

ROYAL WINDSOR AT BALMORAL VILLAGE

TOWN OF COLLINGWOOD COUNTY OF SIMCOE



MUNICIPALITY

TOWN OF COLLINGWOOD
97 HURONTARIO STREET, P.O. BOX 157
COLLINGWOOD, ONTARIO, L9Y 3Z5

DEVELOPER

REID'S HERITAGE HOMES
6783 WELLINGTON ROAD 34, R.R. #22
CAMBRIDGE, ONTARIO N3C 2V4

DEVELOPER'S ENGINEER



THE HARBOUREDGE BUILDING,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
705 446-3510 T
705 446-3520 F
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LANDSCAPE ARCHITECT



THE HARBOUREDGE BUILDING,
40 HURON STREET, SUITE 301,
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ARCHITECT

KNYMH ARCHITECTURE SOLUTIONS
1006 SKYVIEW DRIVE SUITE 101
BURLINGTON, ONTARIO L7P 0V1

DRAWING

TITLE

SP1	SITE PLAN
A100	UNDERGROUND PARKING
A450	COLOURED ELEVATIONS
101	SITE GRADING PLAN
101B	CROSS SECTIONS
102	GENERAL SITE SERVICING PLAN
103	STORM AREA DRAINAGE PLAN
104	SEDIMENT CONTROL PLAN
105	GENERAL NOTES AND STANDARD DETAILS
E100	SITE PLAN – PHOTOMETRIC
E101	LIGHTING DETAILS
LP1	LANDSCAPE PLAN
LD1–LD2	LANDSCAPE DETAILS

MASTER LEGEND

EXISTING FEATURES (EX.)

XXX.X	EX. CONTOUR
+XXX.XX	EX. GRADE
~	EX. TREELINE
—	EX. WATERCOURSE
—	EX. DITCH
—	EX. WATERMAIN
—	EX. WATER SERVICE
—	EX. FIRE HYDRANT & VALVE
—	EX. SANITARY SEWER & MANHOLE
—	EX. SANITARY FORCEMAIN
—	EX. SANITARY SERVICE
—	EX. STORM SEWER & MANHOLE
—	EX. STORM CATCHBASIN
—	EX. STORM DOUBLE CATCHBASIN
—	EX. STORM CATCHBASIN MANHOLE
—	EX. STORM DOUBLE CATCHBASIN MANHOLE
—	EX. GAS MAIN
—	EX. BELL LINE
—	EX. BELL PEDESTAL
—	EX. CABLE TELEVISION PEDESTAL
—	EX. HYDRO POLE
—	EX. LIGHT STANDARD
—	EX. SIGN
—	EX. BUILDING
—	EX. BENCHMARK NUMBER & LOCATION
—	EX. BOREHOLE NUMBER & LOCATION

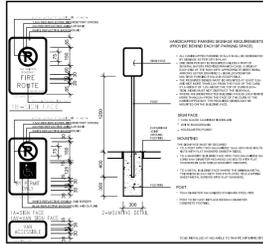
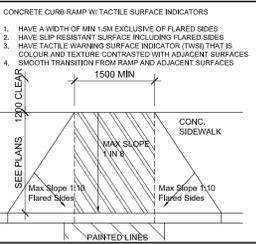
PROPOSED FEATURES (PR.)

---	PR. PROPERTY LIMITS
+XXX.XX	PR. ELEVATION
+XXX.XX	PR. ELEVATION (MATCH EX. ELEVATION)
X.XX	PR. SWALE & SLOPE
---	PR. DITCH DRAINAGE
---	PR. WATERMAIN & VALVE
---	PR. WATER SERVICE
---	PR. FIRE HYDRANT & VALVE
---	PR. WATER VALVE CHAMBER
---	PR. WATER QUALITY TESTING STATION
---	PR. SANITARY SEWER & MANHOLE
---	PR. SANITARY FORCEMAIN
---	PR. SANITARY SERVICE
---	PR. SANITARY CATCHMENT
---	PR. STORM SEWER & MANHOLE
---	PR. CATCHBASIN
---	PR. DOUBLE CATCHBASIN
---	PR. CATCHBASIN MANHOLE
---	PR. DOUBLE CATCHBASIN MANHOLE
---	PR. STORM CATCHMENT
---	CATCHMENT AREA ID
---	AREA (ha)
---	POPULATION (3.5 p.p.u.)
---	PR. STORM SEWER & MANHOLE
---	PR. CATCHBASIN
---	PR. DOUBLE CATCHBASIN
---	PR. CATCHBASIN MANHOLE
---	PR. DOUBLE CATCHBASIN MANHOLE
---	PR. STORM CATCHMENT
---	CATCHMENT AREA ID
---	RUNOFF COEFFICIENT
---	DRAINAGE AREA (ha)
---	PR. CURB CUT
---	PR. CANADA POST COMMUNITY MAIL BOX
---	PR. TRANSFORMER
---	PR. STOP SIGN
---	PR. NAME SIGN
---	PR. NO PARKING SIGN
---	PR. FENCE
---	PR. BUILDING ENVELOPE
---	PR. LIGHT DUTY SILT FENCE
---	PR. HEAVY DUTY SILT FENCE
---	PR. STRAW BALE CHECK FLOW
---	PR. ROCK CHECK DAM
---	PR. SLOPE (3:1 MAX.)
---	PR. TREE PRESERVATION AREA
---	PR. TOPSOIL STOCKPILE LOCATION

**PROJECT No.: 183-4877
RE-ISSUED FOR SITE PLAN APPROVAL**

NOTES:
 THE OWNER IS REQUIRED TO REMOVE SNOW OFF SITE AND MAINTAIN REQUIRED PARKING UNENCUMBERED BY SNOW DURING MAJOR SNOW EVENTS.
 THE OWNER IS REQUIRED TO REMOVE SNOW AND ICE FROM ALL EXIT PATHS AND STAIRS.
 SNOW WILL BE REMOVED FROM SITE BY PRIVATE COMPANY.
 DRIVEWAYS ARE TO BE 1.2 CLEAR OF UTILITY STRUCTURES AND HYDRANTS.
 BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS, AND OTHER SERVICES.
 IF MINIMUM DIMENSION IS NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
 BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.
 PRIOR TO THE COMMENCEMENT OF ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE, THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICE DEPARTMENT, TOWN OF COLLINGWOOD, FOR THE PURPOSE OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT), AND SERVICING EXCAVATIONS (ROAD ALLOWANCE PERMIT) WITHIN THE THE PROPERTY, (ENTRANCE PERMIT), AND SERVICING.
 PARKING STALL DELINEATION TO BE 100MM WIDE WHITE OR YELLOW MARKINGS.
 VISITOR PARKING TO BE MARKED WITH A PAINTED V.
 RESIDENT PARKING TO BE MARKED WITH PAINTED NUMBERS.
 ALL REFUSE WILL BE STORED INTERNALLY.
 WASTE TO BE COLLECTED BY PRIVATE SERVICE.

