	13.9m	9.0m	9.6m	nil	13.9m
Front Yard	4.5m	4.5m	4.5m	4.5m	7.5m	42.6m
Ext. Side Yard	4.5m	4.5m	4.5m	n/a	7.5m	n/a
Int. Side Yard	12m	12m	12m & 0.0	12m & 0.0	7.5m	4.6m
Rear Yard	7.5m	7.5m	7.5m	7.5m	7.5m	0.3m (existing)
Height (max)	12.0m	12.0m	12.0m	12.0m	15.0m	±10.0m
Coverage (max)	40%	45.9%	40%	47.6%	40%	24.8%
Landscaped Area	35%	49.3%	35%	45.6%	40%	47.8%
Parking Spaces	2 / unit	2 / unit	2 / unit	2 / unit	1.25 / unit	2.6 / unit
Accessible Parking					1	1
Accessory Bldgs						
Interior Side Yard	10m	10m			1.0m	2.5m
Rear Yard	10m	10m			1.0m	14.6m
Setback to Bldgs	2.0m	3.0m			2.0m	8.2m
Coverage (max)	15%	5.7%			15%	10.9%
Ground Area (max)	75m ²	210m ²			200m ²	200m ²
Height (max)	7.0m	± 4.0m			7.0m	7.0m

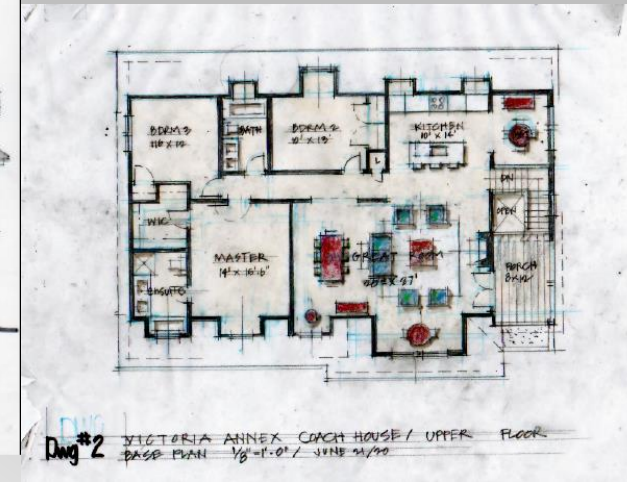
5.3 DESIGN STUDY PLANS – THE COACH HOUSE



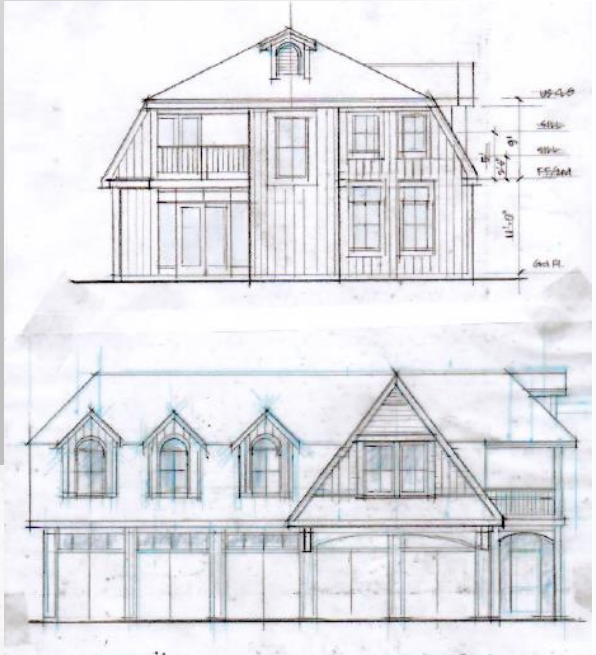
Dwg*4 VICTORIA ANNEX COACH HOUSE ELEVATIONS 1/8" = 1'-0" / JUNE 21/00



