

ROYAL WINDSOR AT BALMORAL VILLAGE

TOWN OF COLLINGWOOD COUNTY OF SIMCOE



MUNICIPALITY

TOWN OF COLLINGWOOD
97 HURONTARIO STREET, P.O. BOX 157
COLLINGWOOD, ONTARIO, L9Y 3Z5

DEVELOPER

REID’S HERITAGE HOMES
6783 WELLINGTON ROAD 34, R.R. #22
CAMBRIDGE, ONTARIO N3C 2V4

DEVELOPER’S ENGINEER



THE HARBOUREDGE BUILDING,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

LANDSCAPE ARCHITECT



THE HARBOUREDGE BUILDING,
40 HURON STREET, SUITE 301,
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ARCHITECT

KNYMH ARCHITECTURE SOLUTIONS
1006 SKYVIEW DRIVE SUITE 101
BURLINGTON, ONTARIO L7P 0V1

DRAWING

SP1
A100
A450
101
101B
102
103
104
105
E100
E101
LP1
LD1–LD2

TITLE

SITE PLAN
UNDERGROUND PARKING
COLOURED ELEVATIONS
SITE GRADING PLAN
CROSS SECTIONS
GENERAL SITE SERVICING PLAN
STORM AREA DRAINAGE PLAN
SEDIMENT CONTROL PLAN
GENERAL NOTES AND STANDARD DETAILS
SITE PLAN – PHOTOMETRIC
LIGHTING DETAILS
LANDSCAPE PLAN
LANDSCAPE DETAILS

MASTER LEGEND

EXISTING FEATURES (EX.)

	EX. CONTOUR
	EX. GRADE
	EX. TREELINE
	EX. WATERCOURSE
	EX. DITCH
	EX. WATERMAIN
	EX. WATER SERVICE
	EX. FIRE HYDRANT & VALVE
	EX. SANITARY SEWER & MANHOLE
	EX. SANITARY FORCEMAIN
	EX. SANITARY SERVICE
	EX. STORM SEWER & MANHOLE
	EX. STORM CATCHBASIN
	EX. STORM DOUBLE CATCHBASIN
	EX. STORM CATCHBASIN MANHOLE
	EX. STORM DOUBLE CATCHBASIN MANHOLE
	EX. GAS MAIN
	EX. BELL LINE
	EX. BELL PEDESTAL
	EX. CABLE TELEVISION PEDESTAL
	EX. HYDRO POLE
	EX. LIGHT STANDARD
	EX. SIGN
	EX. BUILDING
	EX. BENCHMARK NUMBER & LOCATION
	EX. BOREHOLE NUMBER & LOCATION

PROPOSED FEATURES (PR.)

	PR. PROPERTY LIMITS
	PR. ELEVATION
	PR. ELEVATION (MATCH EX. ELEVATION)
	PR. SWALE & SLOPE
	PR. DITCH DRAINAGE
	PR. WATERMAIN & VALVE
	PR. WATER SERVICE
	PR. FIRE HYDRANT & VALVE
	PR. WATER VALVE CHAMBER
	PR. WATER QUALITY TESTING STATION
	PR. SANITARY SEWER & MANHOLE
	PR. SANITARY FORCEMAIN
	PR. SANITARY SERVICE
	PR. SANITARY CATCHMENT
	CATCHMENT AREA ID
	AREA (ha)
	POPULATION (3.5 p.p.u.)
	PR. STORM SEWER & MANHOLE
	PR. CATCHBASIN
	PR. DOUBLE CATCHBASIN
	PR. CATCHBASIN MANHOLE
	PR. DOUBLE CATCHBASIN MANHOLE
	PR. STORM CATCHMENT
	CATCHMENT AREA ID
	RUNOFF COEFFICIENT
	DRAINAGE AREA (ha)
	PR. CURB CUT
	PR. CANADA POST COMMUNITY MAIL BOX
	PR. TRANSFORMER
	PR. STOP SIGN
	PR. NAME SIGN
	PR. NO PARKING SIGN
	PR. FENCE
	PR. BUILDING ENVELOPE
	PR. LIGHT DUTY SILT FENCE
	PR. HEAVY DUTY SILT FENCE
	PR. STRAW BALE CHECK FLOW
	PR. ROCK CHECK DAM
	PR. SLOPE (3:1 MAX.)
	PR. TREE PRESERVATION AREA
	PR. TOPSOIL STOCKPILE LOCATION

PROJECT No.: 183-4877
RE-ISSUED FOR SITE PLAN APPROVAL

NOTES:

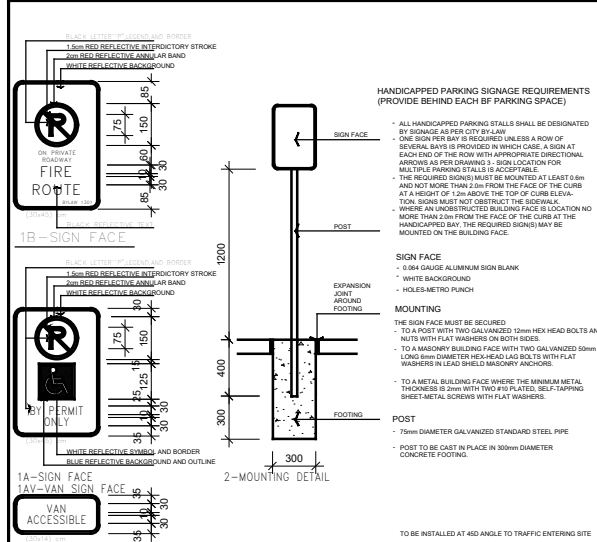
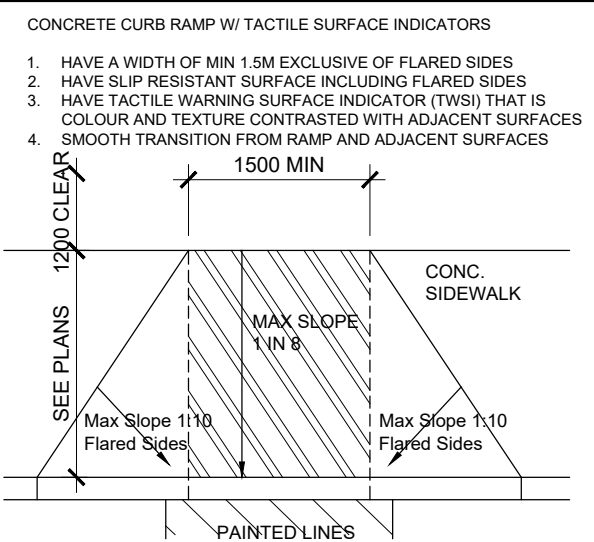
THE OWNER IS REQUIRED TO REMOVE SNOW OFF SITE AND MAINTAIN REQUIRED PARKING UNENCUMBERED BY SNOW DURING MAJOR SNOW EVENTS.
THE OWNER IS REQUIRED TO REMOVE SNOW AND ICE FROM ALL EXIT PATHS AND STAIRS.
SNOW WILL BE REMOVED FROM SITE BY PRIVATE COMPANY.

DRIVEWAYS ARE TO BE 1.2 CLEAR OF UTILITY STRUCTURES AND HYDRANTS.
BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS, AND OTHER SERVICES.
IF MINIMUM DIMENSION IS NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.

PRIOR TO THE COMMENCEMENT OF ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE, THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICE DEPARTMENT, TOWN OF COLLINGWOOD, FOR THE PURPOSE OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT), AND SERVICING EXCAVATIONS (ROAD ALLOWANCE PERMIT) WITHIN THE PROPERTY, (ENTRANCE PERMIT), AND SERVICING.

PARKING STALL DELINEATION TO BE 100MM WIDE WHITE OR YELLOW MARKINGS.
VISITOR PARKING TO BE MARKED WITH A PAINTED V.
RESIDENT PARKING TO BE MARKED WITH PAINTED NUMBERS.

ALL REFUSE WILL BE STORED INTERNALLY.
WASTE TO BE COLLECTED BY PRIVATE SERVICE.



LEGEND

- ◀ APARTMENT PRINCIPAL/ VISITOR ENTRY
- ◀ APARTMENT EXIT DOOR
- ◀ UNDERGROUND PARKING GARAGE ENTRY
- ◀ UNDERGROUND SERVICE ENTRY
- R RESIDENT PARKING SPACE
- P PATIO @ GRADE
- BFC BARRIER FREE CURB
- VERTICAL ACCESSIBLE PARKING SIGN
- VERTICAL ACCESSIBLE PARKING SIGN W/ VAN SIGN
- PAINTED BARRIER FREE PARKING SYMBOL AS PER MUNICIPAL STANDARDS
- STOP SIGN
- HYDRANT
- SIAMSE CONNECTION
- FIRE ACCESS ROUTE SIGN
- STREETLIGHT
- TRANSFORMER
- E ELECTRICAL SERVICE
- CONCRETE SIDEWALK
- LANDSCAPE
- SOD
- ZEBRA PATTERN LINE PAINTING

132 UNITS TOTAL
122 UG SPACES +27 TANDEM
42 SURFACE SPACES
164 TOTAL SPACES (164 REQ'D)
19 PARALLEL STREET SPACES (BONUS)
T = SURFACE TENANT SPACE

R4-4 (H-18) ZONE AS AMENDED

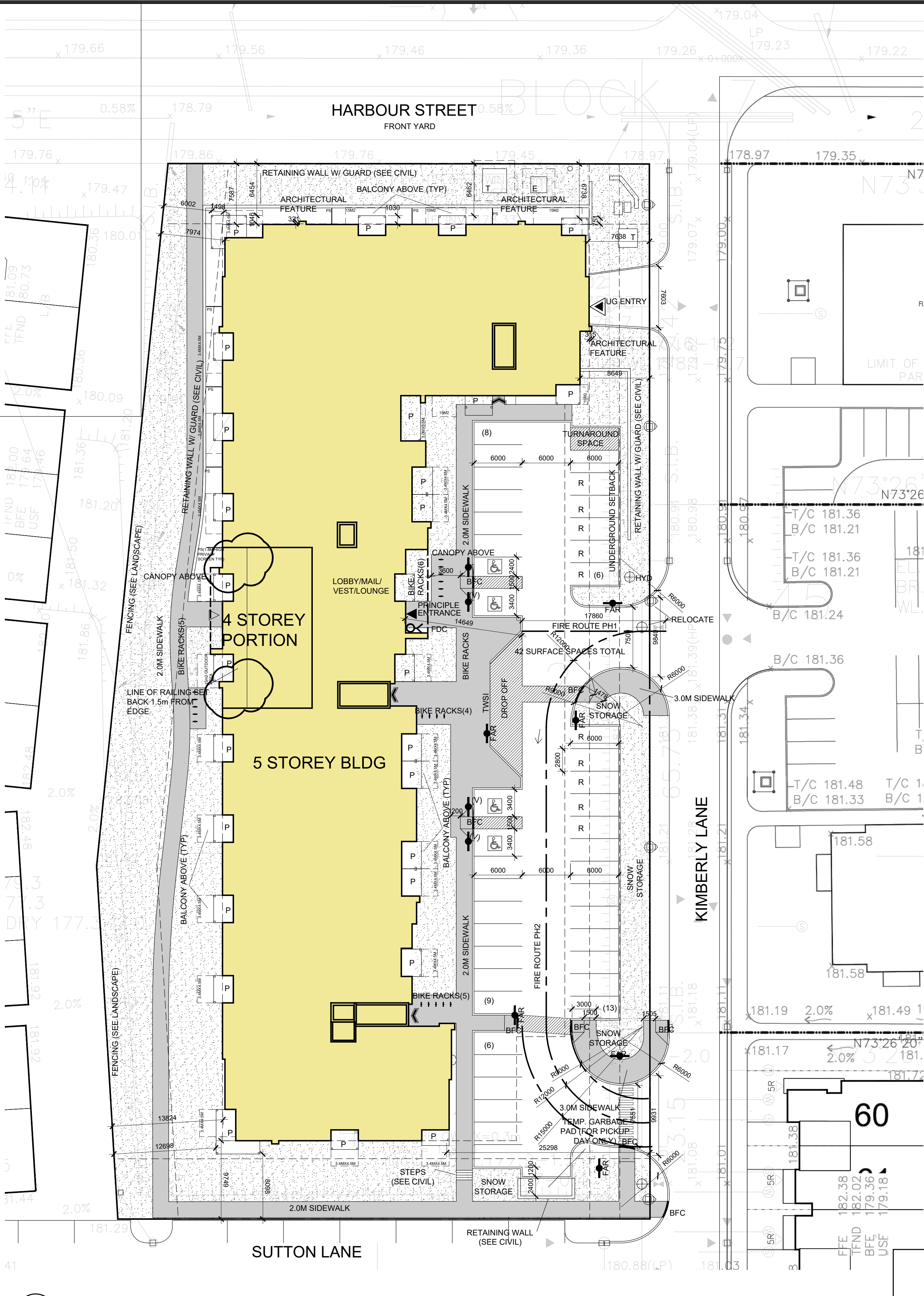
ZONING BY-LAW SUMMARY

TOWN OF COLLINGWOOD ZONING BYLAW 2010-040

OFFICIAL PLAN DESIGNATION "RESIDENTIAL MIXED USE"

132 UNITS

GENERAL INFORMATION:		
ZONING	R4-4 (H-18) AS AMENDED	MINOR VARIANCE NO D13118
LOT AREA	5595.75M	0.5501HA
TABLE 6.3.1.3 - RESIDENTIAL FOURTH DENSITY (R4) PROVISIONS	REQUIRED FOR APARTMENT	PROVIDED
USE		
MIN LOT AREA	NIL	5595.7 m2 (0.859 HA)
MIN LOT FRONTAGE	30.0M	59.91M
MIN FRONT YARD	7.5M	7.5M
MIN EXTERIOR SIDE YARD	7.5M	7.5M
MIN INTERIOR SIDE YARD	7.5M	7.5M
MIN REAR YARD	7.5M	9.7M
MAX HEIGHT	18M (SUPERCEDED BELOW BY VARIANCE) HEIGHT IS VERTICAL DISTANCE MEASURED FROM GRADE TO HIGHEST POINT OF ROOF DECK SURFACE OR TOP OF RIDGE OF SLOPED ROOF (GRADE IS AVERAGE LEVEL OF PROPOSED OR FINISHED GROUND AT ALL WALLS)	19M (PER VARIANCE) 5 STOREIES
MAX LOT COVERAGE	40% (SUPERCEDED BELOW BY VARIANCE)	36% (3088M2)
MIN LANDSCAPED OPEN SPACE	40%	41% (3555M2)
DENSITY	133 UNITS	132 UNITS
UNDERGROUND PARKING SETBACK	FRONT YARD - HALF OF THAT REQUIRED FOR THE MAIN BUILDING OR MAIN USE SUPERCEDED BELOW BY VARIANCE EXTERIOR SIDE YARD - HALF OF THAT REQUIRED FOR THE MAIN BUILDING OR MAIN USE INTERIOR SIDE YARD - NIL REAR YARD - NIL	7.5M
UNDERGROUND PARKING DEPTH	ANY PORTION MUST BE 0.6M BELOW EXISTING GRADE	0.6M
ENTRANCE WIDTH GC 5.3	ENTRANCE WIDTH FOR GROUP OR CLUSTER DWELLINGS = 7.5M	7.5M
RESIDENTIAL FOURTH DENSITY EXCEPTION FOUR - R4-4 ZONE THE FOLLOWING EXEMPTIONS SHALL APPLY		
PARKING	1 SPACE PER UNIT PLUS AN ADDITIONAL 0.25 SPACES PER UNIT FOR VISITOR PARKING (SUPERCEDED BELOW BY VARIANCE)	122 UG (+27 TANDEM) 164 TOTAL (+27 TANDEM)
PARKING	THE REQUIRED PARKING MAY BE LOCATED ON AN ABUTTING LOT	NOT REQUIRED
PARKING	THE MINIMUM FRONT YARD SETBACK FOR AN UNDERGROUND PARKING GARAGE IS NIL	
MINOR VARIANCE NOP D13118		
MAX COVERAGE	42%	
MAX HEIGHT	19.0M	
PARKING	DECREASE THE PARKING FROM 162 SPACES TO 153 SPACES, THUS A DECREASE OF 9 SPACES.	
GENERAL CONDITIONS EXEMPTIONS		
ENCROACHMENTS	ARCHITECTURAL FEATURES 0.6M UNENCLOSED PORCH 1.5M BUT NOT CLOSER THAN 1.2M TO LOT LINE, UP TO 3.0M SETBACK IN REAR YARD ENCLOSED BALCONY 1.5M BUT NOT CLOSER THAN 1.2M TO LOT LINE CANOPY MAY PROJECT HALFWAY INTO A REQUIRED YARD	
PARKING AISLE SIZE GREATER THAN 7.0 DEGREES	6.0M	6.0M
PARKING SPACE SIZE (PERPENDICULAR)	6.0M X 2.8M	6.0M X 2.8M
PARKING SPACE SIZE (PARALLEL)	7.0M X 2.8M	7.0M X 2.8M
BF PARKING SPACE SIZE (PERPENDICULAR)	6.0M X 4.5M	AODA SUPERCEDES
BF PARKING SPACE SIZE (PARALLEL)	7.0M X 4.5M	
BF PARKING QUANTITY	1-25 - 1 26-50 - 2 51-100 - 3 OVER 100 - 2% = 3.4 REQ'D	4 SPACES
LOADING SPACE REQUIRED	NONE	NONE
BICYCLE SPACES	ANY GROUP OR CLUSTER RESIDENTIAL 0.5SPACES PER UNIT TO A MAX OF 20 SPACES	20



CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB

CONDITIONS BEFORE PROCEEDING WITH WORK.

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THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OR HER WORK.

KEY TO DETAIL LOCATION

No. DETAIL NUMBER
Drawing Sheet Number

DRAWING SETS ISSUED	No.	DATE (DD.MM.YY)	BY
CONCEPT 1 - 133 UNITS	1.	13.06.19	MB
CONCEPT 2 - 132 UNITS	2.	27.06.19	MB
PRE-CONSULTATION	3.	09.07.19	MB
SITE PLAN APPROVAL	4.	06.01.20	MB
S.P.A. RESUBMISSION	5.	24.07.20	MB
S.P.A. RESUBMISSION	6.	16.11.20	MB
S.P.A. RESUBMISSION	7.	25.03.21	MB

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING

No. DATE (DD.MM.YY) BY

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION WITHOUT PERMIT

BUILDING PERMIT NUMBER:

NOT FOR CONSTRUCTION WITHOUT PERMIT

KNYMH

ARCHITECTURE • SOLUTIONS

KNYMH INC.