- LEGEND**
- ◀ APARTMENT PRINCIPAL/VISITOR ENTRY
 - ◀ APARTMENT EXIT DOOR
 - ◀ UNDERGROUND PARKING GARAGE ENTRY
 - ◀ UNDERGROUND SERVICE ENTRY
 - R RESIDENT PARKING SPACE
 - P PATIO @ GRADE
 - BFC BARRIER FREE CURB
 - VERTICAL ACCESSIBLE PARKING SIGN
 - VERTICAL ACCESSIBLE PARKING SIGN W/ VAN SIGN
 - PAINTED BARRIER FREE PARKING SYMBOL AS PER MUNICIPAL STANDARDS
 - STOP SIGN
 - HYDRANT
 - SIAMASE CONNECTION
 - FIRE ACCESS ROUTE SIGN
 - STREETLIGHT
 - TRANSFORMER
 - E ELECTRICAL SERVICE
 - CONCRETE SIDEWALK
 - LANDSCAPE
 - SOD
 - ZEBRA PATTERN LINE PAINTING



3 PLAN DETAIL
 SP1 BFC CURB CUT
 1/4" = 1'-0"

4 DETAIL
 SP1 SIGNAGE
 1/4" = 1'-0"

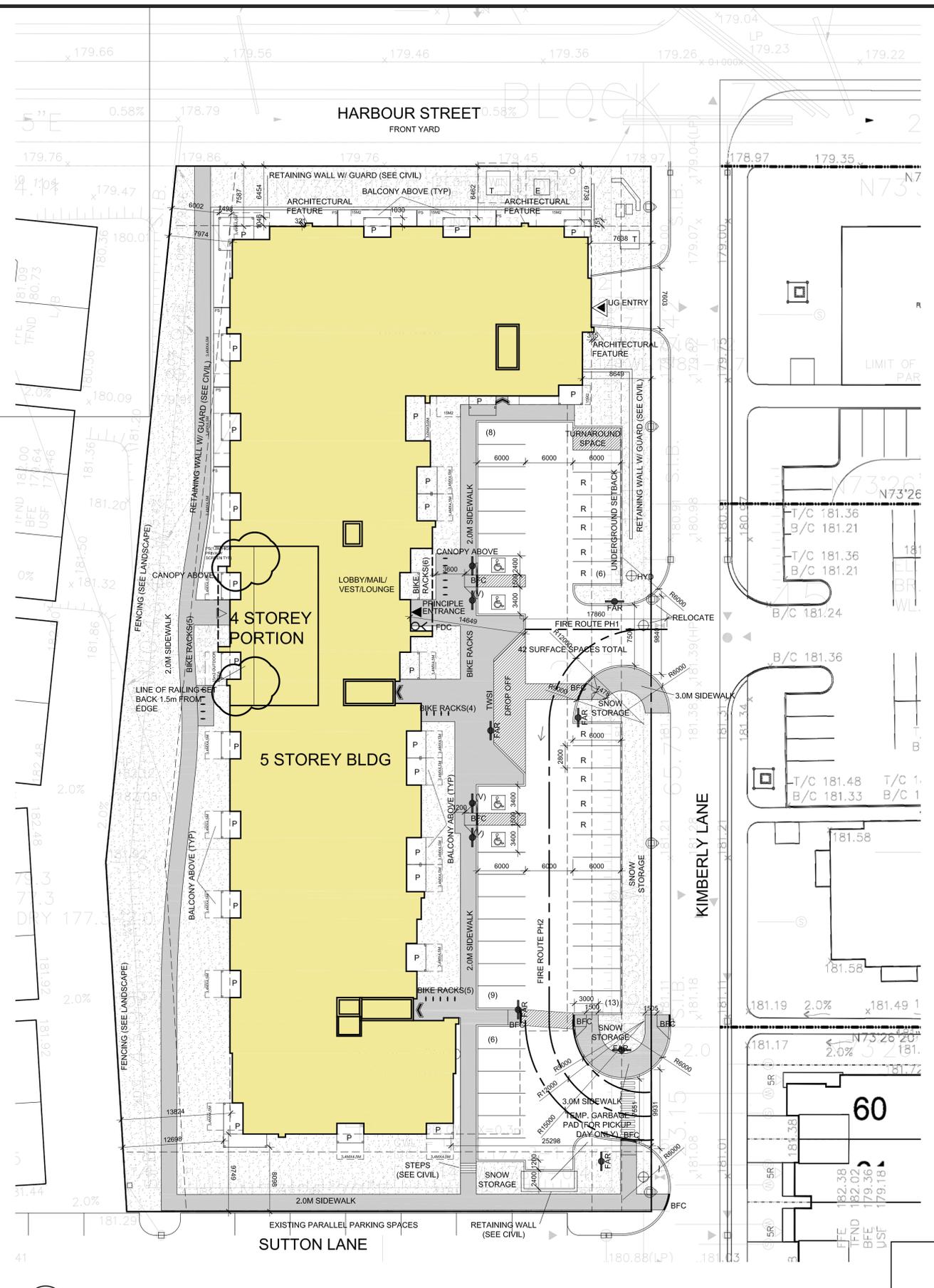
132 UNITS TOTAL
 122 UG SPACES +27 TANDEM
 42 SURFACE SPACES
 164 TOTAL SPACES (164 REQ'D)

R4-4 (H-18) ZONE AS AMENDED

ZONING BY-LAW SUMMARY
 TOWN OF COLLINGWOOD ZONING BYLAW 2010-040
 OFFICIAL PLAN DESIGNATION "RESIDENTIAL MIXED USE"
 132 UNITS

GENERAL INFORMATION:			
ZONING	R4-4 (H-18) AS AMENDED	MINOR VARIANCE NO D13118	CONSENT NO D10118
LOT AREA	8595.73M ²	0.8600HA	