Dwg*1 VICTORIA ANNEX COACH HOUSE / GROUND FLOOR BASE PLAN 1/8" = 1'-0" / JUNE 21/00



Dwg*2 VICTORIA ANNEX COACH HOUSE / UPPER FLOOR BASE PLAN 1/8" = 1'-0" / JUNE 21/00

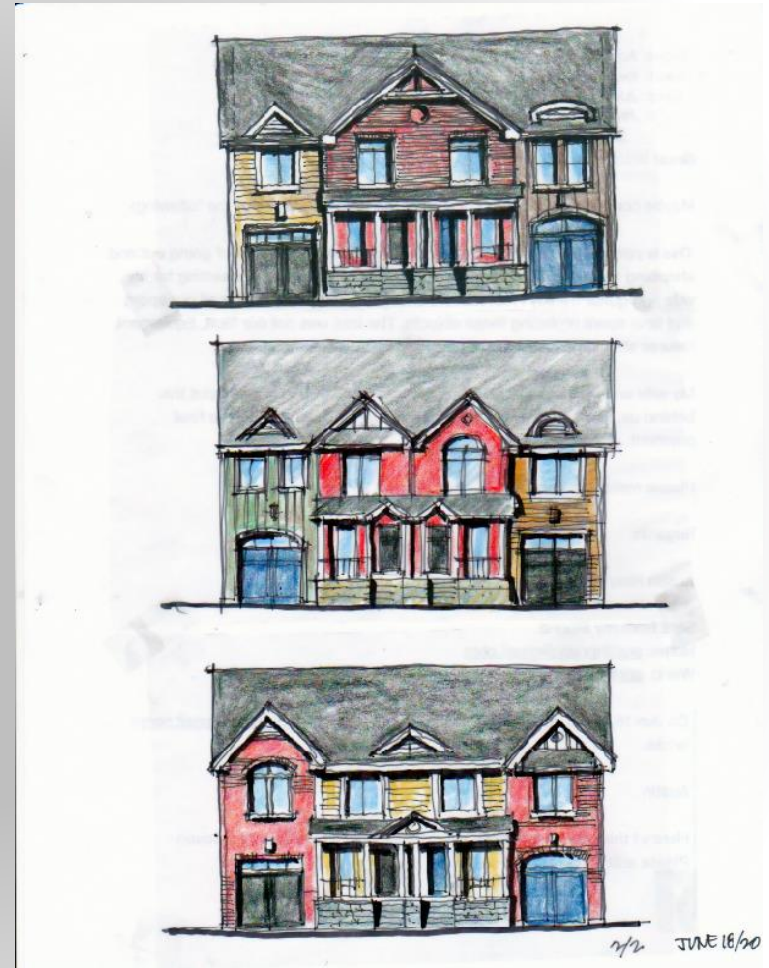
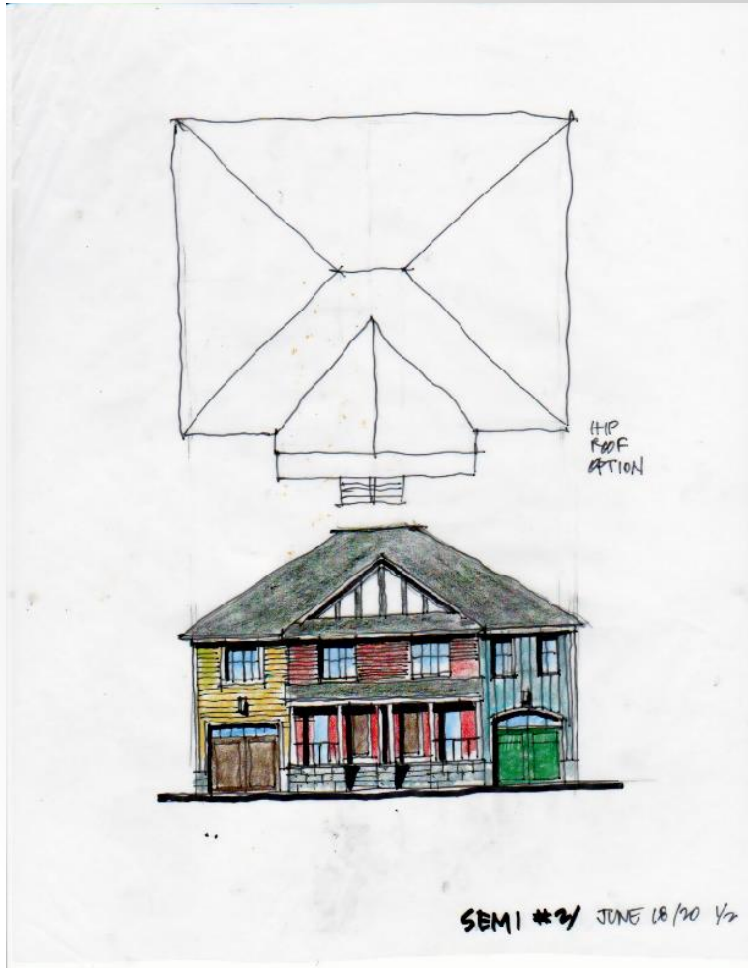