1006 SKYVIEW DRIVE • SUITE 101

BURLINGTON, ONTARIO • L7P 0V1

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F 905.639.0394

www.knymh.com info@knymh.com

TRUE NORTH

PROJECT NORTH

ROYAL WINDSOR AT BALMORAL VILLAGE

KIMBERLY LANE

COLLINGWOOD, ONTARIO

DRAWING SHEET TITLE:

SITE PLAN

DRAWING SCALE:

1:200

PROJECT NUMBER:

19029

DRAWN BY:

CHECKED BY:

DRAWING VERSION:

001

PLOT DATE:

March 25, 2021

DRAWING SHEET NUMBER:

SP1



DRAWN BY: --	CHECKED BY: --	DRAWING SHEET NUMBER: A100
DRAWING VERSION: 001		
PLOT DATE: November 16, 2020		



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DRAWING SETS ISSUED	No.	DATE (DD,MM,YY)	BY
SITE PLAN APPROVAL	1.	06.01.20	MB
S.P.A. RESUBMISSION	2.	24.07.20	MB
25% SET	3.	05.03.21	MB
S.P.A. RESUBMISSION	4.	25.03.21	MB

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

[illegible]

BUILDING PERMIT NUMBER:
NOT FOR CONSTRUCTION W/O PERMIT

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www.knymh.com info@knymh.com

ONTARIO ASSOCIATION
OF
ARCHITECTS

PRZEMYSŁAW MYSKOWSKI
LICENCE
7984

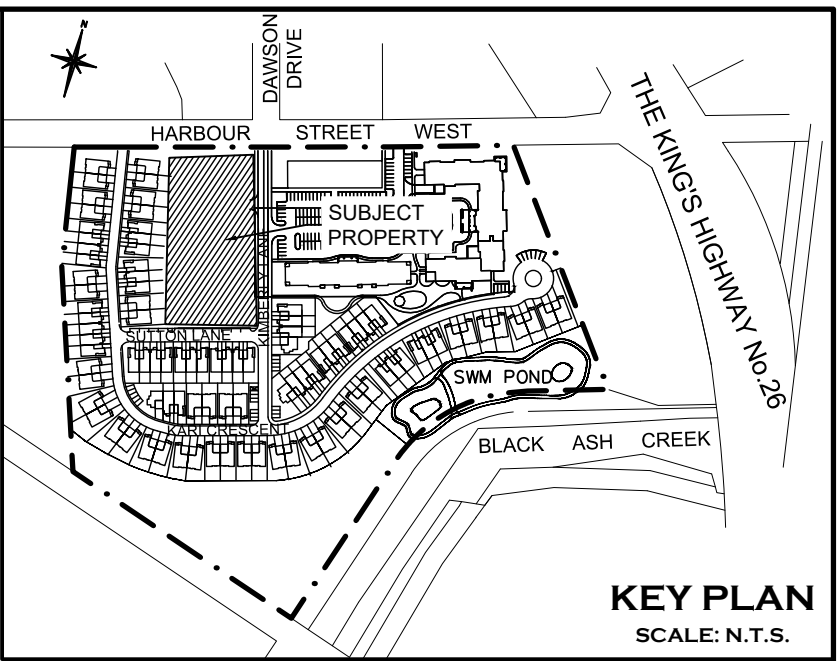
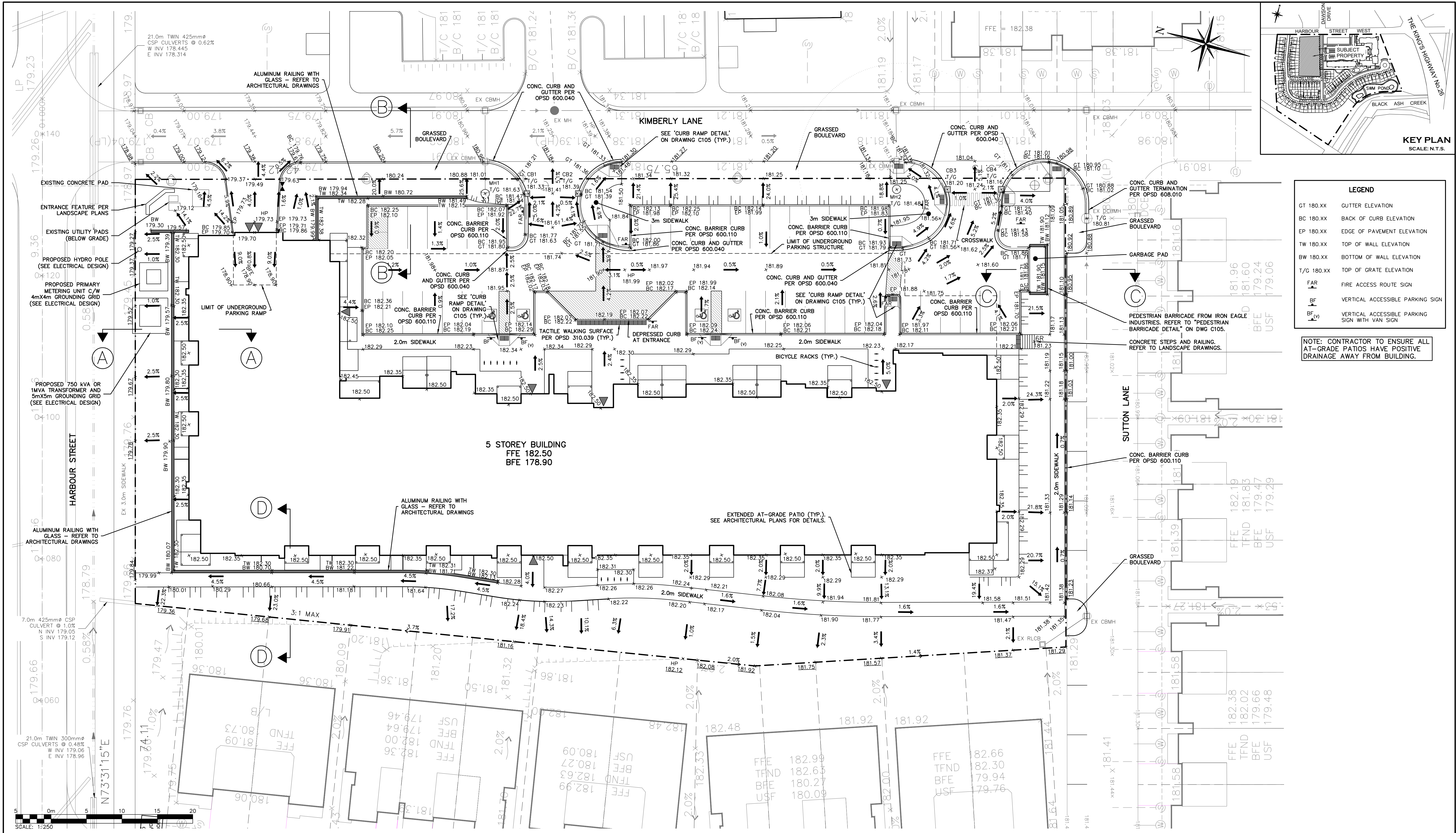
ROYAL WINDSOR

BALMORAL VILLAGE BLOCK 2,
COLLINGWOOD, ONTARIO

DRAWING SHEET
TITLE:

COLOURED
ELEVATIONS

DRAWING SCALE: As indicated		PROJECT NUMBER: 19029	
DRAWN BY: Author	CHECKED BY: Checker	DRAWING SHEET NUMBER: A450	
DRAWING VERSION:			
PLOT DATE: 2021.03.23			



LEGEND	
GT 180.XX	GUTTER ELEVATION
BC 180.XX	BACK OF CURB ELEVATION
EP 180.XX	EDGE OF PAVEMENT ELEVATION
TW 180.XX	TOP OF WALL ELEVATION
BW 180.XX	BOTTOM OF WALL ELEVATION
T/G 180.XX	TOP OF GRATE ELEVATION
FAR	FIRE ACCESS ROUTE SIGN
BF	VERTICAL ACCESSIBLE PARKING SIGN
BF (V)	VERTICAL ACCESSIBLE PARKING SIGN WITH VAN SIGN

NOTE: CONTRACTOR TO ENSURE ALL AT-GRADE PATIOS HAVE POSITIVE DRAINAGE AWAY FROM BUILDING.

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4. DO NOT SCALE THE DRAWINGS.

5. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

GEODETIC BENCHMARK
GEODETIC BENCHMARK 720313 HAVING AN ELEVATION OF 179.633, TABLET IN WEST FOUNDATION OF FORMER KAUFMAN FURNITURE BUILDING.

TEMPORARY BENCHMARKS

TBM#1
1/NOT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH KARI CRESCENT. ELEV. 180.72

TBM#2
1/NOT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH DAWSON DRIVE. ELEV. 180.52

TBM#3
1/NOT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET, 145m EAST OF DAWSON DRIVE INTERSECTION. ELEV. 180.28

No.	ISSUE	DATE: MM/DD/YYYY
1	ISSUED FOR 1st SUBMISSION	01/08/2020
2	ISSUED FOR 2nd SUBMISSION	07/24/2020
3	ISSUED FOR SITE PLAN APPROVAL	11/13/2020
3	RE-ISSUED FOR SITE PLAN APPROVAL	25/03/2021

Licensed Professional Engineer
G.F. COOPER
100532614
March 25, 2021
PROVINCE OF ONTARIO

Licensed Professional Engineer
R.A. ALEXANDER
100213083
March 25, 2021
PROVINCE OF ONTARIO

Project: ROYAL WINDSOR AT BALMORAL VILLAGE
TOWN OF COLLINGWOOD

Drawing: SITE GRADING PLAN

Drawn By: J.A.P.

Design By: J.O.

Project: 183-4877

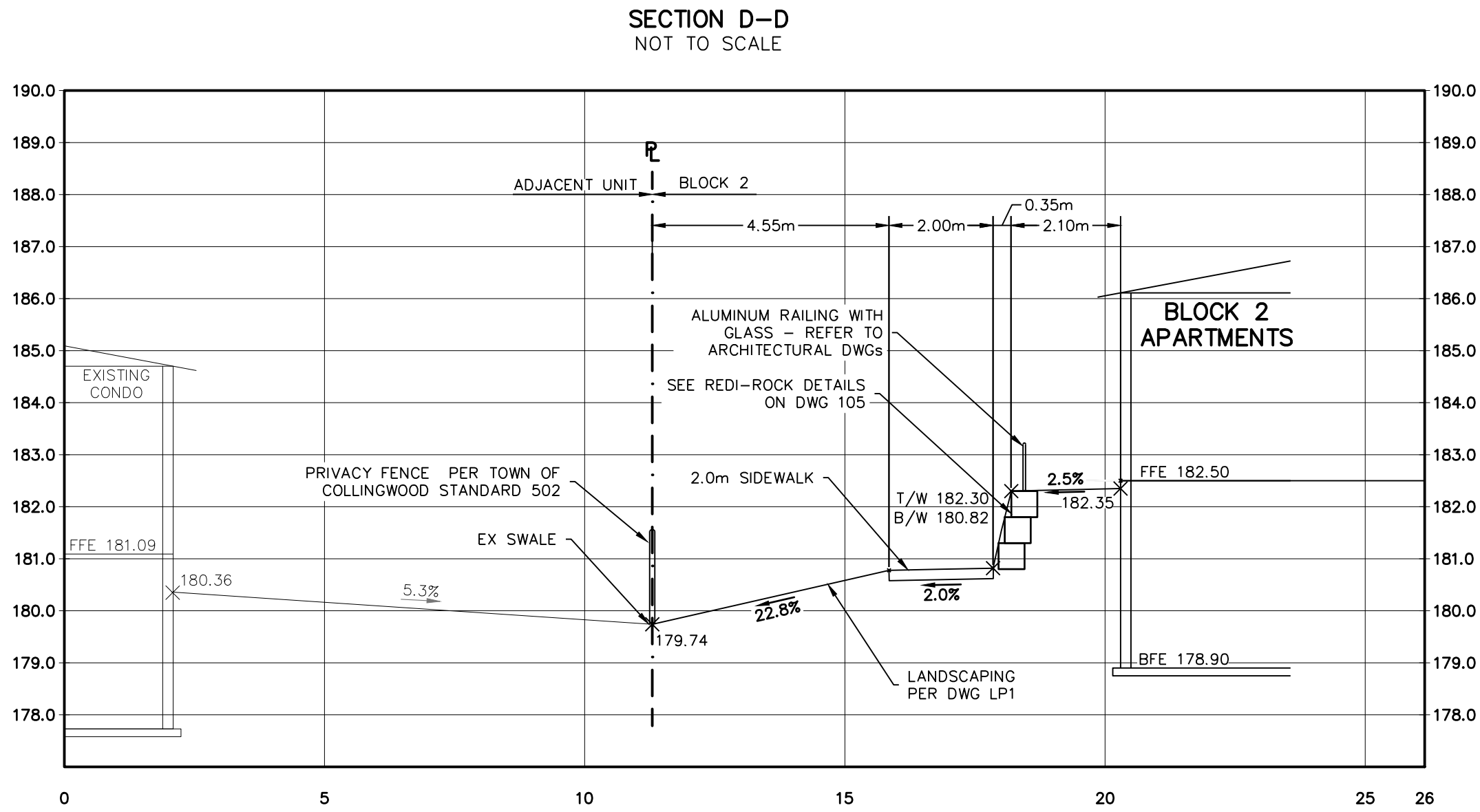
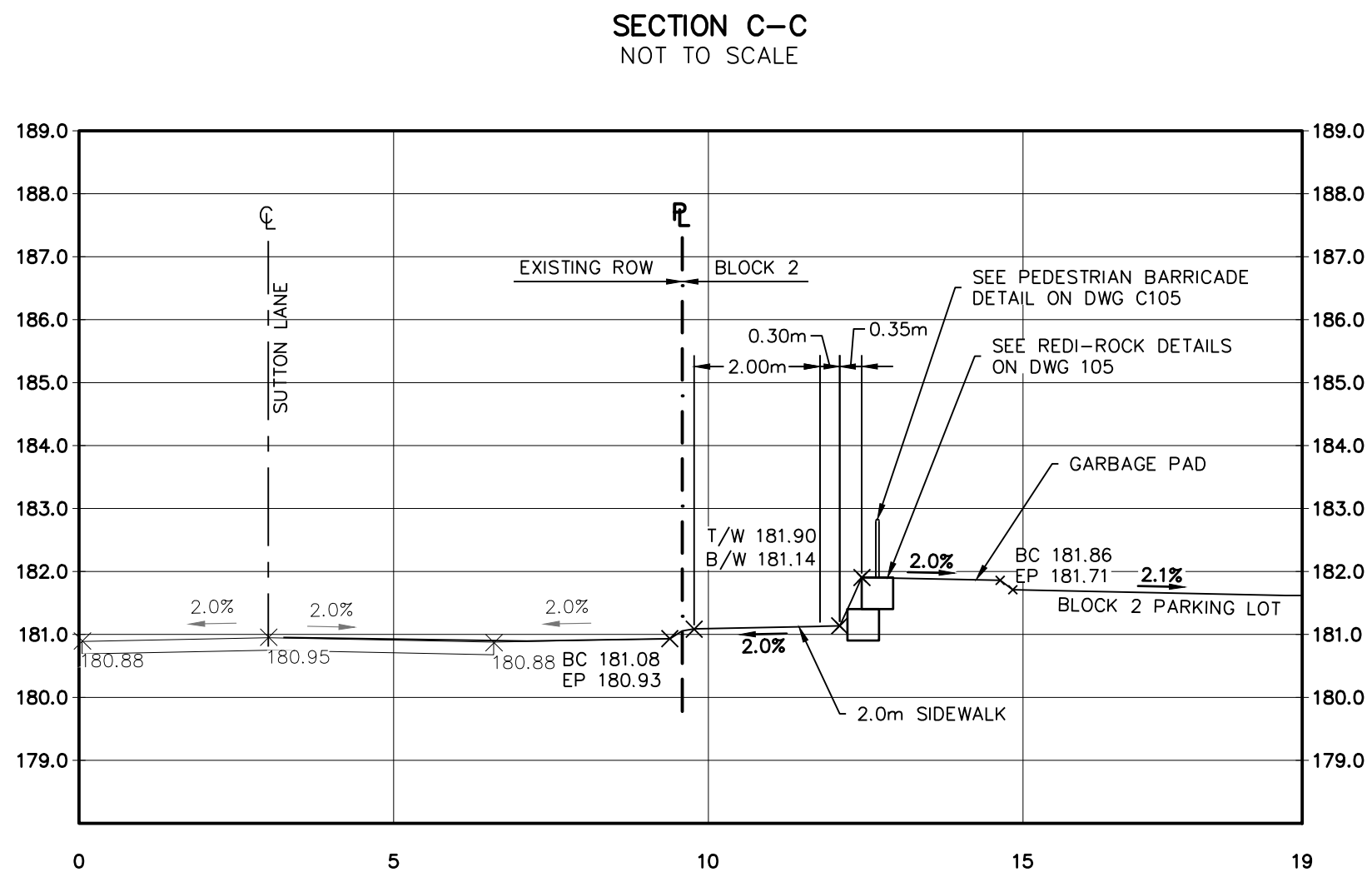
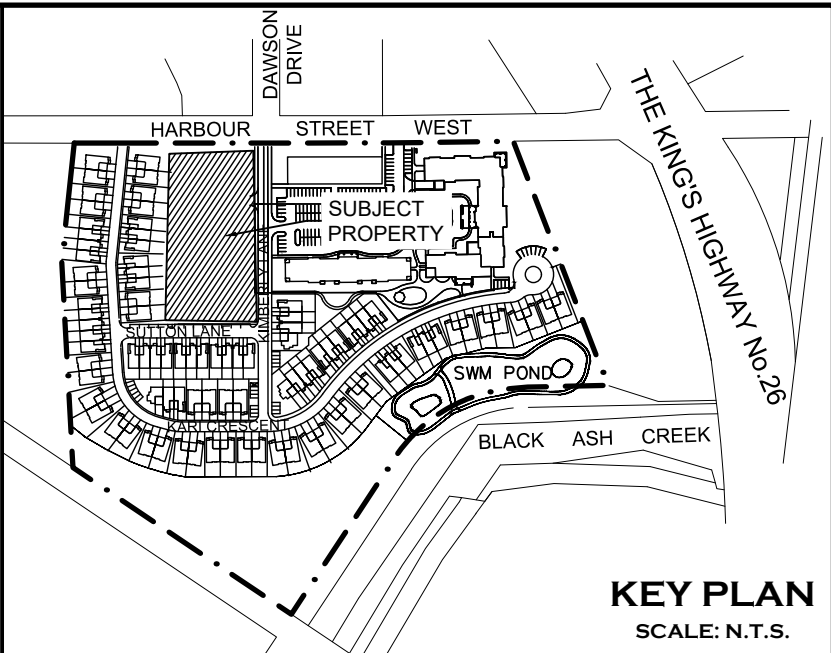
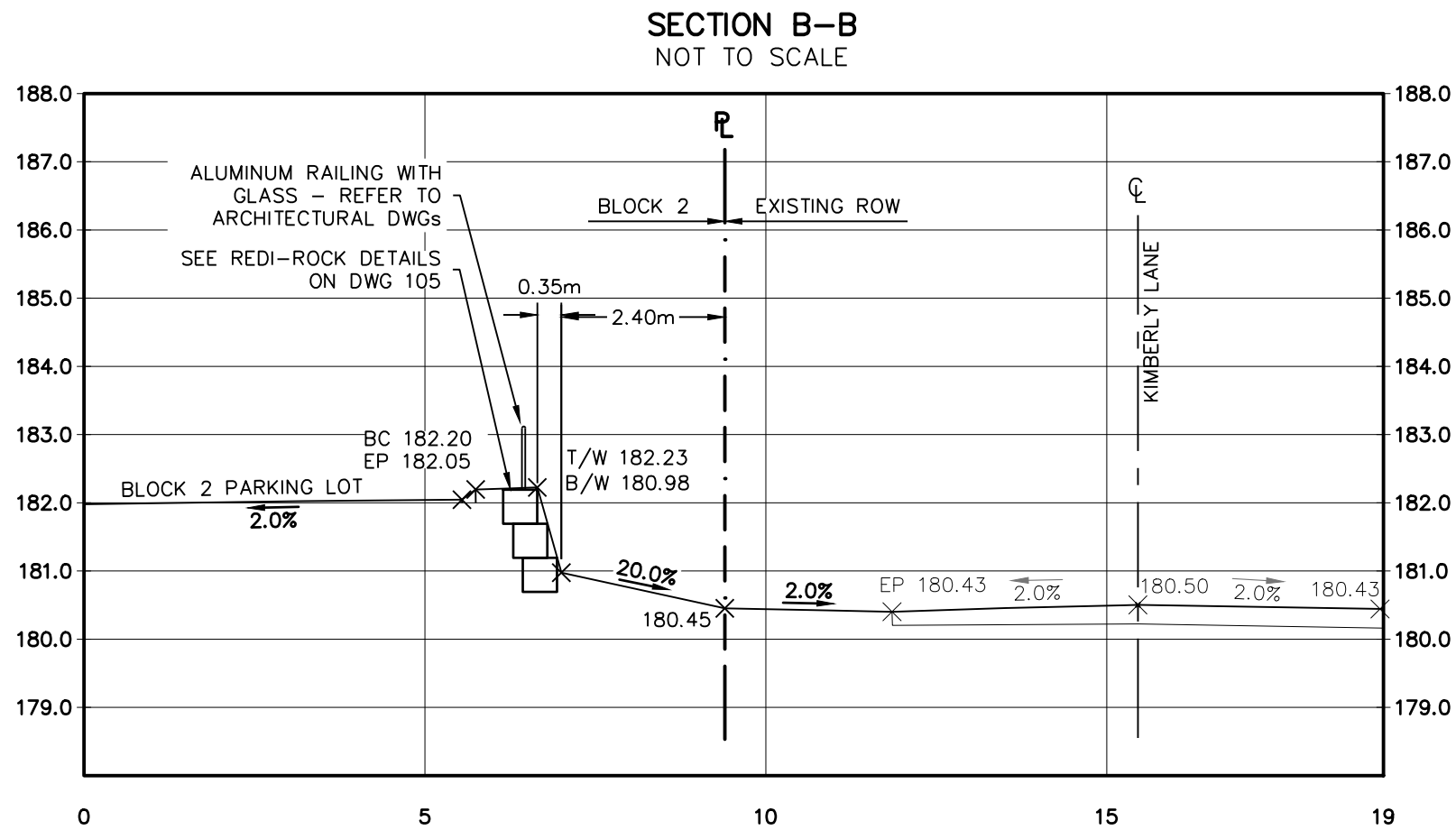
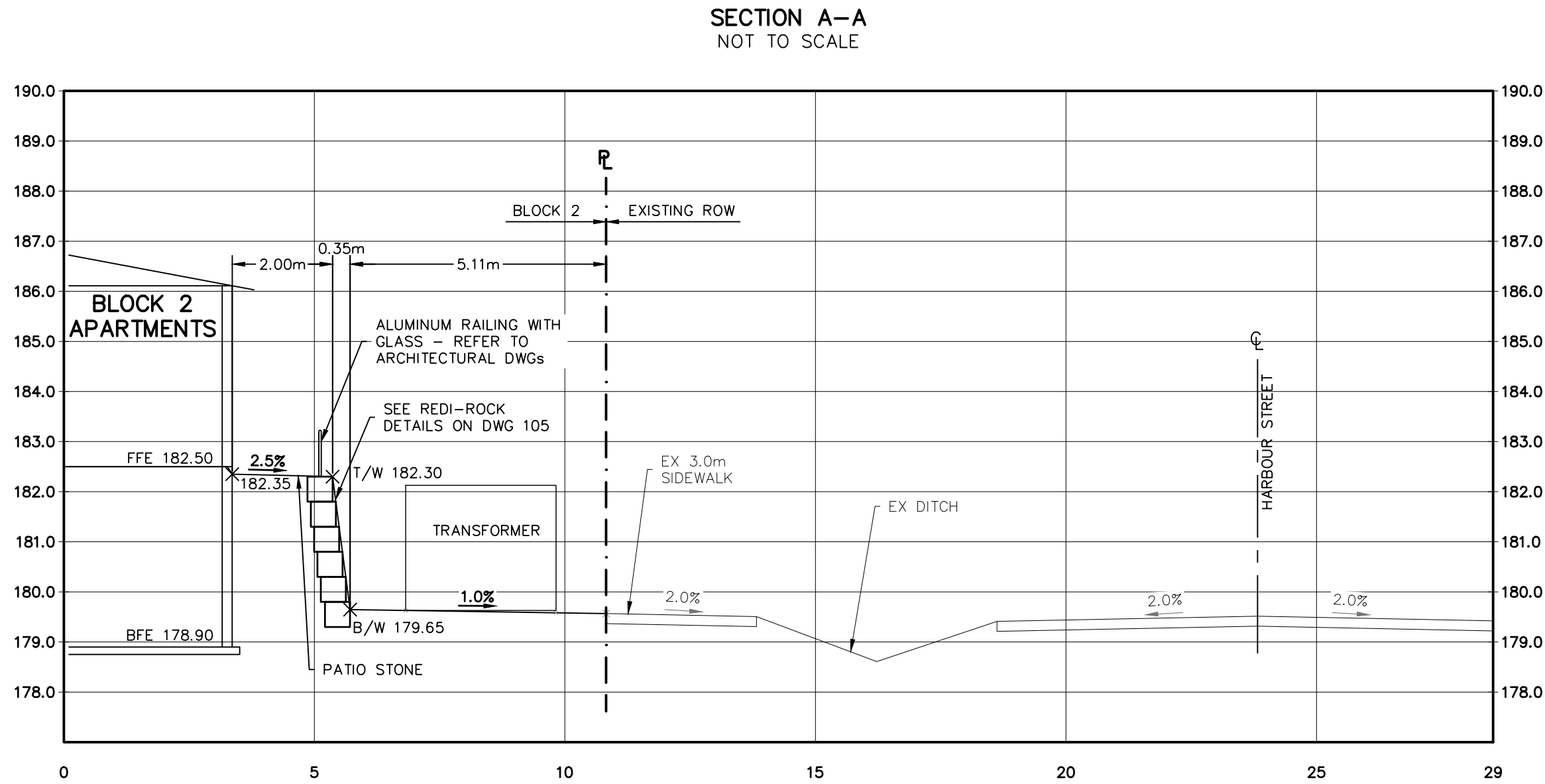
Check By: G.C.