USE	REQUIRED FOR APARTMENT	PROVIDED
MIN LOT AREA	NIL	8595.7 m ² (0.859 HA)
MIN LOT FRONTAGE	30.0M	59.91M
MIN FRONT YARD	7.5M	7.587M
MIN EXTERIOR SIDE YARD	7.5M	7.638M
MIN INTERIOR SIDE YARD	7.5M	7.974M
MIN REAR YARD	7.5M	9.749M
MAX HEIGHT	18M (SUPERCEDED BELOW BY VARIANCE) HEIGHT IS VERTICAL DISTANCE MEASURED FROM GRADE TO HIGHEST POINT OF ROOF DECK SURFACE OR TOP OF RIDGE OF SLOPED ROOF (GRADE IS AVERAGE LEVEL OF PROPOSED OR FINISHED GROUND AT ALL WALLS)	19M (PER VARIANCE) 5 STORIES
MAX LOT COVERAGE	40% (SUPERCEDED BELOW BY VARIANCE)	36% (3088M ²)
MIN LANDSCAPED OPEN SPACE	40%	41% (3558M ²)
DENSITY	133 UNITS	132 UNITS
UNDERGROUND PARKING SETBACK	FRONT YARD - HALF OF THAT REQUIRED FOR THE MAIN BUILDING OR MAIN USE EXTERIOR SIDE YARD - HALF OF THAT REQUIRED FOR THE MAIN BUILDING OR MAIN USE INTERIOR SIDE YARD - NIL REAR YARD - NIL	7.638M
UNDERGROUND PARKING DEPTH	ANY PORTION MUST BE 0.6M BELOW EXISTING GRADE	0.6M
ENTRANCE WIDTH GC 5.3	ENTRANCE WIDTH FOR GROUP OR CLUSTER DWELLINGS = 7.5M	7.5M
RESIDENTIAL FOURTH DENSITY EXCEPTION FOUR - R4-4 ZONE THE FOLLOWING EXEMPTIONS SHALL APPLY		
PARKING	1 SPACE PER UNIT PLUS AN ADDITIONAL 0.25 SPACES PER UNIT FOR VISITOR PARKING (SUPERCEDED BELOW BY VARIANCE)	122 UG (+27 TANDEM) 42 SURFACE 164 TOTAL (+27 TANDEM)
PARKING	THE REQUIRED PARKING MAY BE LOCATED ON AN ABUTTING LOT	NOT REQUIRED
PARKING	THE MINIMUM FRONT YARD SETBACK FOR AN UNDERGROUND PARKING GARAGE IS NIL	
MINOR VARIANCE NOP D13118		
MAX COVERAGE	42%	
MAX HEIGHT	19.0M	
PARKING	DECREASE THE PARKING FROM 162 SPACES TO 153 SPACES, THUS A DECREASE OF 9 SPACES.	
GENERAL CONDITIONS EXEMPTIONS		
ENCROACHMENTS	ARCHITECTURAL FEATURES 0.6M UNENCLOSED PORCH 1.5M BUT NOT CLOSER THAN 1.2M TO LOT LINE. UP TO 3.0M SETBACK IN REAR YARD ENCLOSED BALCONY 1.5M BUT NOT CLOSER THAN 1.2M TO LOT LINE CANOPY MAY PROJECT HALFWAY INTO A REQUIRED YARD	
PARKING AISLE SIZE GREATER THAN 70 DEGREES	6.0M	6.0M
PARKING SPACE SIZE (PERPENDICULAR)	6.0M X 2.8M	6.0M X 2.8M
PARKING SPACE SIZE (PARALLEL)	7.0M X 2.8M	7.0M X 2.8M
BF PARKING SPACE SIZE (PERPENDICULAR)	6.0M X 4.5M	AODA SUPERCEDES
BF PARKING SPACE SIZE (PARALLEL)	7.0M X 4.5M	
BF PARKING QUANTITY	1-25 -1 26-50 -2 51-100 -3 OVER 100 -2% = 3.4 REQ'D	4 SPACES
LOADING SPACE REQUIRED	NONE	NONE
BICYCLE SPACES	ANY GROUP OR CLUSTER RESIDENTIAL 0.5SPACES PER UNIT TO A MAX OF 20 SPACES	20



1 SITE PLAN
 SP1
 1/4" = 1'-0"

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.
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 ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF THE ARCHITECTS AND MUST BE RETURNED AT THE COMPLETION OF THE WORK.
 THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST ASSUME FULL RESPONSIBILITY AND BEAR COSTS FOR ANY CORRECTIONS OR DAMAGES RESULTING FROM HIS OR HER WORK.

KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED	No.	DATE (DD.MM.YY)	BY
CONCEPT 1 - 133 UNITS	1.	13.06.19	MB
CONCEPT 2 - 132 UNITS	2.	27.06.19	MB
PRE-CONSULTATION	3.	09.07.19	MB
SITE PLAN APPROVAL	4.	06.01.20	MB
S.P.A. RESUBMISSION	5.	24.07.20	MB
S.P.A. RESUBMISSION	6.	16.11.20	MB
S.P.A. RESUBMISSION	7.	25.03.21	MB
BUILDING PERMIT	8.	21.05.21	MB
S.P.A. RESUBMISSION	9.	11.06.21	MB

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING	No.	DATE (DD.MM.YY)	BY

BUILDING PERMIT NUMBER:
 NOT FOR CONSTRUCTION WITHOUT PERMIT

KNYMH
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KNYMH INC.
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TRUE NORTH
 PROJECT NORTH

PROFESSIONAL ARCHITECTS
 PRZEMYSŁAW MYŚKOWSKI
 LICENCE 7384

ROYAL WINDSOR AT BALMORAL VILLAGE
 KIMBERLY LANE
 COLLINGWOOD, ONTARIO

DRAWING SHEET TITLE:
SITE PLAN

DRAWING SCALE:
 1:200

PROJECT NUMBER:
19029

DRAWN BY: CHECKED BY:
 - -

DRAWING VERSION:
 001

PLOT DATE:
 June 11, 2021

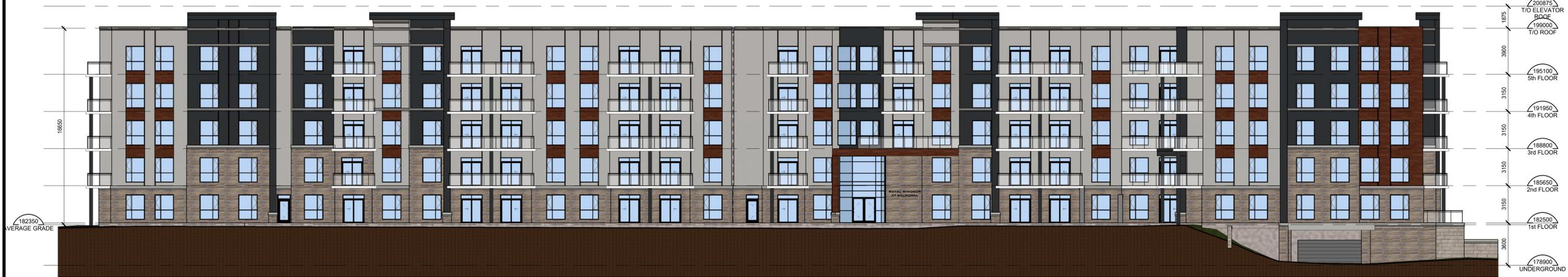
DRAWING SHEET NUMBER:
SP1



3 NORTH ELEVATION COLOUR
A450 1:175



4 SOUTH ELEVATION COLOUR
A450 1:175



1 EAST ELEVATION COLOUR
A450 1:175



2 WEST ELEVATION COLOUR
A450 1:175

LEGEND

GL	GLAZING PANEL
SP	SPANDREL PANEL
S1	STUCCO COLOUR 1 - LIGHT GREY
S2	STUCCO COLOUR 2 - CHARCOAL
AR	ALUMINUM RAILING W/ GLASS
ST	STONE - ARRISCRAFT 15% URBAN LEDGESTONE DUKE 85% SHADOW STONE DRIFTWOOD
AS	ALUMINUM SIDING - LONGBOARD WESTERN CEDAR

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No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED	No.	DATE (DD,MM,YY)	BY
SITE PLAN APPROVAL	1	06.01.20	MB
S.P.A. RESUBMISSION	2	24.07.20	MB
25% SET	3	05.03.21	MB
S.P.A. RESUBMISSION	4	25.03.21	MB

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING	No.	DATE (DD,MM,YY)	BY
NOT FOR CONSTRUCTION			

BUILDING PERMIT NUMBER:
NOT FOR CONSTRUCTION W/O PERMIT

KNYMH
ARCHITECTURE • SOLUTIONS

KNYMH INC.
1006 SKYVIEW DRIVE • SUITE 101
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ONTARIO ASSOCIATION
OF ARCHITECTS