Dwg*3 VICTORIA ANNEX COACH HOUSE / ELEVATIONS BASE DWG 1/8" = 1'-0" / JUNE 21/00

5.3 DESIGN STUDY PLANS – SEMI-DETACHED UNITS



5.3 DESIGN STUDY PLANS – SEMI-DETACHED UNITS



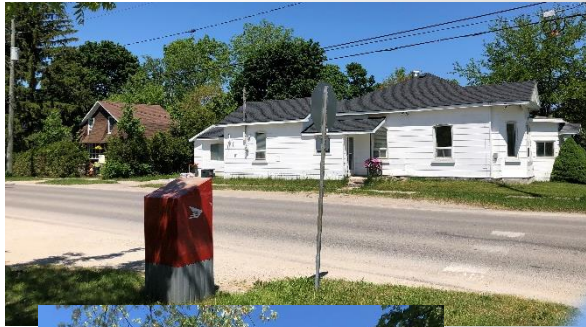
5.3 DESIGN STUDY PLANS – DETAIL SAMPLES



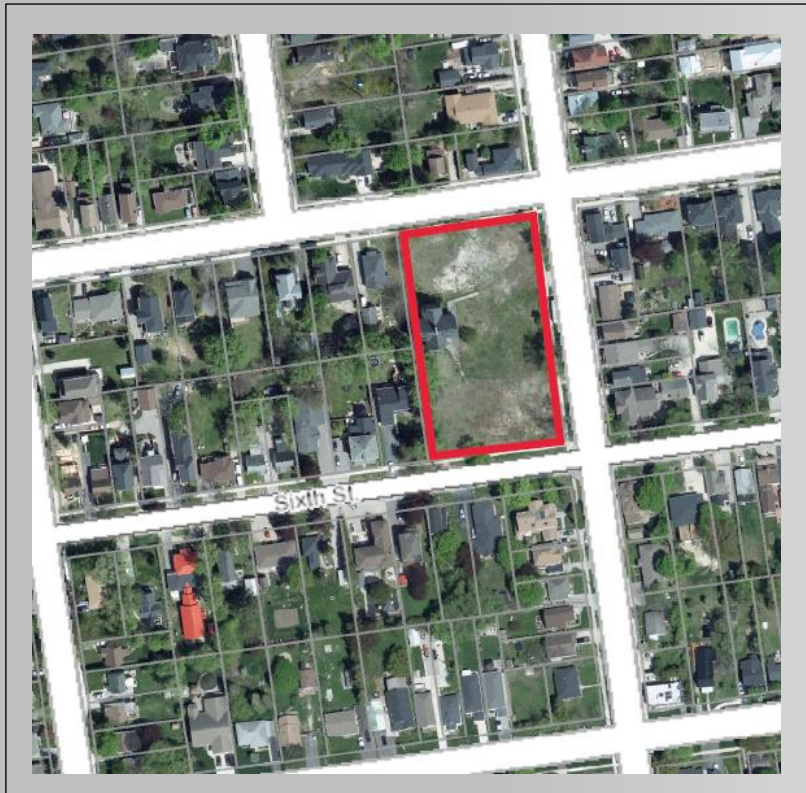
6.0 CONTEXT IMAGES / SURROUNDING LAND USE



CONTEXT IMAGES / SURROUNDING LAND USE (continued)



7.0 AREA CONTEXT OVERVIEW



- **LOT FABRIC:** Single detached residential lots; a range of lot configurations – narrow long, wide narrow, standard original block lotting, original lots severed to create infill opportunities.
- **STREET PATTERN:** Subject lands are set within historical standard grid pattern.
- **BUILT FORM:** One and two storey detached residential dwellings. A varied colour and materials pallet with architectural themes ranging from historical to 1950's 1960's, 1970's and later suburban. Massing along with roof lines and fenestration equally broad ranging, generally reflecting period influences.
- **VIEW & VISTAS:** Fairly well defined street edges assisted by existing built form characterized by varied front and side yard setbacks within an urban street grid pattern.
- **LANDMARKS:** The existing annex building is situated at the rear middle of this large block.
- **TRANSPORTATION:** Public transit stops flank the property, sidewalks are provided along all streets.

APPENDIX D

**Proposed Elevations and
Streetscapes**



MAPLE STREET

MAPLE STREET



FIFTH STREET



MAPLE STREET

SIXTH STREET



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