Check By: R.A./R.W.

Scale: 1:250

Drawing: C101

J:\100\183 - Landex Projects\4877-Balmoral Bk 2 Apts Civil\CAD\Civil_Sheets\4877_C101.dwg, C101, 2021-03-26 9:26:55 AM, jpereira



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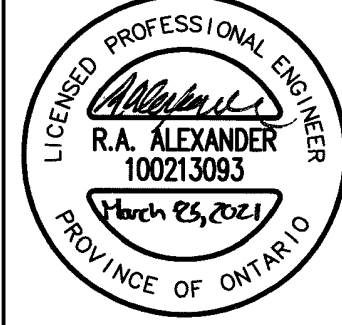
Town

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3	ISSUED FOR SITE PLAN APPROVAL	11/13/2020
3	RE-ISSUED FOR SITE PLAN APPROVAL	25/03/2021

Engineer



Engineer



Project

ROYAL WINDSOR AT BALMORAL VILLAGE
TOWN OF COLLINGWOOD

Drawing

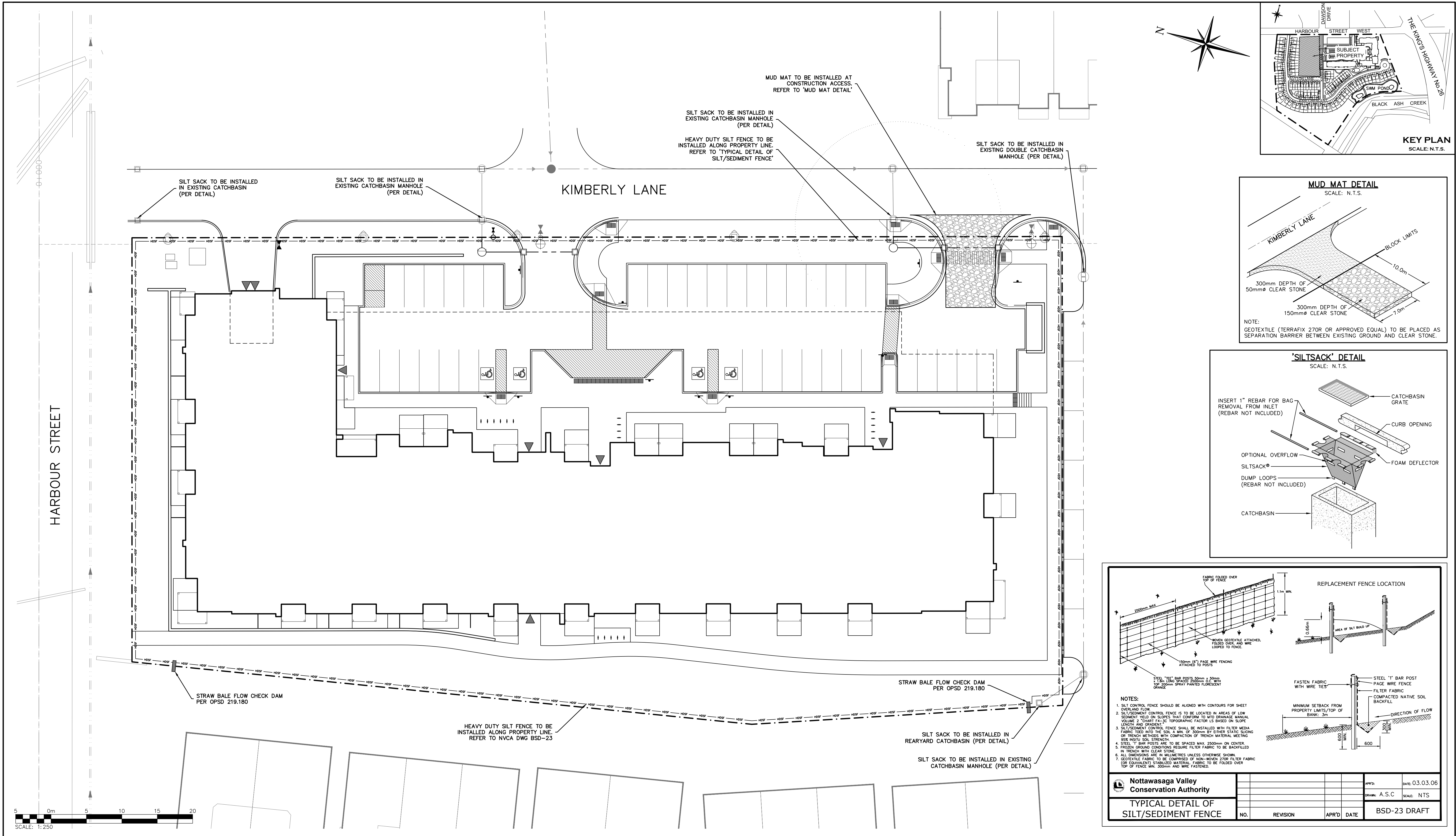
CROSS SECTIONS



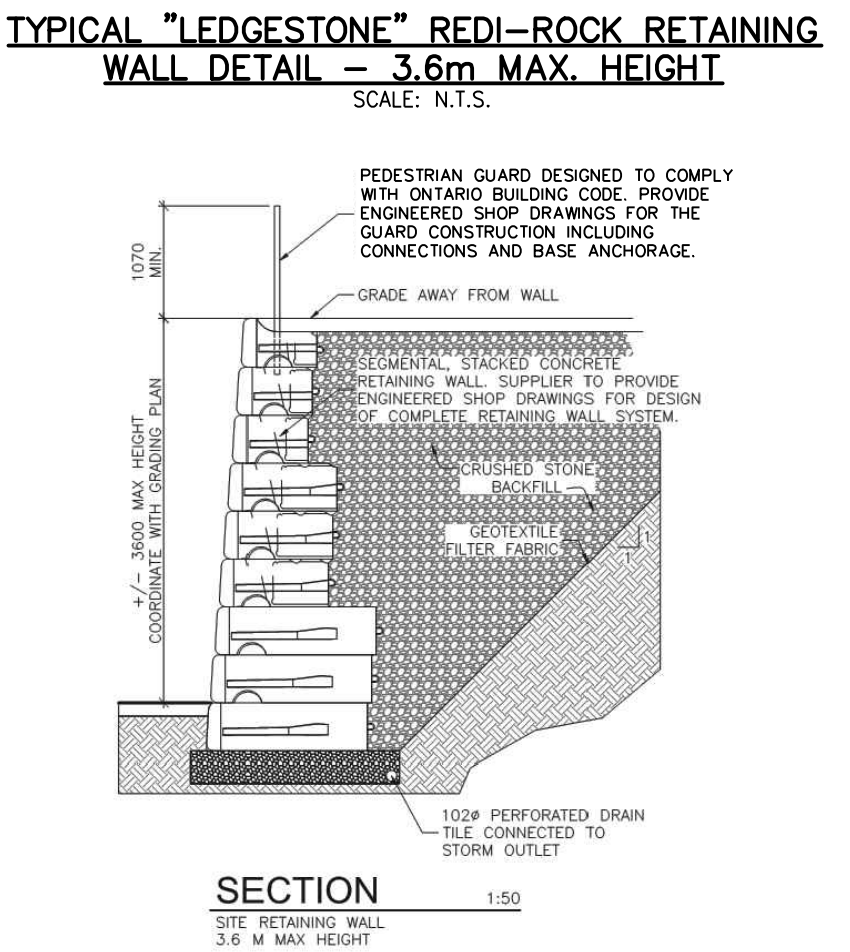
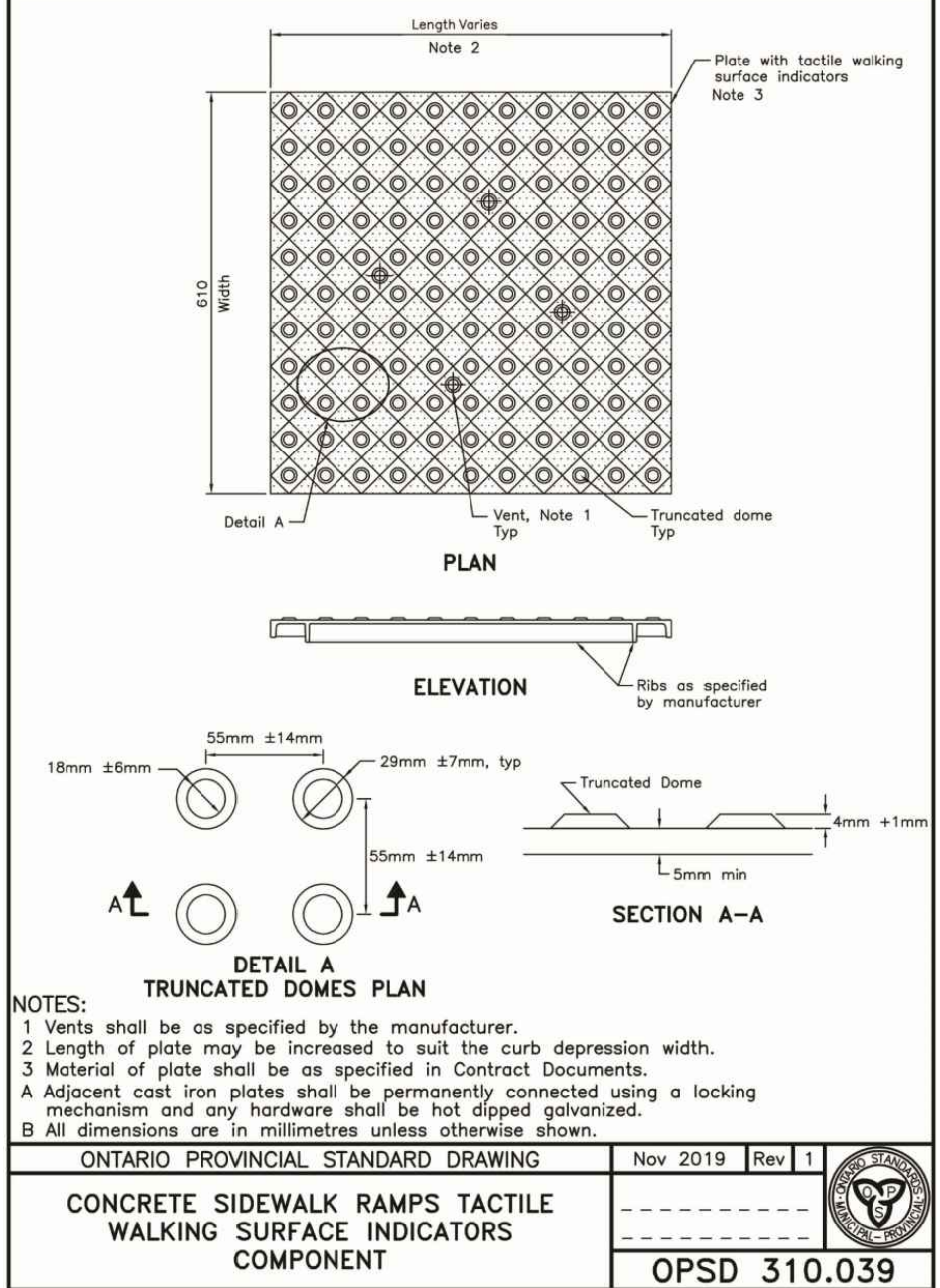
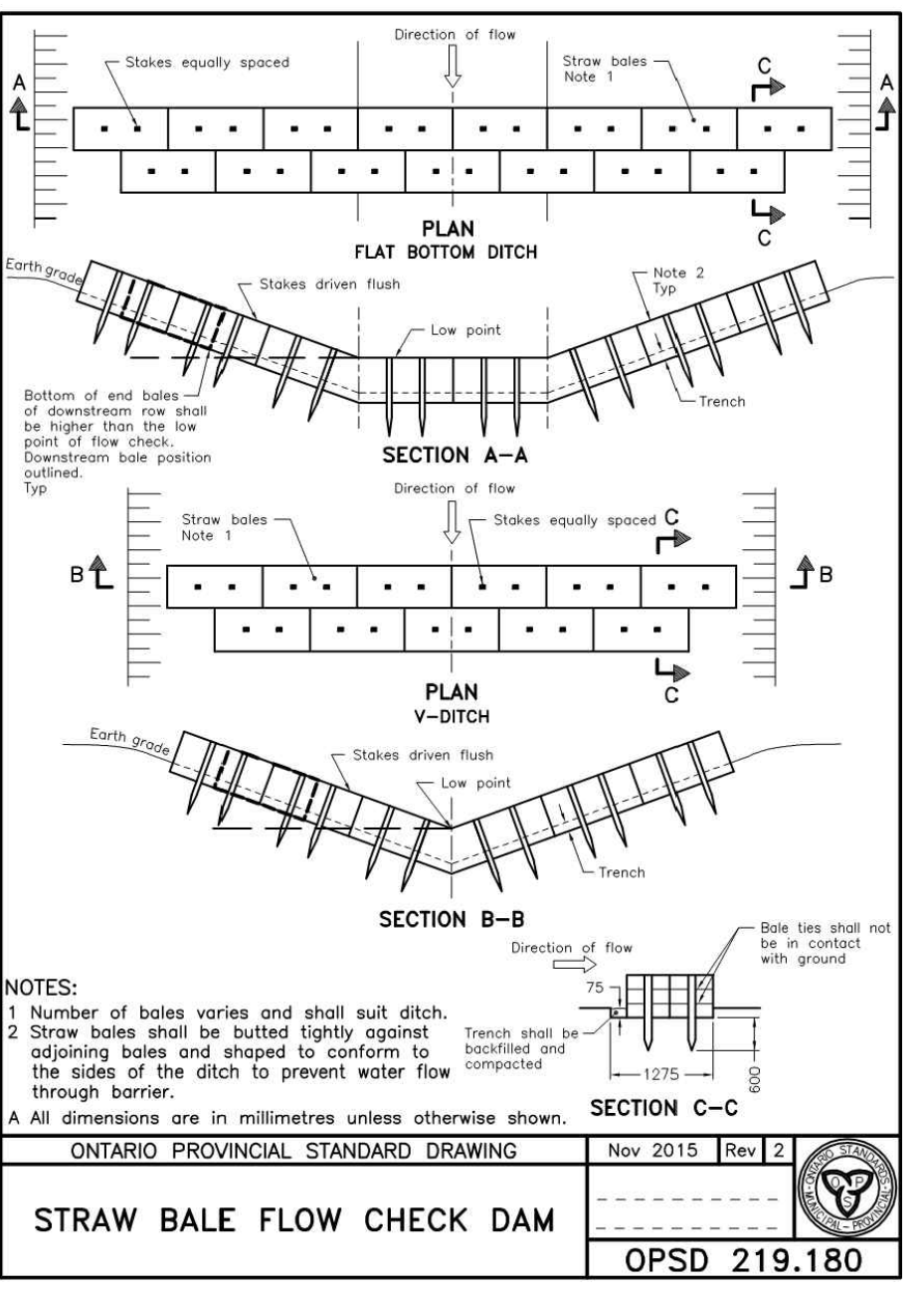
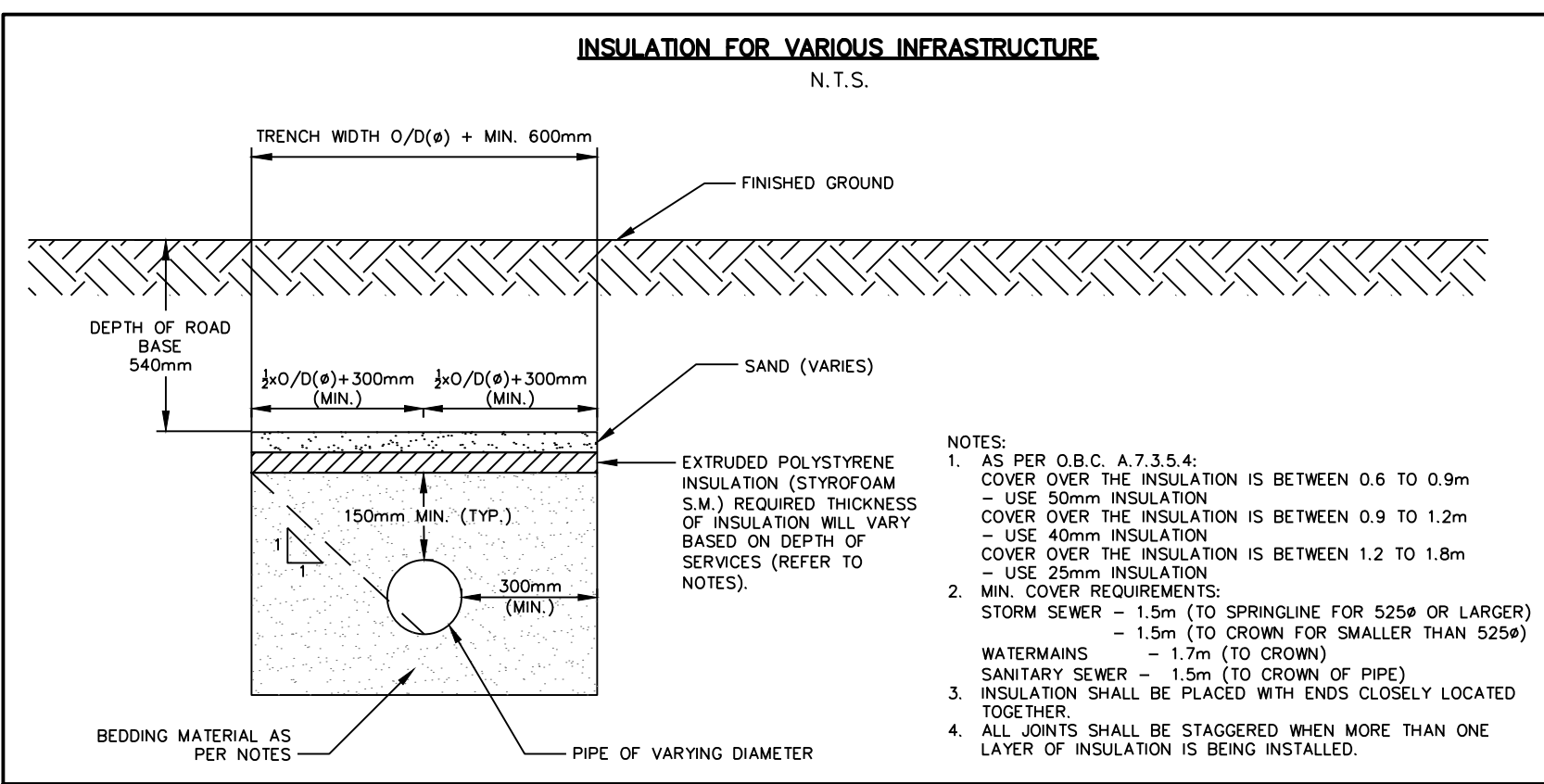
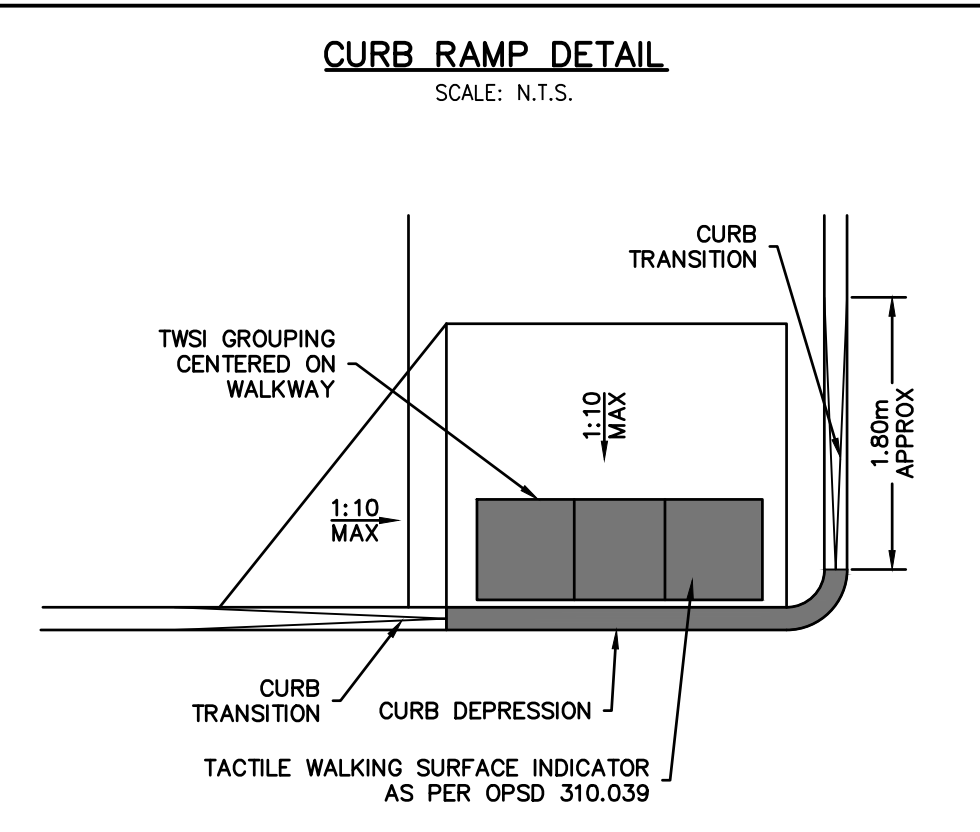
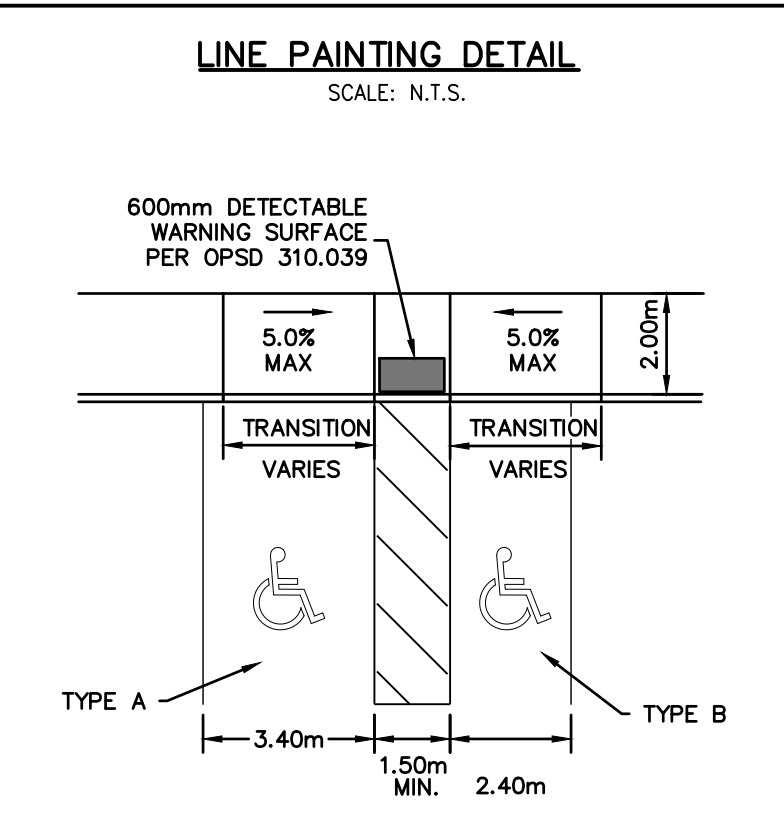
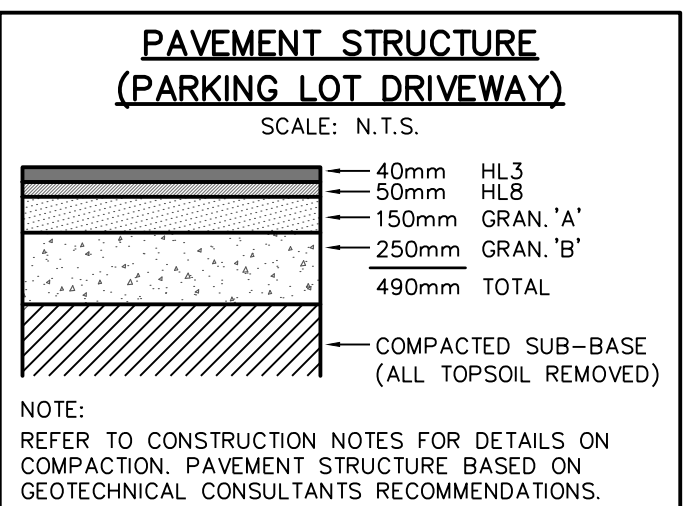
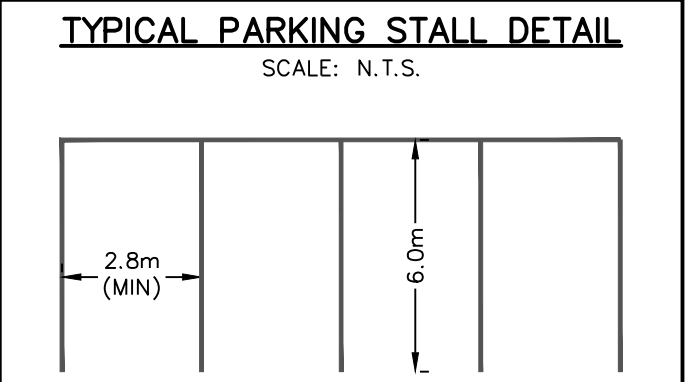
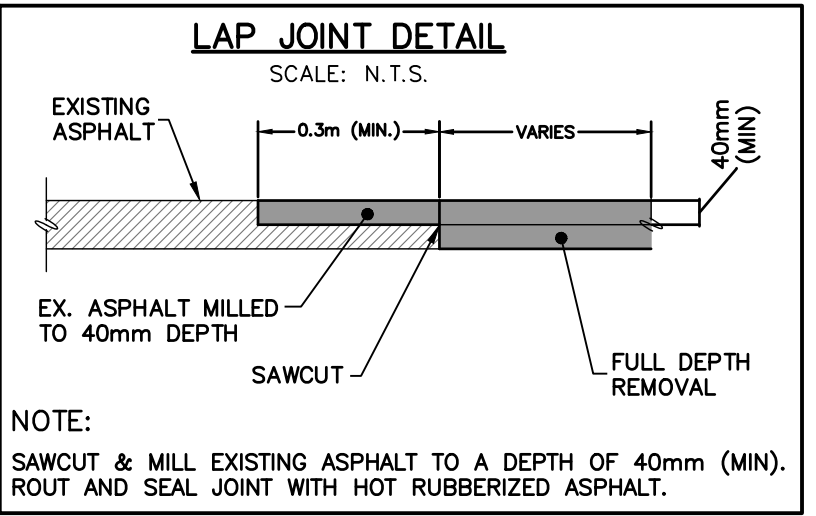
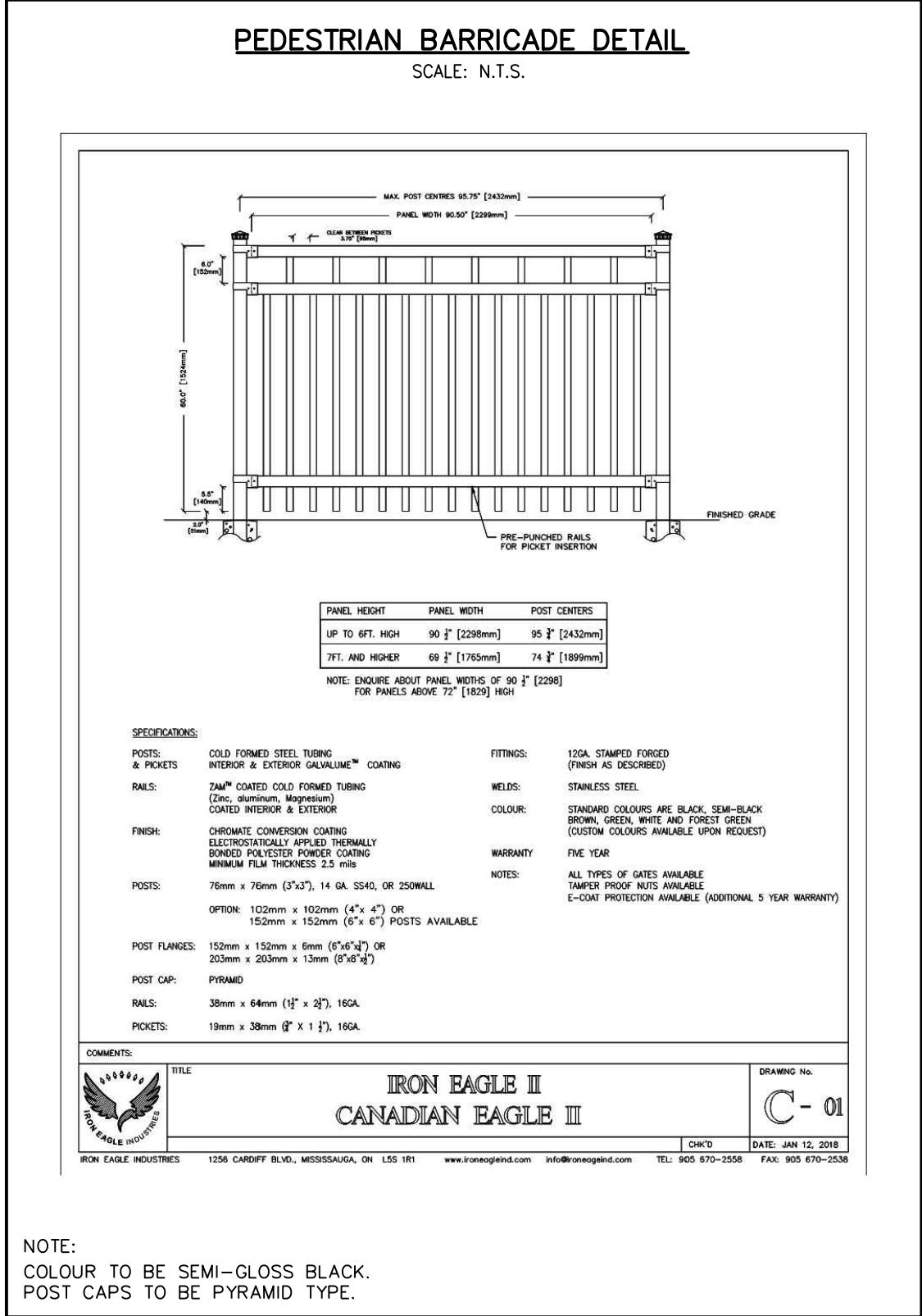
THE HARBOUREDGE BUILDING,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
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Drawn By	J.A.P.	Design By	J.O.	Project	183-4877
Check By	G.C.	Check By	R.A./R.W.	Scale	NTS
				Drawing	C101B

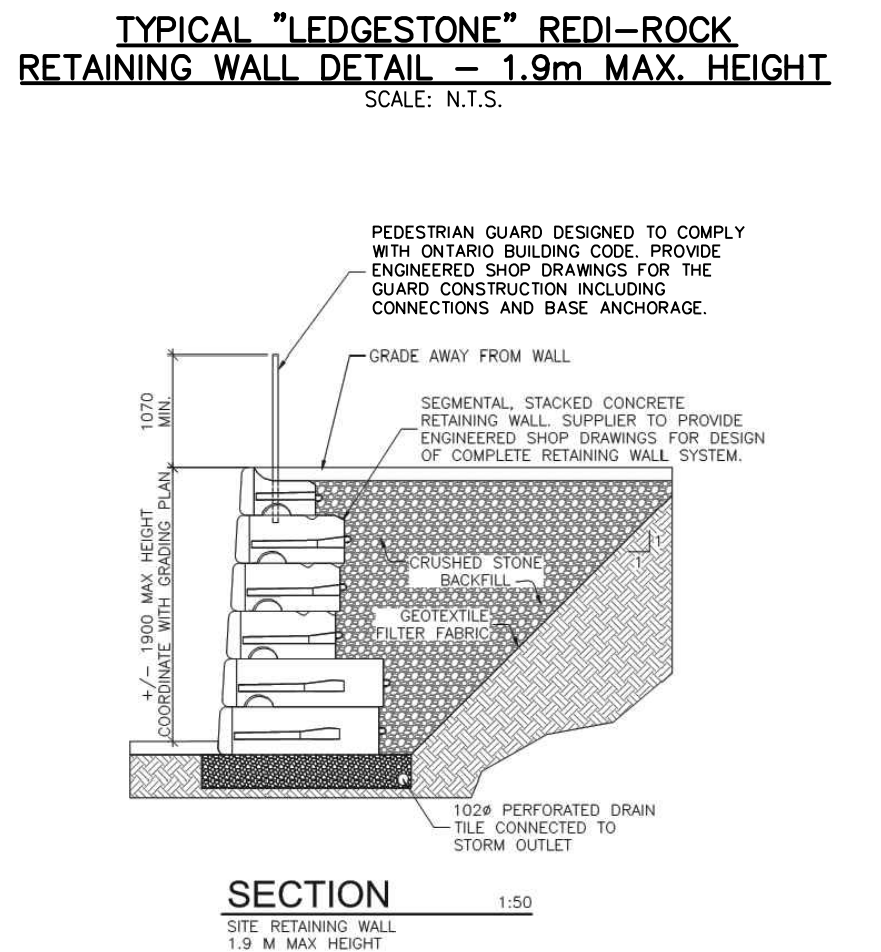




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				1	ISSUED FOR 1st SUBMISSION	01/08/2020				
				2	ISSUED FOR 2nd SUBMISSION	07/24/2020				
				3	ISSUED FOR SITE PLAN APPROVAL	11/13/2020				