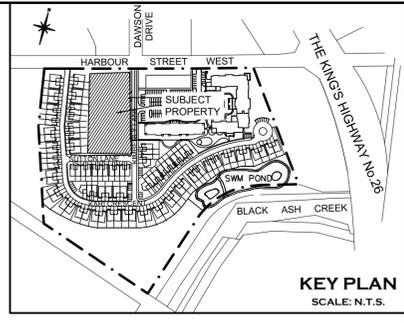
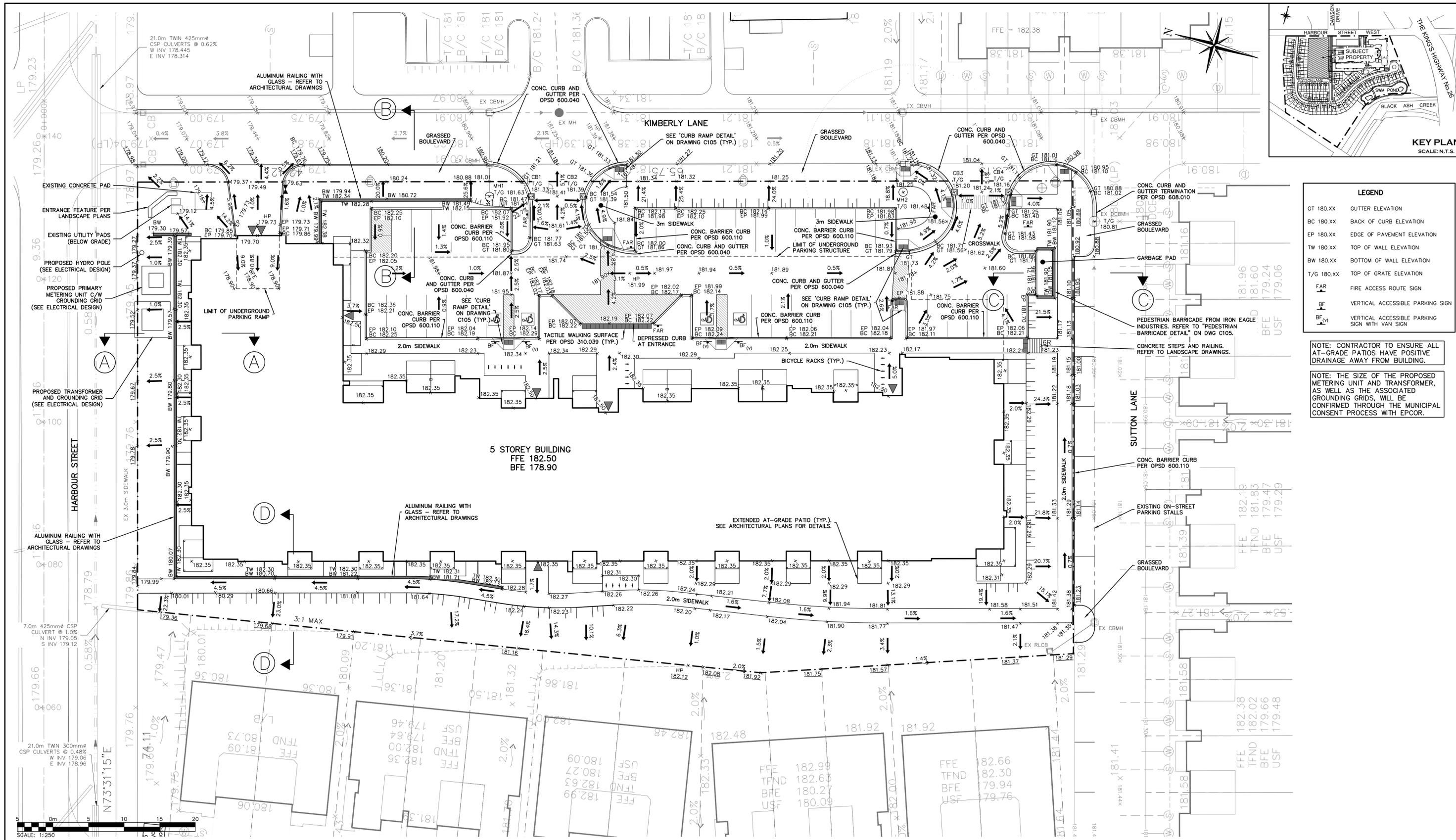
PIEZEMYSLAW MYSZKOWSKI
LICENCE 7984

ROYAL WINDSOR
BALMORAL VILLAGE BLOCK 2,
COLLINGWOOD, ONTARIO

DRAWING SHEET TITLE:
COLOURED ELEVATIONS

DRAWING SCALE: As indicated
PROJECT NUMBER: **19029**

DRAWN BY: Author
CHECKED BY: Checker
DRAWING VERSION:
PLOT DATE: 2021.03.23
DRAWING SHEET NUMBER: **A450**



LEGEND

GT 180.XX	GUTTER ELEVATION
BC 180.XX	BACK OF CURB ELEVATION
EP 180.XX	EDGE OF PAVEMENT ELEVATION
TW 180.XX	TOP OF WALL ELEVATION
BW 180.XX	BOTTOM OF WALL ELEVATION
T/G 180.XX	TOP OF GRATE ELEVATION
FAR	FIRE ACCESS ROUTE SIGN
BF	VERTICAL ACCESSIBLE PARKING SIGN
BF (V)	VERTICAL ACCESSIBLE PARKING SIGN WITH VAN SIGN

NOTE: CONTRACTOR TO ENSURE ALL AT-GRADE PATIOS HAVE POSITIVE DRAINAGE AWAY FROM BUILDING.

NOTE: THE SIZE OF THE PROPOSED METERING UNIT AND TRANSFORMER, AS WELL AS THE ASSOCIATED GROUNDING GRIDS, WILL BE CONFIRMED THROUGH THE MUNICIPAL CONSENT PROCESS WITH EPCOR.

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3. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT.

4. DO NOT SCALE THE DRAWINGS.

5. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

GEODETIC BENCHMARK
 GEODETIC BENCHMARK 72U313 HAVING AN ELEVATION OF 179.633, TABLET IN WEST FOUNDATION OF FORMER KAUFMAN FURNITURE BUILDING.