				3	RE-ISSUED FOR SITE PLAN APPROVAL	25/03/2021				
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4. DO NOT SCALE THE DRAWINGS.							Engineer			
5. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.							Engineer			
Project								ROYAL WINDSOR AT BALMORAL VILLAGE TOWN OF COLLINGWOOD		
Drawing								SEDIMENT CONTROL PLAN		
Drawn By		J.A.P.	Design By		J.O.	Project		183-4877		
Check By		G.C.	Check By		R.A./R.W.	Scale		1:250	Drawing	C104



NOTES:
1. CONTRACTOR TO PROVIDE SEALED SHOP DRAWINGS FOR PROPOSED REDI-ROCK RETAINING WALL (BY APPROVED DESIGNER) AND PROPOSED PEDESTRIAN BARRICADE FOR REVIEW AND ACCEPTANCE.
2. NO ENCROACHMENT IS ALLOWED ONTO ASSOCIATED PROPERTIES DURING CONSTRUCTION.
3. CONTRACTOR TO SHORE AND BRACE CUT-SLOPES DURING INSTALLATION OF RETAINING WALL.
4. INSTALLATION OF RETAINING WALL SHALL BE REVIEWED AND APPROVED BY QUALIFIED GEOTECHNICAL ENGINEER OR HIS/HER REPRESENTATIVE.
5. BASE TO BE NATIVE MATERIAL FREE OF ORGANICS AND DELETERIOUS MATERIALS AS DIRECTED BY GEOTECHNICAL ENGINEER.
6. CONTRACTOR TO LOCATE AND IDENTIFY ALL EXISTING AND PROPOSED SERVICES WITHIN THE CONSTRUCTION LIMITS PRIOR TO EXCAVATION AND NOTIFY ENGINEER OF ANY DISCREPANCIES WITH EXISTING SERVICES.
7. 2012 ONTARIO BUILDING CODE REQUIRES THAT THE CONTRACTOR RETAIN A GENERAL REVIEW ENGINEER TO ENSURE INSTALLATION IS IN COMPLIANCE WITH DESIGN AND SPECIFICATIONS (WALL AND GROUT MANUFACTURER'S SPECS).
8. REDI-ROCK RETAINING WALL FACE TO BE BEIGE "LEDGESTONE".



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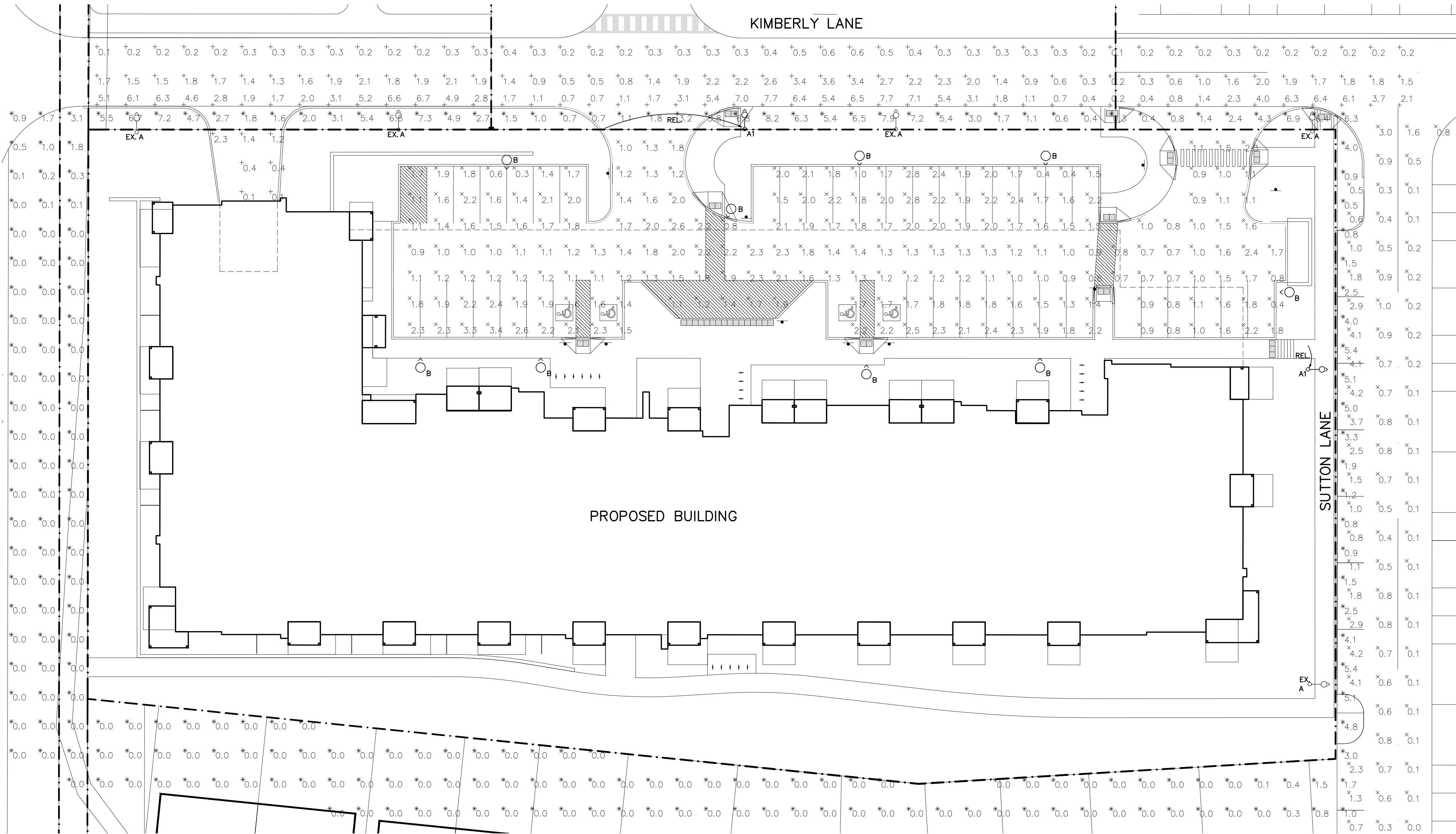
CONSTRUCTION NOTES

- A) GENERAL - CONSTRUCTION**
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH TOWN OF COLLINGWOOD STANDARDS (2007), OPSD AND OPSS. WHERE CONFLICT OCCURS, TOWN OF COLLINGWOOD STANDARDS (2007) TO GOVERN.
 - TRENCH BACKFILL (OPSD 802.010 & 802.013) TO BE SELECT NATIVE MATERIAL OR IMPORTED SELECT SUBGRADE TO OPSS 1010. BACKFILL TO BE PLACED IN MAXIMUM 200mm THICK LIFTS AND COMPACTED TO 95% OF THE MATERIAL'S STANDARD PROCTOR MAXIMUM DRY DENSITY (SPMDD).
 - PIPE COVER AND BEDDING TO BE GRANULAR 'A'. MINIMUM 150mm DEPTH COMPACTED TO A MINIMUM 95% SPMDD.
 - ALL TOPSOIL AND EARTH EXCAVATION TO BE STOCK PILED OR REMOVED TO AN APPROVED SITE AS DIRECTED BY ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETAILED LAYOUT OF THE WORK. THE OWNER'S ENGINEER WILL CONFIRM ALL BENCH MARK ELEVATIONS AND HORIZONTAL ALIGNMENT FOR THE CONTRACTOR.
 - ALL PROPERTY BARS TO BE PRESERVED AND REPLACED BY O.L.S. AT CONTRACTOR'S EXPENSE IF REMOVED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL MAKE HIS OWN ARRANGEMENTS FOR THE SUPPLY OF TEMPORARY WATER AND POWER FOR THE SUPPLY OF TEMPORARY WATER AND POWER.
 - DEWATERING TO BE CARRIED OUT IN ACCORDANCE WITH OPSS-517 AND 518 TO MAINTAIN ALL TRENCHES IN A DRY CONDITION.
 - ALL ENGINE DRIVEN PUMPS TO BE ADEQUATELY SILENCED, SUITABLE FOR OPERATION IN A RESIDENTIAL DISTRICT.
 - DISTURBED AREAS OUTSIDE THE PROJECT LIMITS TO BE REINSTATED TO PREVIOUS CONDITION OR BETTER.
 - THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL UTILITY COMPANIES PRIOR TO COMMENCING WORK AND CO-ORDINATE CONSTRUCTION ACCORDINGLY.
 - ALL ROCK EXCAVATION PER OPSS-206.
 - ALL EXCAVATION MUST BE CARRIED OUT IN FULL COMPLIANCE WITH MOST RECENT GUIDELINES OF OHSA.
- B) PARKING LOT AND ENTRANCES**
- SUBGRADE TO BE COMPACTED TO A MINIMUM DRY DENSITY OF AT LEAST 95% SPMDD.
 - SUBGRADE TO BE PROOF ROLLED AND CERTIFIED PRIOR TO PLACING GRANULAR 'B'.
 - GRANULAR 'A' AND 'B' BASE MATERIALS TO BE COMPACTED TO 100% OF THE MATERIAL'S RESPECTIVE SPMDD AND PLACED IN MAX. 150mm LIFTS.
 - REFER TO PAVEMENT STRUCTURE DETAILS FOR INTERNAL ROADWAY, DRIVEWAYS AND PARKING AREAS.
 - SELECT SUBGRADE MATERIAL OR IMPORTED GRANULAR MATERIAL APPROVED BY THE ENGINEER, COMPACTED TO 98% SPMDD TO BE USED AS FILL IN ALL AREAS WHERE PROPOSED PIPE INVERTS ARE HIGHER THAN EXISTING GRADE OR AS INSTRUCTED BY THE ENGINEER.
 - ALL GRANULARS AND ASPHALT MATERIALS PLACEMENT TO BE IN ACCORDANCE WITH OPSS 314 AND OPSS 310.
 - JOINTS WITH EXISTING ASPHALT TO BE SAW CUT STRAIGHT PRIOR TO PLACING NEW ASPHALT AND TACK COAT APPLIED TO EXISTING ASPHALT.
 - CONCRETE CURB TO OPSD 600.110 AND OPSS 353. CONCRETE CURB AND GUTTER TO OPSD 600.040 AND OPSS 353.
 - CONCRETE SIDEWALK TO OPSD 310.010, 310.030, 350.010 AND OPSS 351. SUBBASE TO CONSIST OF MIN. 150mm OF GRANULAR 'A' UNLESS THROUGH DRIVEWAYS.
- C) SANITARY SEWERS**
- M.H.'S TO OPSD - 701.010, 701.030 & 704.010.
 - BENCHING TO OPSD - 701.021.
 - STEPS TO OPSD - 405.010.
 - BACKFILL AND EMBEDMENT TO OPSD - 802.010, GRANULAR 'A' BEDDING.
 - TRENCH BACKFILL TO BE SELECT NATIVE MATERIAL AS APPROVED BY ENGINEER OR IMPORTED GRANULAR MATERIAL.
 - FRAMES AND COVERS TO OPSD - 401.01 TYPE 'A' (CLOSED COVER).
 - MANHOLES FRAMES TO BE SET TO BASE COURSE ASPHALT AND RAISED BY ADDING RISER RINGS AS REQUIRED.
 - PIPE SUPPORT AT MAINTENANCE HOLES AS PER OPSD 708.020.
 - GENERAL INSTALLATION AND TESTING OF SEWERS AND APPURTENANCES TO BE IN ACCORDANCE WITH OPSS 407, 408, 409 (CCTV), 410, 421 AND ALL SPECIFICATIONS REFERENCED WITHIN THESE SECTIONS. CONTRACTOR SHALL BE REQUIRED TO PERFORM LEAKAGE & DEFLECTION TESTING ACCORDING TO THE APPROPRIATE OPSS.
 - SANITARY SEWER - SDR 28 PVC GREEN COLOUR.
 - FROST STRAPS PER OPSD 701.100.
- D) WATERMANS**
- BACKFILL AND EMBEDMENT TO OPSD - 802.010, GRANULAR 'A' EMBEDMENT.
 - TRENCH BACKFILL TO BE SELECT NATIVE MATERIAL AS APPROVED BY ENGINEER OR IMPORTED GRANULAR MATERIAL.
 - THRUST BLOCKS TO OPSD - 1103.010 AND 1103.020 WHERE SUITABLE SOILS ARE ENCOUNTERED.
 - SERVICE CONNECTIONS TO OPSD - 1104.010, 1000mm GRANULAR 'A' EMBEDMENT AND COVER OVER PIPE.
 - MINIMUM COVER ON WATERMAIN AND SERVICES TO BE 1.7m.
 - GATE VALVES, BENDS AND FITTINGS TO BE CONNECTED WITH ROMAC GRIPPER RING RESTRAINING CLAMP.
 - CLEARANCE BETWEEN WATERMANS AND SEWERS TO BE A MINIMUM OF 0.5m VERTICAL (CLEAR) C/W RIGID INSULATION AND 2.5m MINIMUM (CLEAR) HORIZONTAL SEPARATION.
 - FOLLOWING TESTING, CONTRACTOR SHALL OPERATE EACH WATER SERVICE TO VERIFY FULL FLOW AND PRESSURE AT THE GATE VALVE AND/OR CURB STOP TO THE SATISFACTION OF THE ENGINEER.
 - GENERAL INSTALLATION AND TESTING OF WATERMAIN AND APPURTENANCES TO BE IN ACCORDANCE WITH OPSS 701 AND ALL SPECIFICATIONS REFERENCED WITHIN THESE SECTIONS. WORK MUST BE PREFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, ONTARIO FIRE CODE AND LOCAL CODES. WATER LINES ARE TO BE TESTED TO THE SATISFACTION OF THE LOCAL PLUMBING INSPECTOR. COMPLETE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH REQUIREMENTS OF AWWA STANDARD C651-99. ALL WATERMAIN TESTING & CHLORINATION WILL BE CONDUCTED BY TOWN OF COLLINGWOOD WATER DEPARTMENT AT CONTRACTORS COST. WATERMANS ARE NOT TO BE CONNECTED TO EXISTING WATERMANS UNTIL BACTERIOLOGICAL TESTING HAS BEEN SUCCESSFULLY COMPLETED & CERTIFIED BY TOWN OF COLLINGWOOD WATER DEPARTMENT.
 - COMPLETE WATER SERVICE SHALL BE DISINFECTED IN ACCORDANCE WITH REQUIREMENTS OF O. REG. 459/00 & SATISFACTION OF TOWN OF COLLINGWOOD WATER DEPARTMENT.
 - WATERMAIN - CLASS 52 OR PRESSURE CLASS 350 CEMENT LINED DUCTILE IRON, CONDUCTIVITY CONNECTORS TO BE USED ON ALL JOINTS.
 - WATERMAIN SERVICES - 25mm/50mm/64mm/80mm TYPE 'K' SOFT COPPER PIPE AS NOTED.
 - SERVICE BOXES TO NUMBER 7, D-I CLOW OR MUELLER, 24" STAINLESS STEEL RODS STRAIGHT C/W CAP PAINTED BLUE.
 - ALL SERVICES SHALL BE METERED. METERS TO BE COMPLETE WITH REMOTE READOUT OR RADIO READ AS DETERMINED BY THE TOWN OF COLLINGWOOD WATER DEPARTMENT.
 - VALVES - RESILIENT SEAT, RSGV MECHANICAL JOINT, OPEN LEFT CLOW OR MUELLER WITH 5-SL-48 SLIDING VALVE BOX C/W CAP PAINTED BLUE.
 - MECHANICAL JOINT DUCTILE FITTINGS - AWWA/ANSI C153/A21.53.
 - ALL WATERMAIN FITTINGS TO BE LEAD FREE.
 - MECHANICAL JOINT RESTRAINTS TO BE USED DURING TRANSITION OF WATERMAIN INSTALLATION IN NATIVE SOILS TO ENGINEERED FILL. MECHANICAL JOINT RESTRAINTS TO BE MEGA-LUG OR APPROVED EQUAL.
 - ALL VALVES TO BE OPERATED BY THE TOWN OF COLLINGWOOD WATER DEPARTMENT. CONTRACTOR TO PROVIDE MIN. 48hr NOTIFICATION FOR REQUEST.
 - ONTARIO BUILDING CODE & C.S.A. B64.1-12 TOWN WATER BY-LAW.
 - BACKFLOW PREVENTORS AT EACH BUILDING TO BE TESTABLE & CERTIFIED ANNUALLY, WITH ALL ASSOCIATED COSTS THE RESPONSIBILITY OF THE OWNER.
- E) STORM SEWERS**
- MH AND CBMH TO OPSD - 701.012, 701.030, 701.100, 704.010, C/W SUMP UNLESS NOTED OTHERWISE.
 - STEPS TO OPSD 405.010.
 - M.H. FRAMES AND GRATES TO OPSD - 401.01 OPEN COVER.
 - CB'S TO OPSD - 705.010.
 - CB AND CBMH FRAMES AND GRATES TO OPSD - 400.020.
 - PIPE SUPPORT AT M.H'S, CB'S, CBMH'S AND DCBMH'S TO OPSD - 708.020.
 - PROTECTION DURING CONSTRUCTION TO OPSD - 808.010.
 - BACKFILL AND EMBEDMENT TO OPSD - 802.010 (FLEXIBLE PIPE) GRANULAR 'A' EMBEDMENT OR OPSD - 802.030, 802.031 AND 802.032 (RIGID PIPE) GRANULAR 'A' EMBEDMENT.
 - BACKFILL AND EMBEDMENT MATERIAL TO BE COMPACTED TO A DRY DENSITY OF AT LEAST 95% OF THE MATERIAL'S SPMDD.
 - STORM SEWERS SHALL BE PVC SMOOTH WALL RIBBED PIPE MINIMUM STIFFNESS (320kPa). ALL PIPE TO BE JOINED WITH A GASKETED BELL AND SPIGOT SYSTEM. CATCHBASIN LEADS TO BE 300mm CONCRETE PIPE (CLASS IV).

SEDIMENT AND EROSION CONTROL

- A) GENERAL - CONSTRUCTION**
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED. SEDIMENT AND EROSION CONTROL MEASURES THAT ARE DESIGNED TO CONTROL RUNOFF FROM SPECIFIC AREAS MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE.
 - THE CONTRACTOR MAY CONSIDER ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES. SUCH MEASURES MUST BE PRESENTED IN WRITING FOR APPROVAL OF THE CONTRACT ADMINISTRATOR AND THE TOWN.
 - THE CONTRACTOR SHALL HAVE MATERIALS AVAILABLE ON-SITE TO REPAIR SEDIMENT AND EROSION CONTROL MEASURES IN THE EVENT OF UNFORESEEN CONDITIONS: HIGHWATER, EXTREME RAINFALL EVENTS, ETC.
 - MUD MAT TO BE CONSTRUCTED AT ACCESS POINT.
 - NO MAINTENANCE OR REPAIR WORK ON CONSTRUCTION EQUIPMENT IS ALLOWED WITHIN 20m OF AN EXISTING WATERCOURSE OR DITCH EXCEPT AS NOTED.
 - ALL TEMPORARY SOIL OR DIRT STOCKPILES ARE TO BE PROVIDED WITH THE NECESSARY SEDIMENT AND EROSION CONTROL FEATURES. IF STOCKPILES ARE TO REMAIN FOR A PERIOD LONGER THAN 30 DAYS, STOCKPILES SHALL BE HYDROSEEDED AND SURROUNDED WITH SILT FENCE.
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE THROUGH SITE SUCH THAT NO UPSTREAM OR DOWNSTREAM IMPACT OCCURS DURING CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR WILL BE RESPONSIBLE TO CLEAN ALL ADJACENT ROADWAYS AS REQUIRED OR AS DIRECTED BY THE SITE ENGINEER OR TOWN.
- MAINTENANCE AND OPERATION OF SEDIMENT CONTROLS**
- A) SILT FENCE**
- SILT FENCE MUST BE INSPECTED WEEKLY FOR RIPS OR TEARS, BROKEN STAKES, BLOW-OUTS AND ACCUMULATION OF SEDIMENT.
 - SILT FENCE MUST BE INSPECTED IMMEDIATELY AFTER EVERY RAIN STORM EVENT OR AS DIRECTED BY SITE ENGINEER.
 - SEDIMENT DEPOSITS MUST BE REMOVED FROM SILT FENCE WHEN ACCUMULATION REACHES 50% OF THE HEIGHT OF THE FENCE.
 - ALL SILT FENCES MUST BE REMOVED ONLY WHEN THE ENTIRE SITE IS STABILIZED AND AS DIRECTED BY THE SITE ENGINEER.
 - ALL SILT FENCES INSTALLED AT THE LIMIT OF THE DEVELOPMENT ARE TO BE PLACED ON THE PROPERTY LINE.
- B) MUD MAT**
- GEOTEXTILE (TERRAFIX 270R OR APPROVED EQUAL) TO BE PLACED AS SEPARATION BARRIER BETWEEN EXISTING GROUND AND CLEAR STONE.
 - INSPECT MUD MAT WEEKLY TO ASSESS CONDITION AND TO ENSURE OPERATION EFFICIENCY.
 - SUPPLY AND PLACE ADDITIONAL STONE TO PREVENT MUD TRACKING AS DIRECTED BY SITE ENGINEER.
 - MUD MAT TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR AS DIRECTED BY SITE ENGINEER.