TEMPORARY BENCHMARKS

TBM#1
 T/NT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH KARI CRESCENT. ELEV. 180.22

TBM#2
 T/NT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH DAWSON DRIVE. ELEV. 180.52

TBM#3
 T/NT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET, 145m EAST OF DAWSON DRIVE INTERSECTION. ELEV. 180.28

No.	ISSUE	DATE: MM/DD/YYYY
1	ISSUED FOR 1st SUBMISSION	01/08/2020
2	ISSUED FOR 2nd SUBMISSION	07/24/2020
3	ISSUED FOR SITE PLAN APPROVAL	11/13/2020
4	RE-ISSUED FOR SITE PLAN APPROVAL	04/12/2021
5	RE-ISSUED FOR SITE PLAN APPROVAL	06/11/2021

Engineer
G.F. COOPER
 100532614
 June 11, 2021
 PROVINCE OF ONTARIO

Engineer
R.A. ALEXANDER
 100213093
 June 11, 2021
 PROVINCE OF ONTARIO

Project
ROYAL WINDSOR AT BALMORAL VILLAGE
 TOWN OF COLLINGWOOD

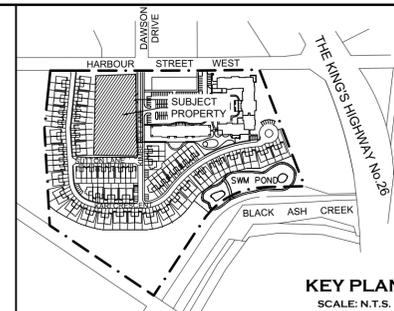
Drawing
SITE GRADING PLAN

CROZIER CONSULTING ENGINEERS

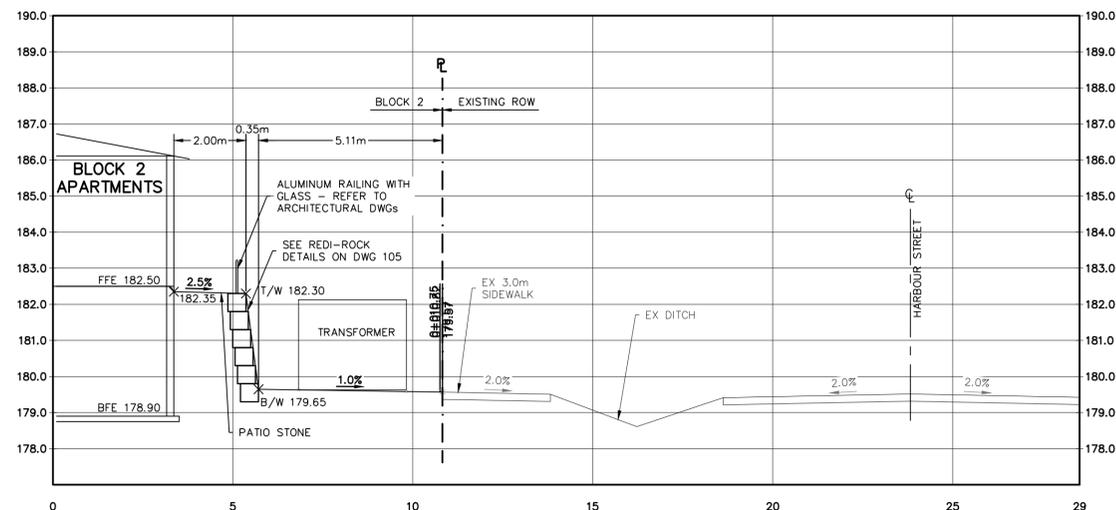
THE HARBOUREDGE BUILDING,
 40 HURON STREET, SUITE 301,
 COLLINGWOOD, ON L9Y 4R3
 705 446-3510 T
 705 446-3520 F
 WWW.CROZIER.CA
 INFO@CROZIER.CA

Drawn By: J.A.P. Design By: J.O. Project: **183-4877**

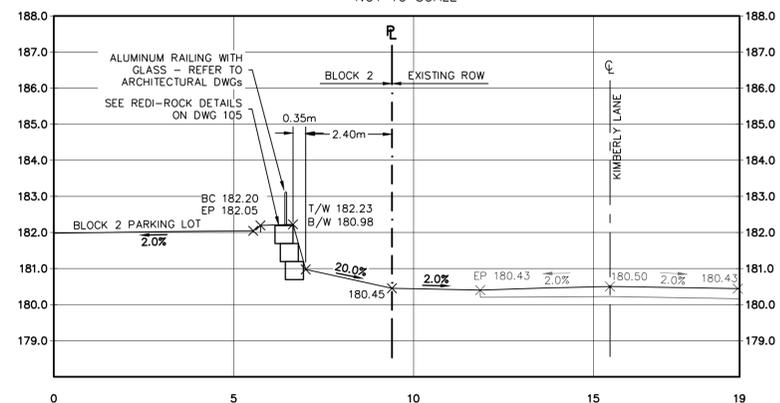
Check By: G.C. Check By: R.A./R.W. Scale: 1:250 Drawing: **C101**



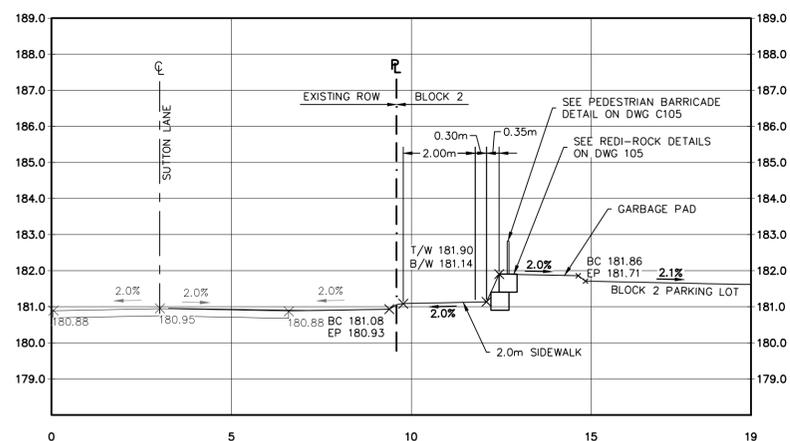
SECTION A-A
NOT TO SCALE



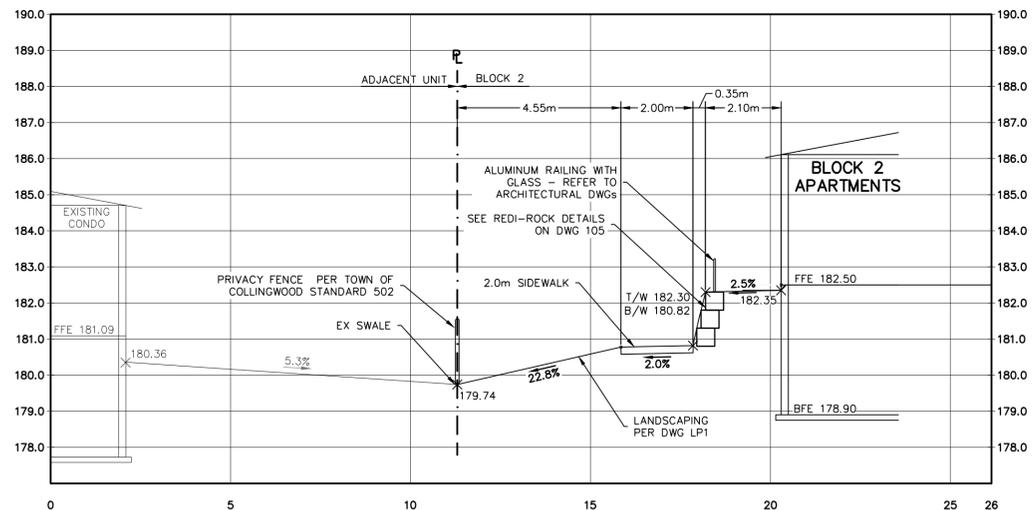
SECTION B-B
NOT TO SCALE



SECTION C-C
NOT TO SCALE



SECTION D-D
NOT TO SCALE

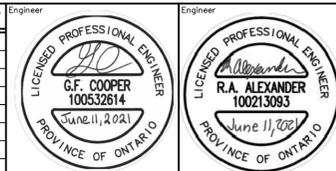


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GEODETIC BENCHMARK
GEODETIC BENCHMARK 72U313 HAVING AN ELEVATION OF 179.633, TABLET IN WEST FOUNDATION OF FORMER KAUFMAN FURNITURE BUILDING.
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TBM#2 T/NUIT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH DAWSON DRIVE. ELEV. 180.52
TBM#3 T/NUIT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET, 145m EAST OF DAWSON DRIVE INTERSECTION. ELEV. 180.28