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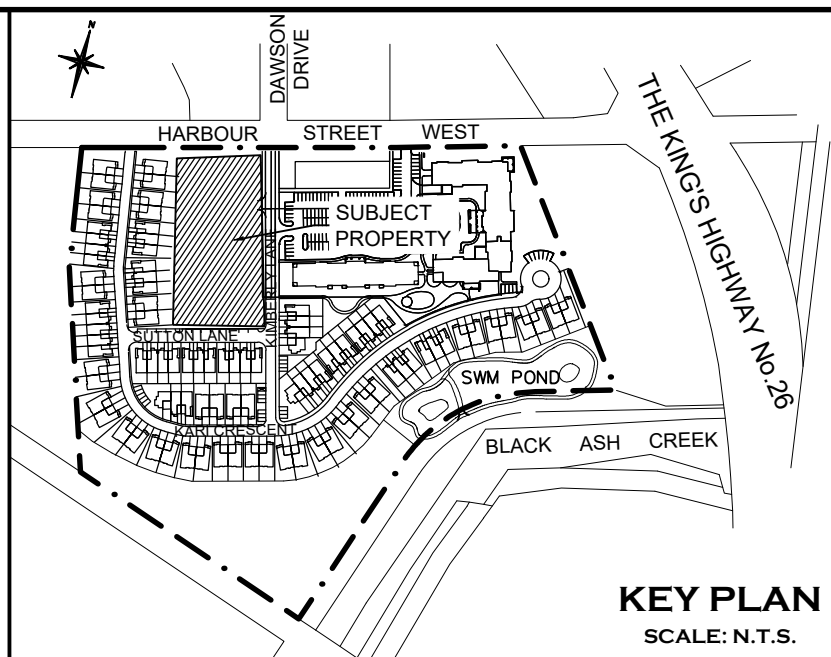
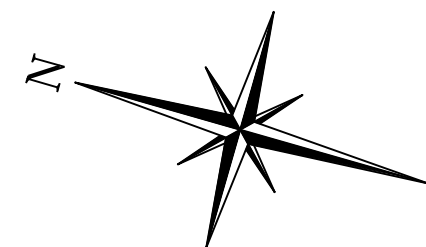


SITE PLAN – PHOTOMETRIC

SCALE: 1:250



SCALE: 1:250



KEY PLAN
SCALE: N.T.S.

ELECTRICAL LEGEND	
	POLE MOUNTED LIGHT FIXTURE
	RELOCATED POLE MOUNTED LIGHT FIXTURE
	EXISTING POLE MOUNTED LIGHT FIXTURE
	PROPERTY LINE
EX.	EXISTING
REL	RELOCATED

ELECTRICAL DRAWING LIST	
E100	SITE PLAN – PHOTOMETRIC
E101	LIGHTING DETAILS

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No.	ISSUE	DATE: MM/DD/YYYY	Engineer
0	ISSUED FOR SITE PLAN APPROVAL	11/11/2020	
1	ISSUED FOR SITE PLAN APPROVAL	11/16/2020	
2	RE-ISSUED FOR SITE PLAN APPROVAL	03/25/2021	



ROYAL WINDSOR AT BALMORAL VILLAGE
TOWN OF COLLINGWOOD

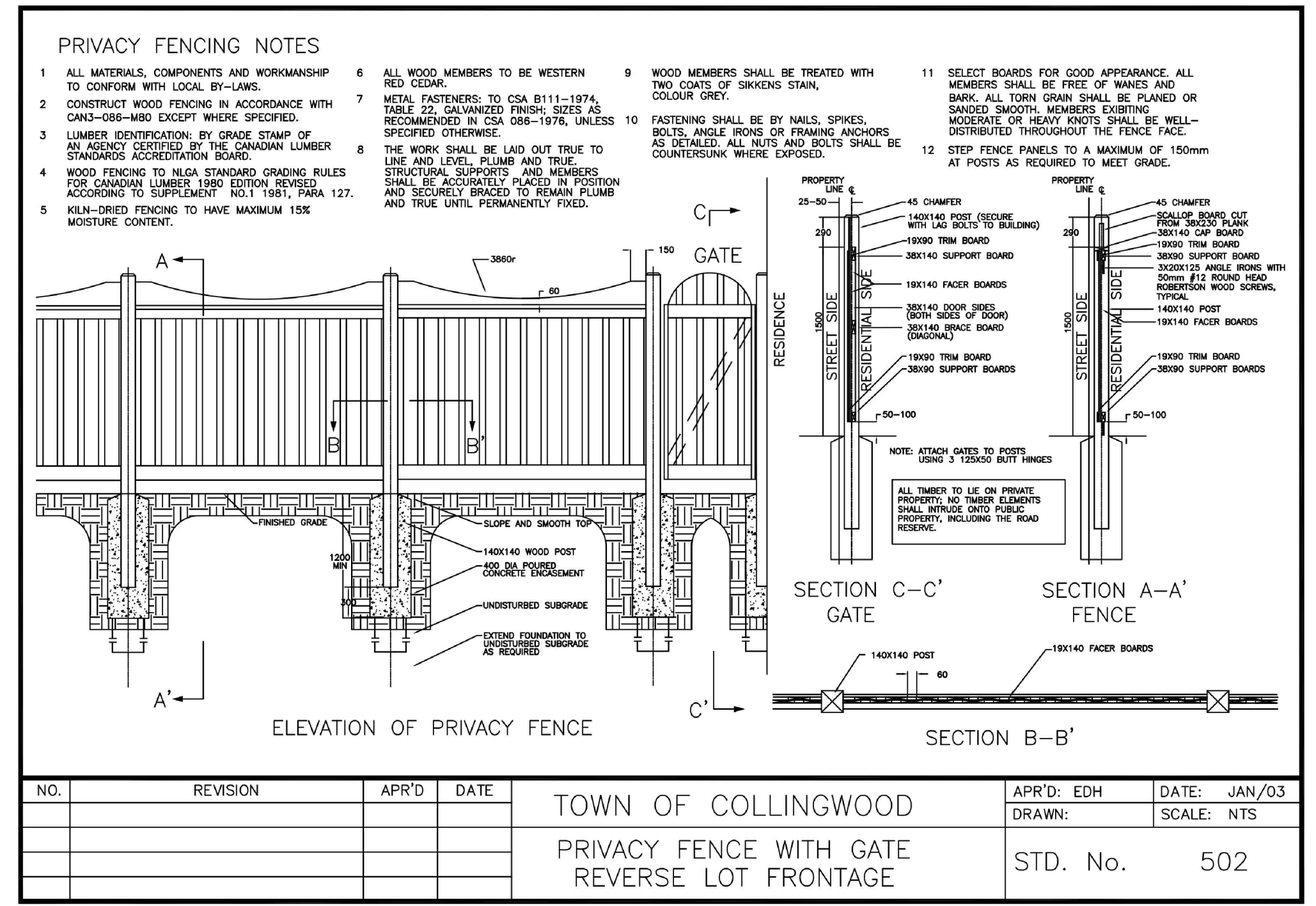
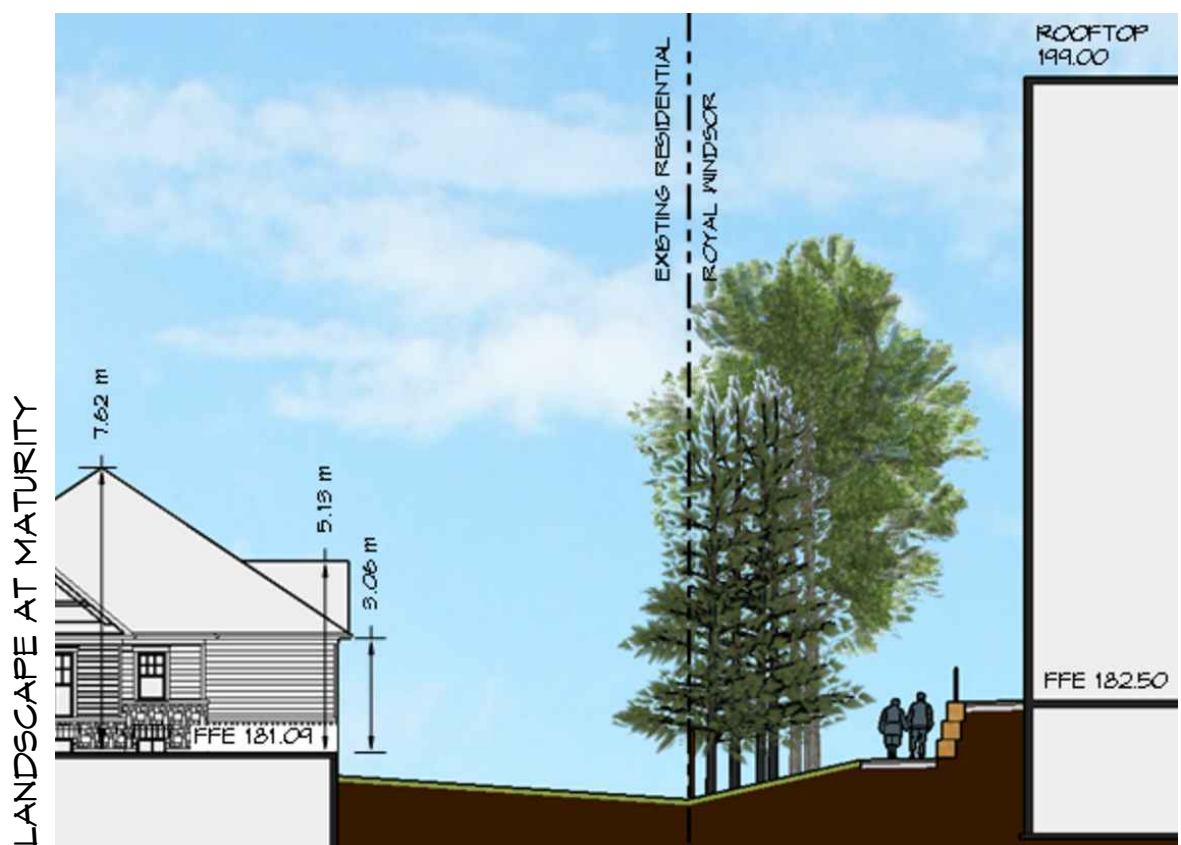
Drawing

SITE PLAN – PHOTOMETRIC



THE HARBOUREDGE BUILDING,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

Drawn By	J.R.B.	Design By	J.R.B./N.J.M.	Project	183-4877
Check By		Check By	N.J.M.	Scale	1:250
				Drawing	E100

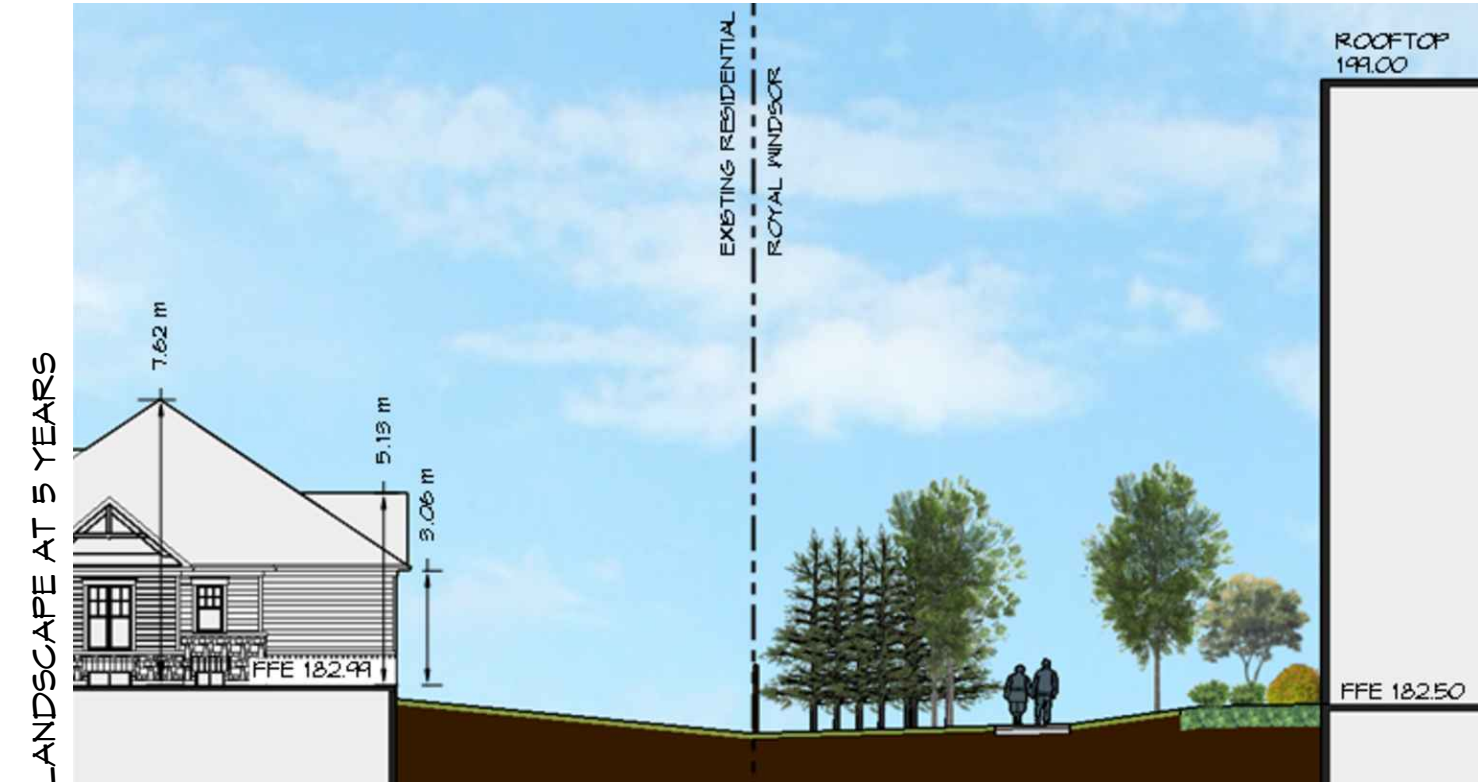


NOTES:

1. A MODERATE VERTICAL GROWTH RATE OF 600mm PER YEAR WAS UTILIZED TO DEPICT THE DECIDUOUS AND CONIFEROUS TREE PLANTINGS' GROWTH. THE GROWTH RATE WAS SOURCED FROM THE MANUAL OF WOODY LANDSCAPE PLANTS BY MICHAEL DIRR.

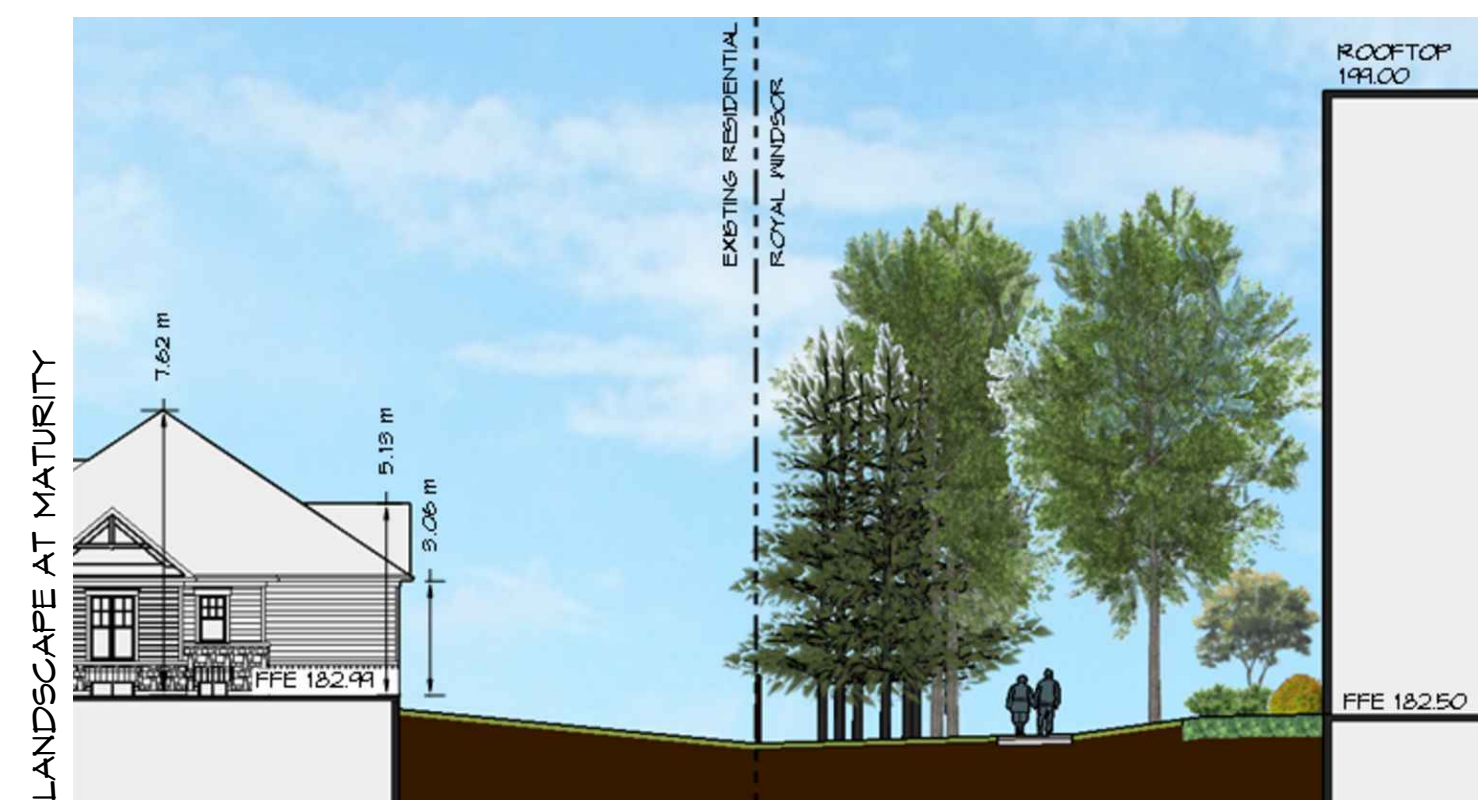
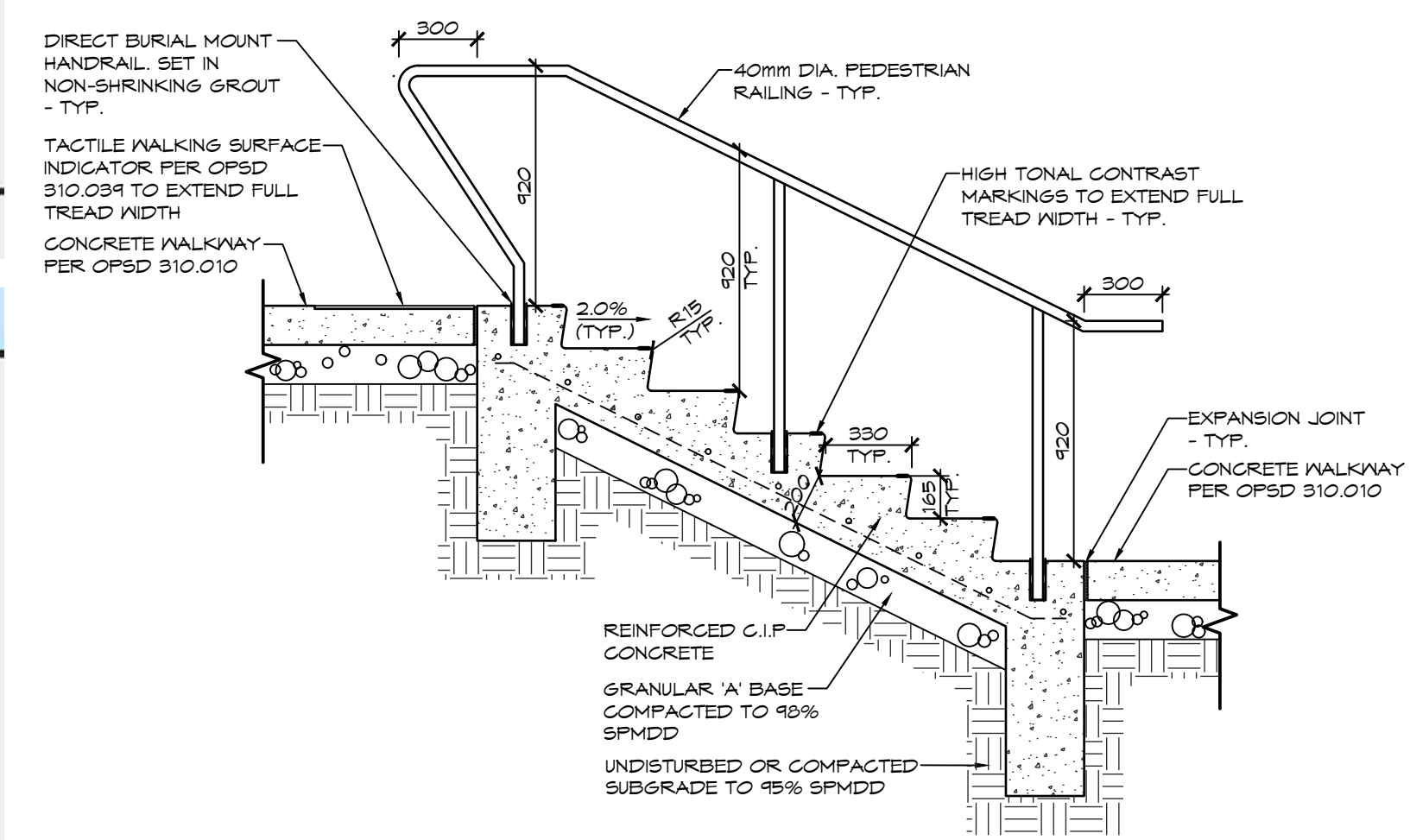
NTS

1 SECTION A-A'
LD1



NOTES:

1. THE CONTRACTOR SHALL PROVIDE DETAILED SHOP DRAWINGS FOR THE CAST-IN-PLACE CONCRETE STEPS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE SEALED BY A ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
2. FORMAL CERTIFICATION OF THE WORKS SHALL BE PROVIDED BY THE ENGINEER RESPONSIBLE FOR THE SEALED SHOP DRAWINGS.
3. ALL GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENGINEERING DRAWINGS



2 SECTION B-B'
LD1

4 CONCRETE STEPS

1:25

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2.	ISSUED FOR 2nd SUBMISSION	07/24/2020
3.	ISSUED FOR SITE PLAN APPROVAL	11/19/2020
4.	RE-ISSUED FOR SITE PLAN APPROVAL	25/03/2021



Landscape Architect

Project

ROYAL WINDSOR AT BALMORAL VILLAGE
TOWN OF COLLINGWOOD

	Grazing

LANDSCAPE DETAILS



THE HARBOUREDGE BUILDING,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

Drawn By K.W.	Design By K.W.	Project 183-4877	
Check By K.W.	Check By	Scale AS SHOWN	Drawing LD-1

GENERAL NOTES:

1.0 SITE FURNITURE

- THE FOLLOWING SITE FURNITURE SHALL BE SUPPLIED AND INSTALLED BY PARIS MANUFACTURING LTD., P.O. BOX 10, 21 SCOTT AVENUE, PARIS, ONTARIO, TEL.: 1.800.397.6319 (MARK HICKS).

BICYCLE RACK

MODEL NO.: FVBR-5F
METAL FINISH: POWDER COATED JET BLACK GLOSS
FOOTING/ ATTACHMENTS: SECURED TO CONCRETE PAVING WITH STAINLESS STEEL FASTENERS

BENCH

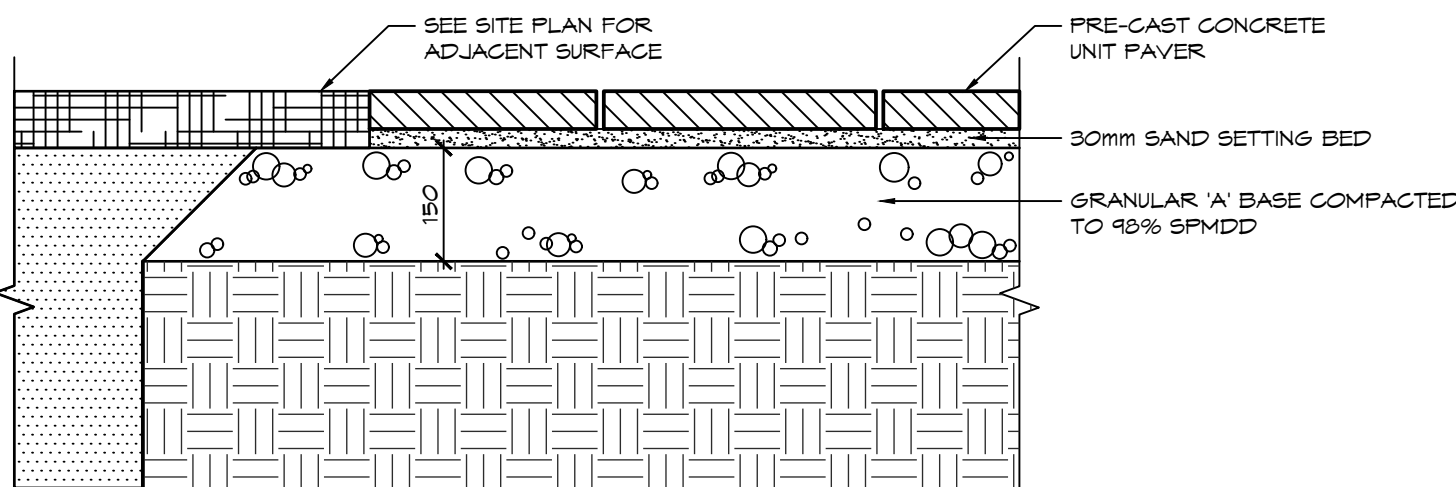
MODEL NO.: RSPAS6
METAL FINISH: POWDER COATED JET BLACK GLOSS
FOOTING/ ATTACHMENTS: SECURED TO CONCRETE PAVING WITH STAINLESS STEEL FASTENERS

2.0 PLANTING

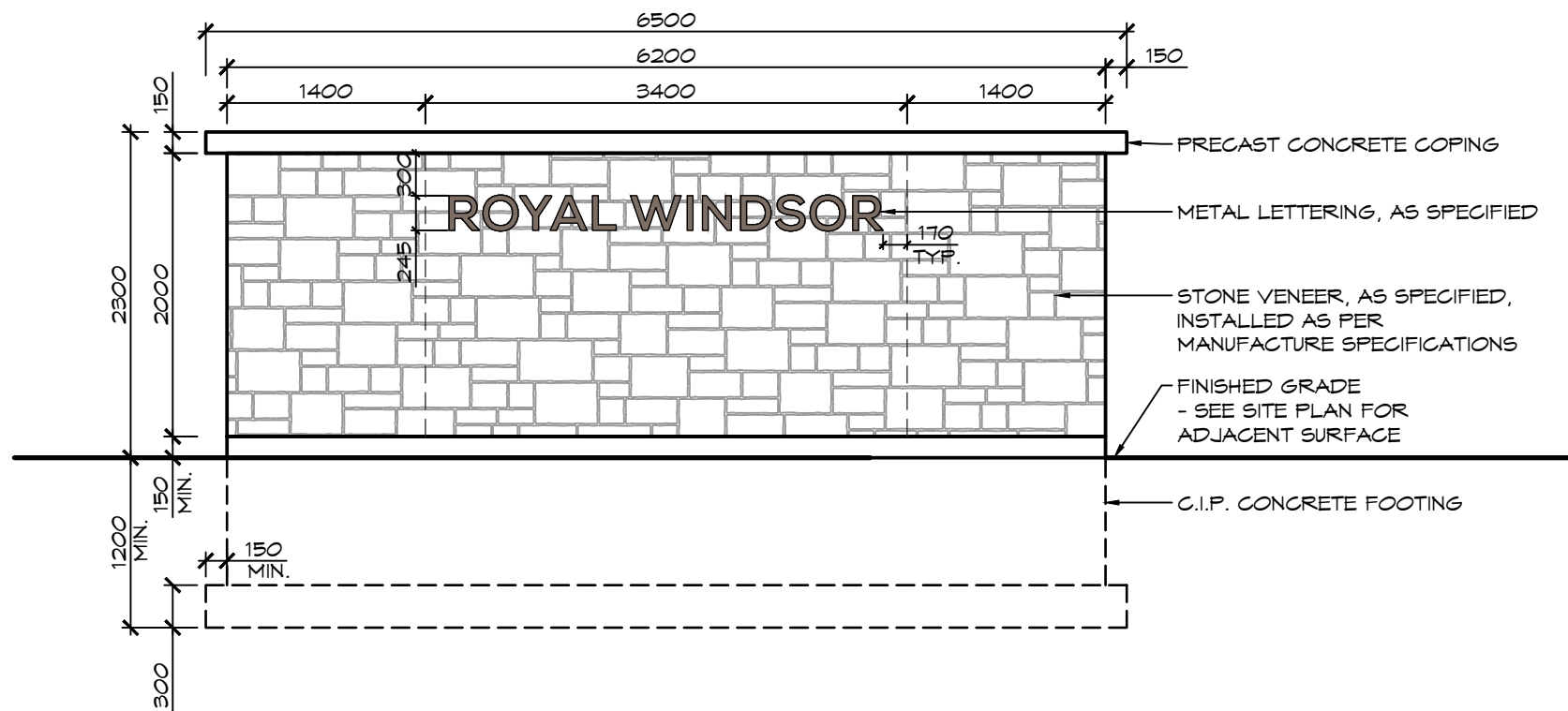
- ALL WORKMANSHIP TO THE STANDARDS OF THE LANDSCAPE ONTARIO HORTICULTURAL TRADES ASSOCIATION AND THE CANADIAN LANDSCAPE STANDARDS.
- TREE LOCATIONS SHALL BE STAKED ON SITE BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- BACKFILL IS TO CONSIST OF SOIL NATIVE TO THE SITE OR GENERAL SOIL TYPE/CLASS NATIVE TO THE SITE. SOIL AMENDMENT MAY BE REQUIRED BASED ON SOURCE OF IMPORTED OR EXISTING SITE QUALITY OF TOPSOIL. PROVIDE NUTRIENT ANALYSIS OF TOPSOIL TO BE USED FOR LANDSCAPE PURPOSES IN ORDER TO DETERMINE SOIL AMENDMENT REQUIREMENTS.
- REPORT ALL DISCREPANCIES IN WRITING TO THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN ALL LANDSCAPE AREAS UNTIL OWNER'S ACCEPTANCE OF PROJECT.
- UNLESS OTHERWISE STATED, ALL WORK SHALL CONFORM TO THE LANDSCAPE ONTARIO SPECIFICATION STANDARDS.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES.
- PLANTING MAY BE ADJUSTED TO SUIT LOCATIONS OF SITE UTILITY STRUCTURES/ SERVICES AND DRIVEWAYS.
- TREE PITS OR PLANTING BEDS LOCATED WITHIN 1 METER OF UNDERGROUND UTILITIES ARE TO BE HAND DUG.
- SUBMIT WRITTEN GUARANTEE TO THE EFFECT THAT ALL PLANTS ACCEPTED DURING THE PERIOD OF JANUARY 1st TO JULY 15th SHALL BE GUARANTEED UNTIL JULY 15th THE SECOND FOLLOWING YEAR. PLANTS ACCEPTED DURING THE PERIOD OF JULY 15th TO DECEMBER 31st SHALL BE GUARANTEED FOR TWO YEARS FROM THE DATE OF ACCEPTANCE. THE GUARANTEED PERIOD LISTED ABOVE SHALL APPLY TO ALL "NURSERY GROWN" PLANTS AS PER TOWN OF COLLINGWOOD'S TWO YEAR MAINTENANCE REQUIREMENTS.
- ALL MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SOD ANY AREAS MARKED WITH NURSERY SOD ON 150mm CLEAN TOPSOIL. FINE GRADE AND SOD ALL BOULEVARD AREAS TO MUNICIPAL SPECIFICATIONS AND REPAIR DAMAGE TO ADJACENT PROPERTIES AS REQUIRED.
- FINAL INSPECTION AND ACCEPTANCE OF PLANTING WORK SHALL COINCIDE WITH THE FINAL INSPECTION AND ACCEPTANCE OF ALL WORK INCLUDED IN THE CONTRACT.
- AT THE TIME OF FINAL INSPECTION, ALL PLANTS SHALL BE IN A HEALTHY, VIGOROUS GROWING CONDITION AND PLANTED IN FULL ACCORDANCE WITH DRAWINGS AND CONDITIONS.

NOTES:

- CONCRETE UNIT PAVING SHALL BE IN ACCORDANCE WITH OPSS.MINI 355 AND MANUFACTURER'S SPECIFICATIONS.
- CONCRETE UNIT PAVING SHALL BE SPECIFIED BY OWNER.

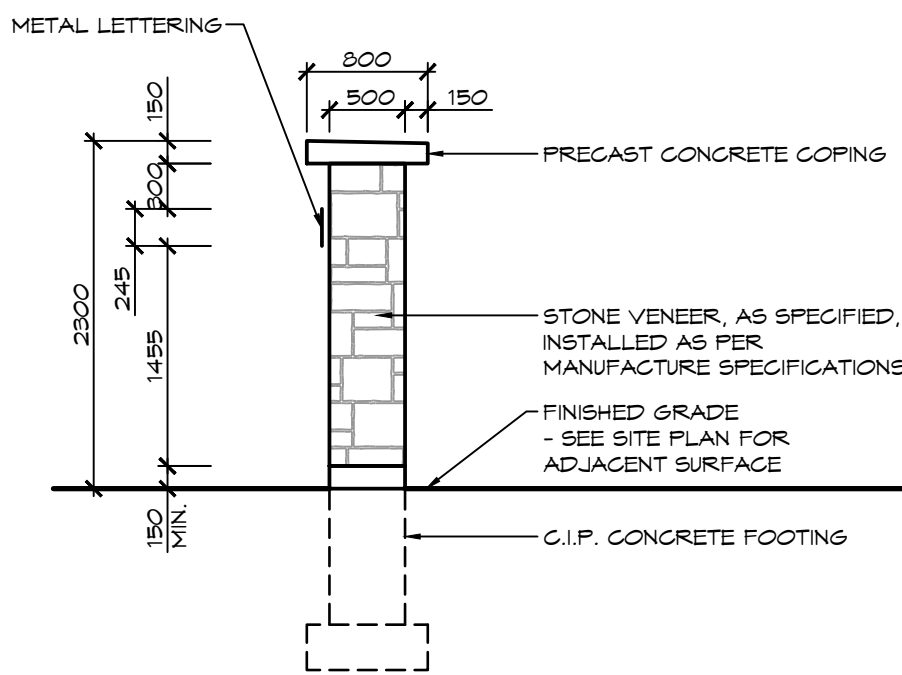


2 CONCRETE UNIT PAVING

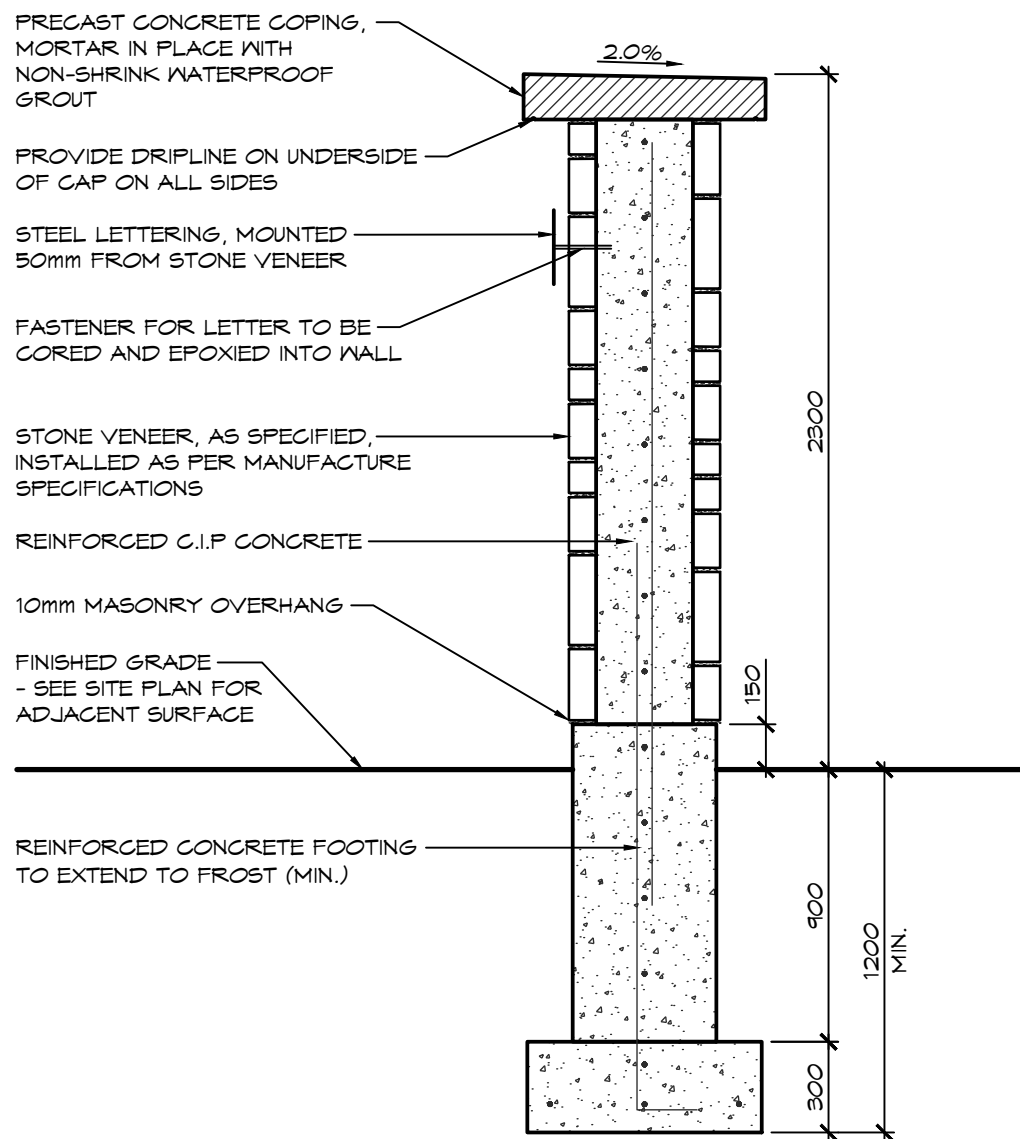


FRONT ELEVATION
SCALE 1:50

1 ENTRANCE FEATURE



SIDE ELEVATION
SCALE 1:50



ENTRANCE FEATURE - SECTION
SCALE 1:25

NOTES:

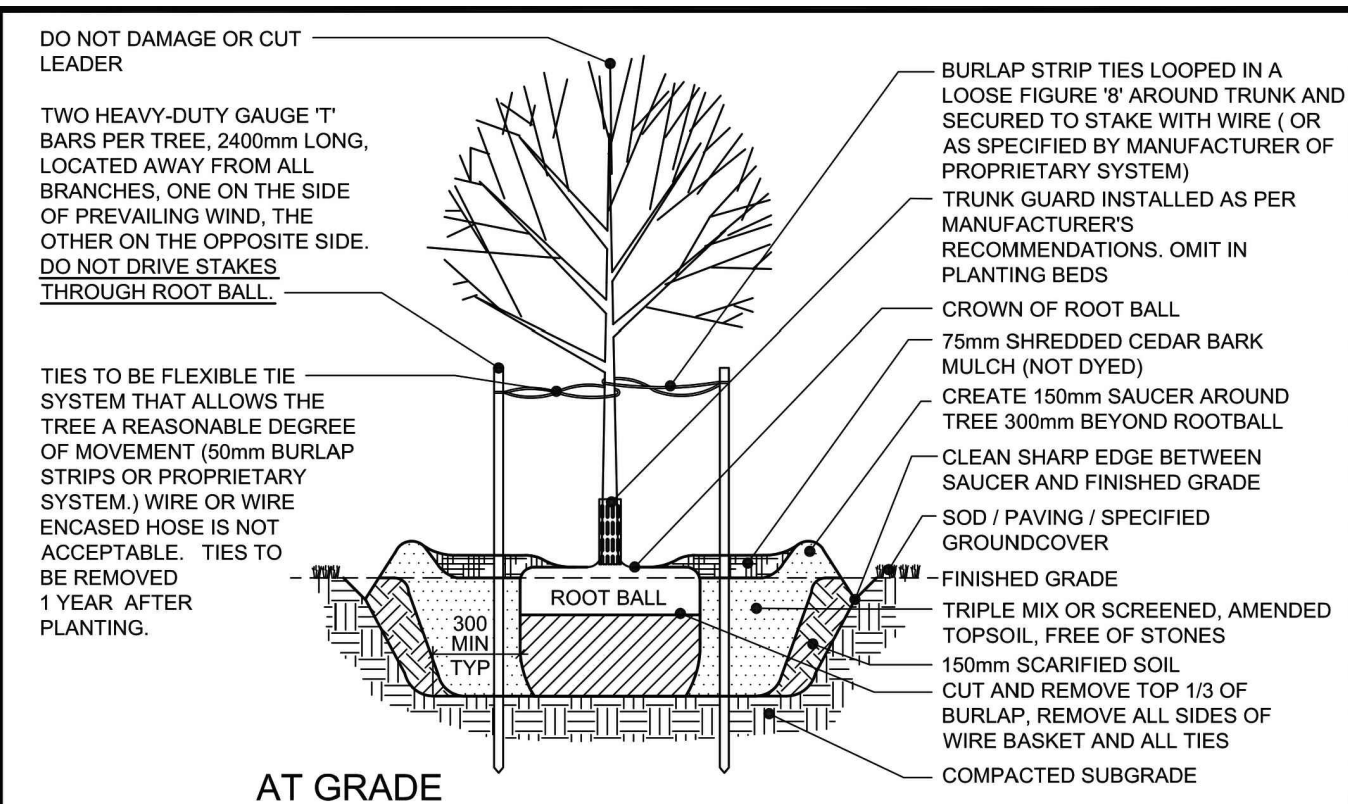
1.0 CONCRETE

- THE CONTRACTOR SHALL PROVIDE DETAILED SHOP DRAWINGS FOR THE CAST-IN-PLACE CONCRETE FOOTING FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE SEALED BY AN ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
- FORMAL CERTIFICATION OF THE WORKS SHALL BE PROVIDED BY THE ENGINEER RESPONSIBLE FOR THE SEALED SHOP DRAWINGS.