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4	RE-ISSUED FOR SITE PLAN APPROVAL	04/12/2021
5	RE-ISSUED FOR SITE PLAN APPROVAL	06/11/2021

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5	RE-ISSUED FOR SITE PLAN APPROVAL	06/11/2021

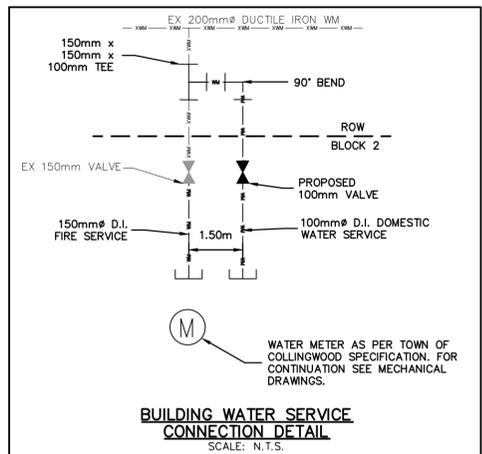
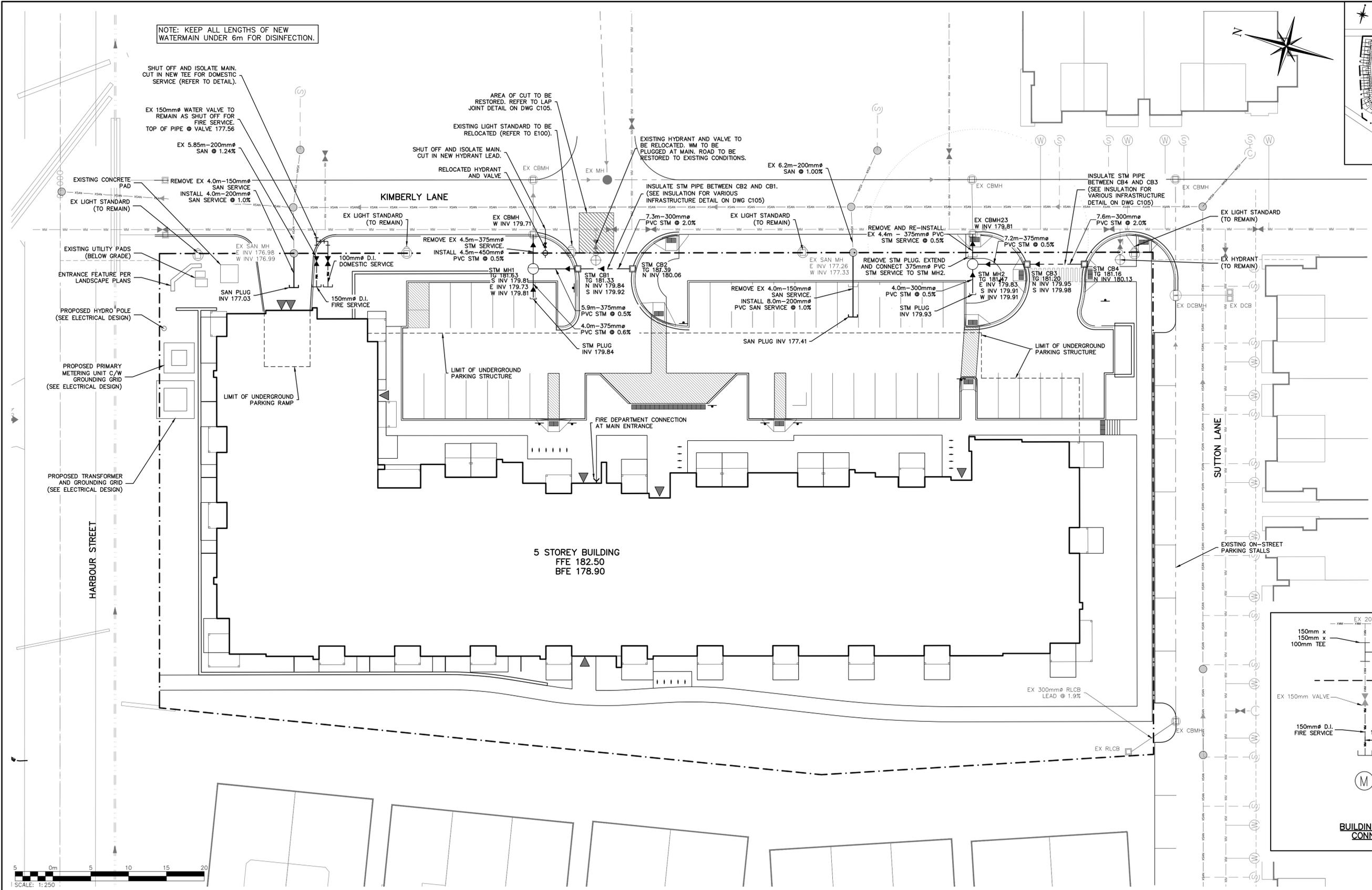
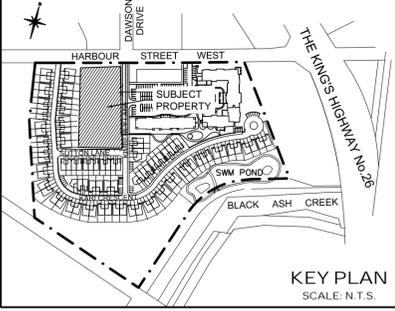


Project: **ROYAL WINDSOR AT BALMORAL VILLAGE TOWN OF COLLINGWOOD**
Drawing: **CROSS SECTIONS**

CROZIER CONSULTING ENGINEERS
THE HARBOUREDGE BUILDING, 40 HURON STREET, SUITE 301, COLLINGWOOD, ON L9Y 4R3
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Drawn By: J.A.P. Design By: J.O. Project: **183-4877**
Check By: G.C. Check By: R.A./R.W. Scale: NTS Drawing: **C101B**

NOTE: KEEP ALL LENGTHS OF NEW WATERMAIN UNDER 6m FOR DISINFECTION.



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4. DO NOT SCALE THE DRAWINGS.

5. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

GEODEIC BENCHMARK	
GEODEIC BENCHMARK 72U313 HAVING AN ELEVATION OF 179.633, TABLET IN WEST FOUNDATION OF FORMER KAUFMAN FURNITURE BUILDING.	
TEMPORARY BENCHMARKS	
TBM#1	ELEV. 180.22 1/4" NUT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH KARI CRESCENT.
TBM#2	ELEV. 180.52 1/4" NUT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH DAWSON DRIVE.
TBM#3	ELEV. 180.28 1/4" NUT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET, 145m EAST OF DAWSON DRIVE INTERSECTION.

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Engineer

G.F. COOPER
100532614
June 11, 2021
PROVINCE OF ONTARIO

Engineer

R.A. ALEXANDER
100213093
June 11, 2021
PROVINCE OF ONTARIO

Project: ROYAL WINDSOR AT BALMORAL VILLAGE TOWN OF COLLINGWOOD

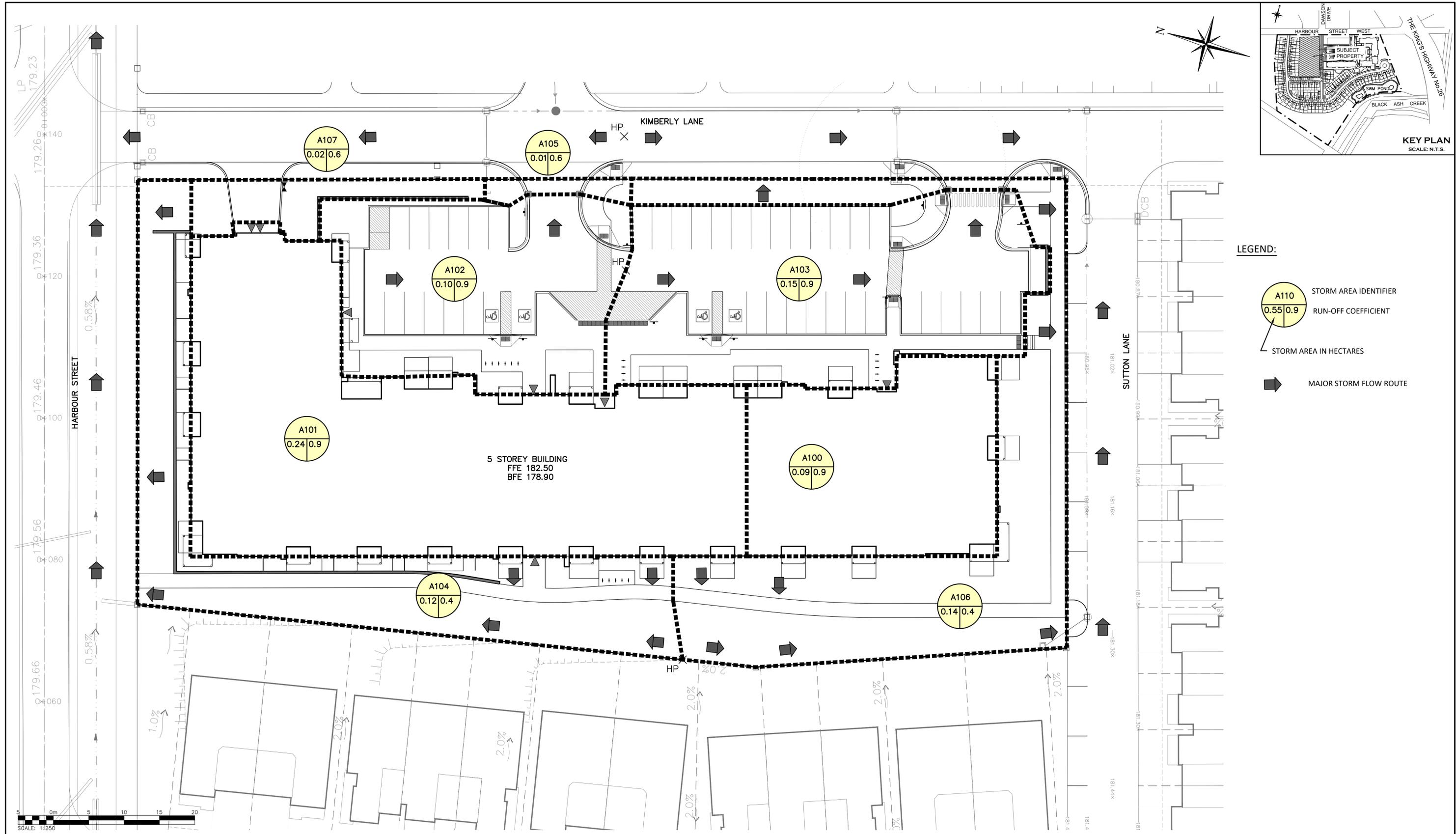
Drawing: GENERAL SITE SERVICING PLAN

CROZIER CONSULTING ENGINEERS

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Drawn By: J.A.P. Design By: J.O. Project: 183-4877

Check By: G.C. Check By: R.A./R.W. Scale: 1:250 Drawing: C102



- LEGEND:**
- STORM AREA IDENTIFIER
 - RUN-OFF COEFFICIENT
 - STORM AREA IN HECTARES
 - MAJOR STORM FLOW ROUTE

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 GEODETIC BENCHMARK 72U313 HAVING AN ELEVATION OF 179.633, TABLET IN WEST FOUNDATION OF FORMER KAUFMAN FURNITURE BUILDING.

TEMPORARY BENCHMARKS

TBM#1
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TBM#2
 1/ NUT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH DAWSON DRIVE. ELEV. 180.52

TBM#3
 1/ NUT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET, 145m EAST OF DAWSON DRIVE INTERSECTION. ELEV. 180.28

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Project
ROYAL WINDSOR AT BALMORAL VILLAGE
 TOWN OF COLLINGWOOD