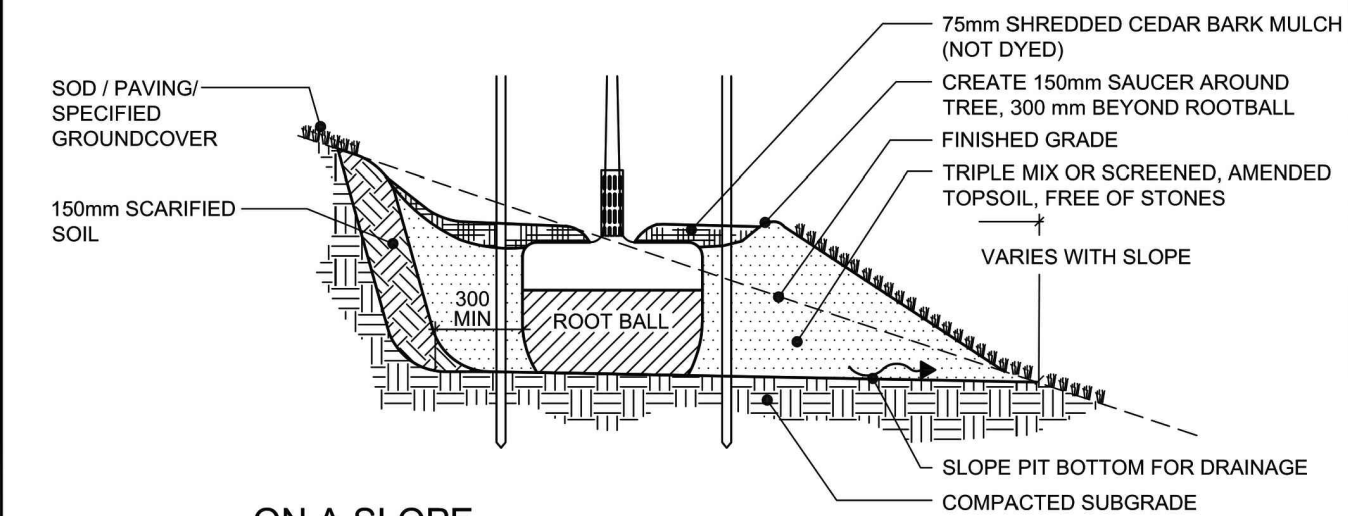
2.0 MASONRY

- STONE VENEER SHALL BE SPECIFIED BY OWNER.
- METAL LETTERING

- LETTERING FABRICATOR SHALL PROVIDE SHOP DRAWINGS OF THE LETTERS AND ATTACHMENTS FOR APPROVAL.
- LETTERS TO BE POWDER COATED STEEL, COLOUR TO BE SPECIFIED BY OWNER.



AT GRADE

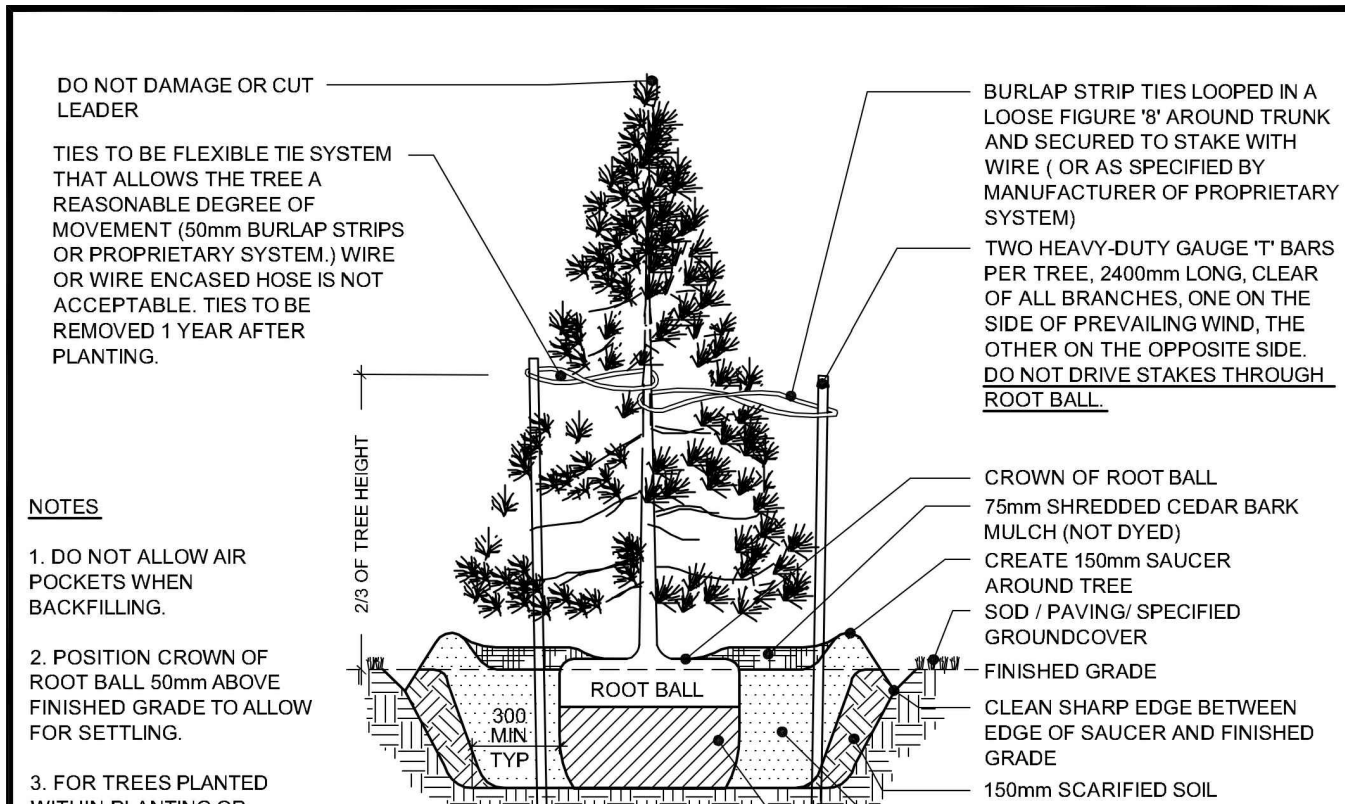


ON A SLOPE

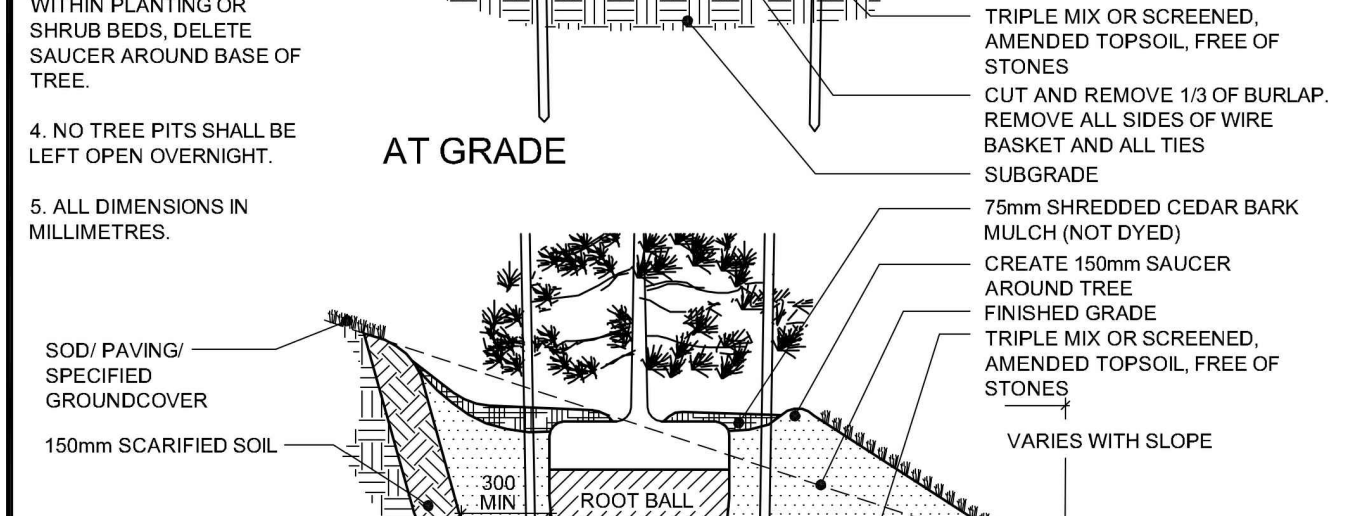
- NOTES:
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 - POSITION CROWN OF ROOT BALL 50mm ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 - DO CORRECTIVE PRUNING TO RETAIN NATURAL FORM OF TREE.
 - FOR TREES PLANTED WITHIN PLANTING OR SHRUB BEDS, DELETE SAUCER AROUND BASE OF TREE.
 - NO TREE PITS SHALL BE LEFT OPEN OVERNIGHT.
 - ALL DIMENSIONS ARE IN MILLIMETRES.

NO.		REVISION	APRD	DATE
1		PLANTING METHODOLOGY	EN	JUL04
2		PLANTING METHODOLOGY	DW	JUN07
TOWN OF COLLINGWOOD			APRD: DW	DATE: JAN03
			DRAWN: AB	SCALE: NTS
DECIDUOUS TREE PLANTING			STD. No.	1101

3 DECIDUOUS TREE PLANTING



AT GRADE

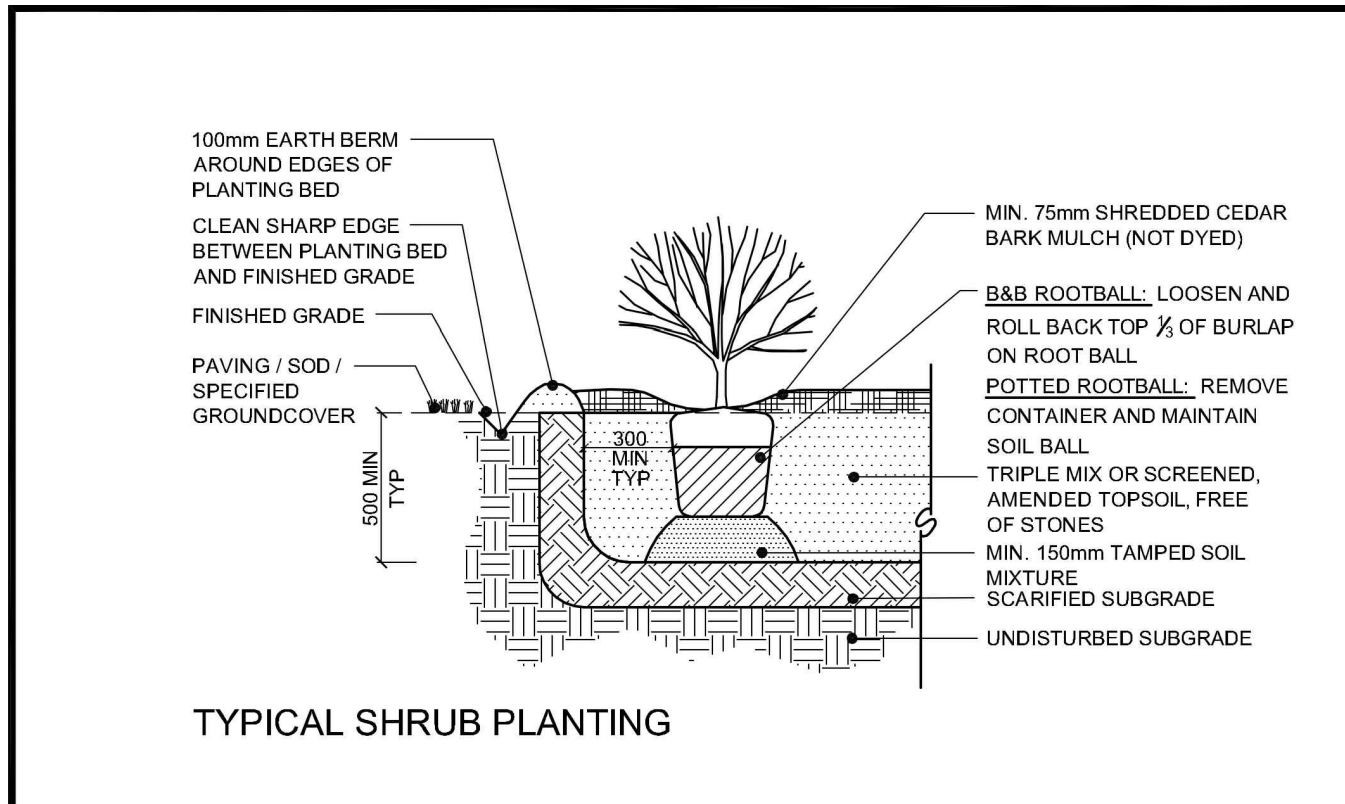


ON A SLOPE

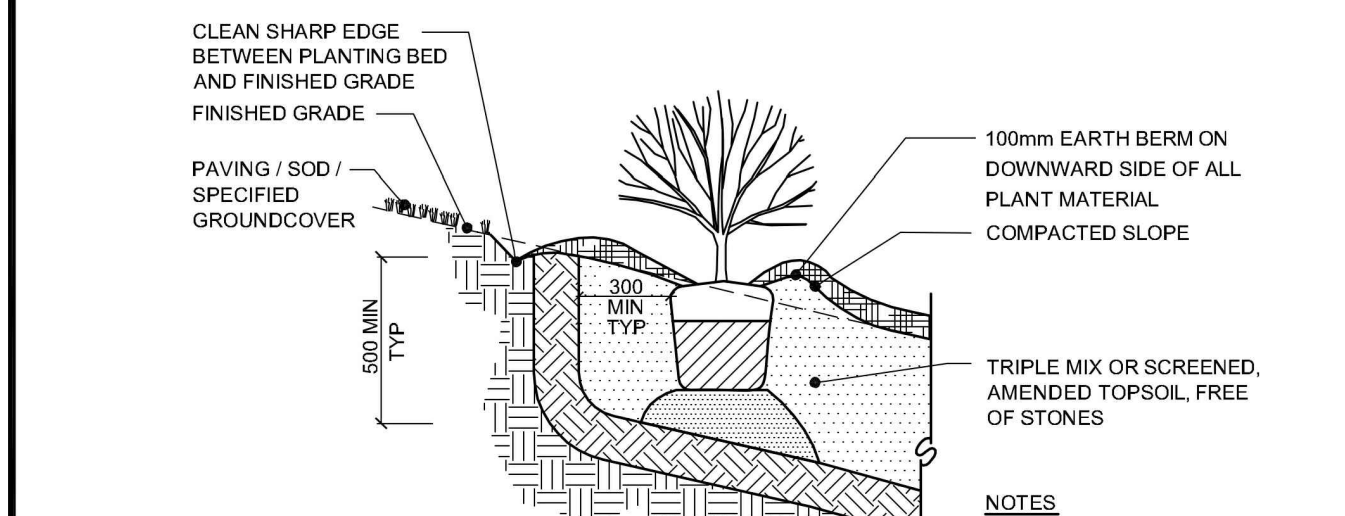
- NOTES:
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 - POSITION CROWN OF ROOT BALL 50mm ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 - FOR TREES PLANTED WITHIN PLANTING OR SHRUB BEDS, DELETE SAUCER AROUND BASE OF TREE.
 - NO TREE PITS SHALL BE LEFT OPEN OVERNIGHT.
 - ALL DIMENSIONS ARE IN MILLIMETRES.

NO.		REVISION	APRD	DATE
1		PLANTING METHODOLOGY	EN	JUL04
2		PLANTING METHODOLOGY	DW	JUN07
TOWN OF COLLINGWOOD			APRD: DW	DATE: JAN03
			DRAWN: AB	SCALE: NTS
CONIFEROUS TREE PLANTING			STD. No.	1102

4 CONIFEROUS TREE PLANTING



TYPICAL SHRUB PLANTING



PLANTING ON 3:1 SLOPE DETAIL

- NOTES:
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 - POSITION CROWN OF ROOT BALL 25mm ABOVE FINISH GRADE TO ALLOW FOR SETTLING.
 - ALL DIMENSIONS ARE IN MILLIMETRES.

NO.		REVISION	APRD	DATE
1		PLANTING METHODOLOGY	EN	JUL04
2		PLANTING METHODOLOGY	DW	JUN07
TOWN OF COLLINGWOOD			APRD: DW	DATE: JAN03
			DRAWN: AB	SCALE: NTS
SHRUB PLANTING			STD. No.	1103

5 SHRUB PLANTING

- THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER & ASSOCIATES INC. AND THE REPRODUCTION OF ANY PART WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.
- THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT.
- DO NOT SCALE THE DRAWINGS.
- ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

Town

No.	ISSUE	DATE: MM/DD/YYYY
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Landscape Architect



Landscape Architect

Project

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TOWN OF COLLINGWOOD

Drawing

LANDSCAPE DETAILS



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COLLINGWOOD, ON L9Y 4R3
705-446-3510 T
705-446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

Drawn By	K.M.	Design By	K.M.	Project	183-4877
Check By	K.M.	Check By	M.H.	Scale	AS SHOWN
				Drawing	LD-2