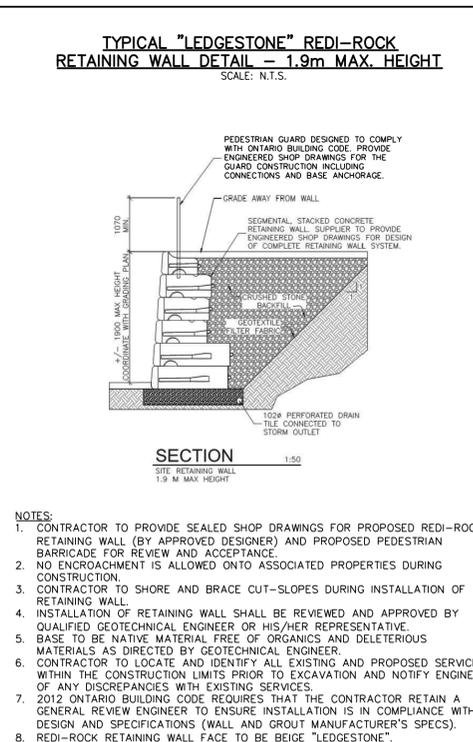
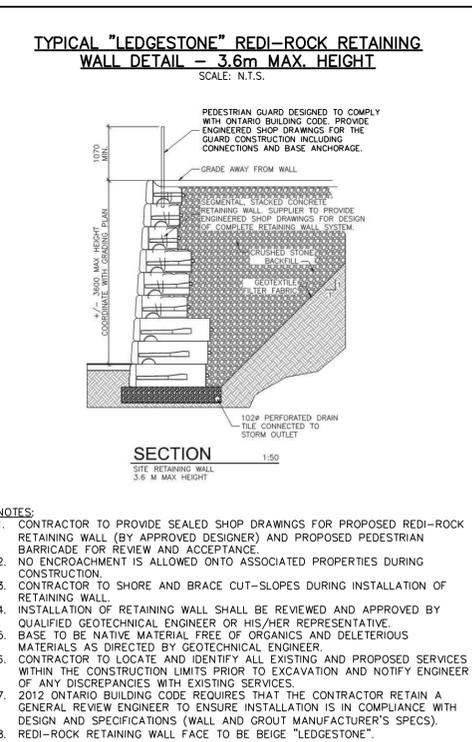
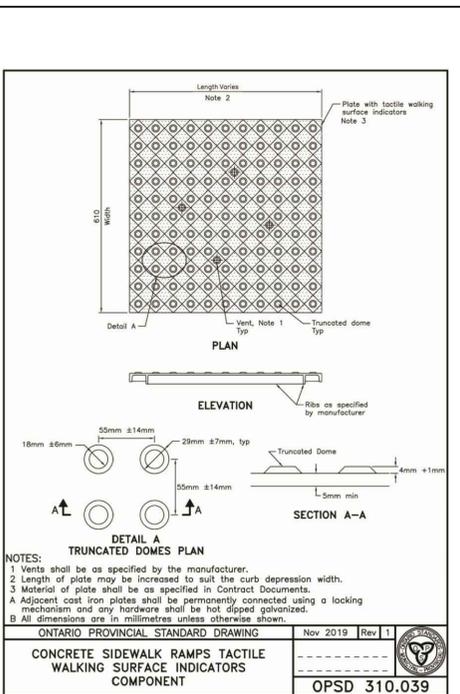
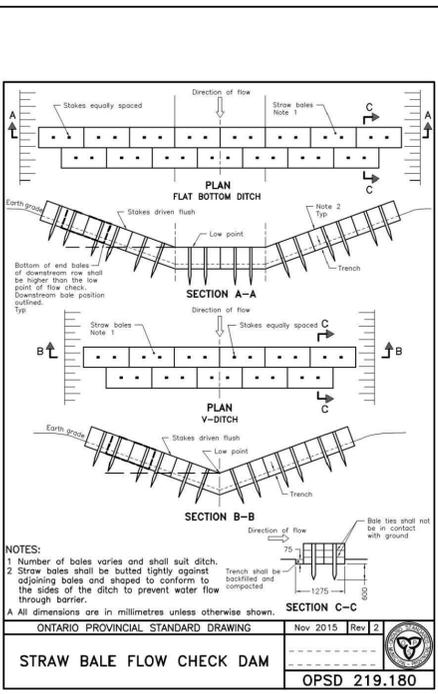
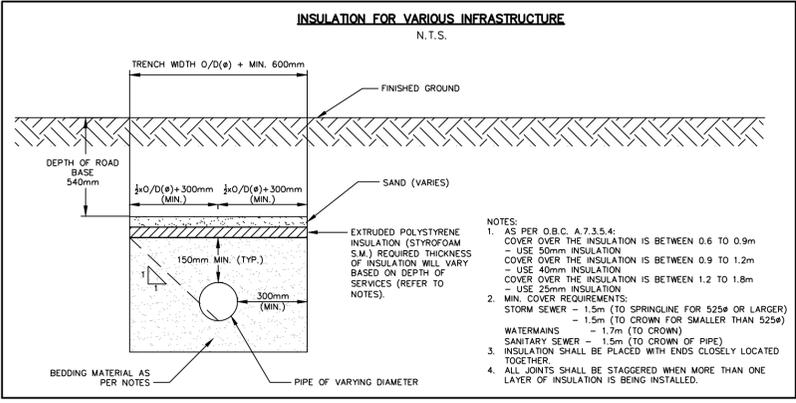
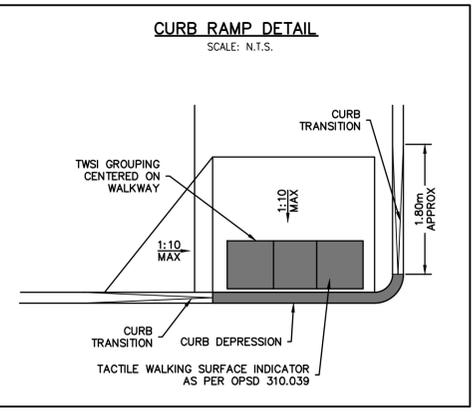
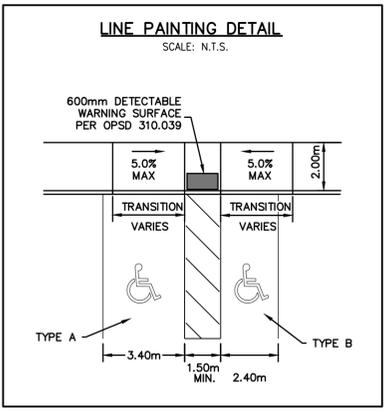
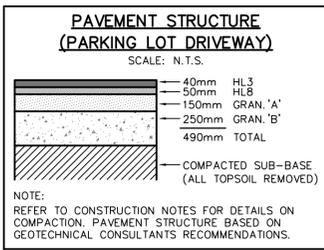
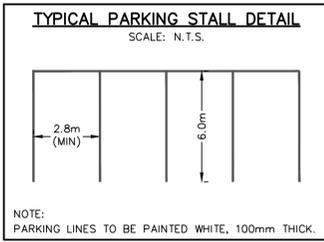
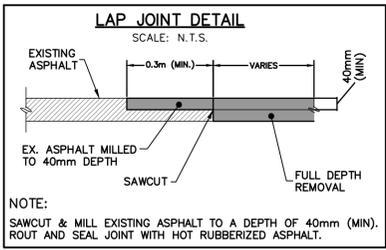
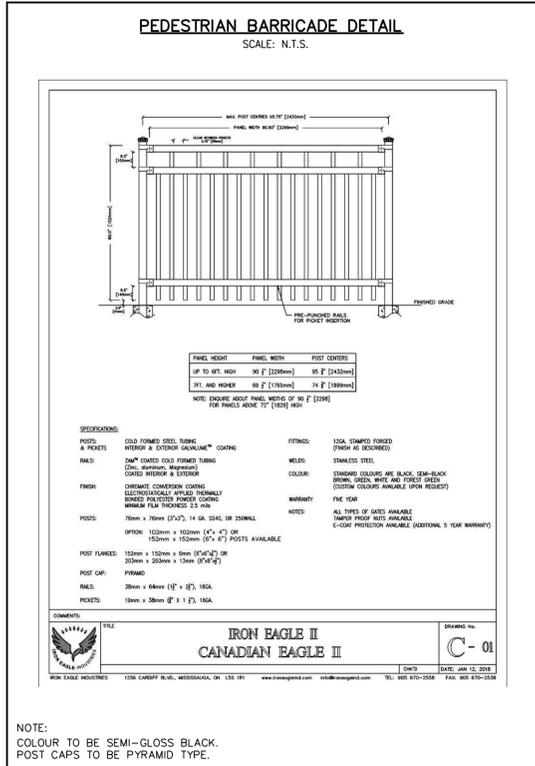
Drawing
STORM AREA DRAINAGE PLAN

Drawn By: J.A.P. Design By: J.O. Project: **183-4877**

Check By: G.C. Check By: R.A./R.W. Scale: Drawing: **C103**

CROZIER
 CONSULTING ENGINEERS

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- ### CONSTRUCTION NOTES
- A) GENERAL - CONSTRUCTION**
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH TOWN OF COLLINGWOOD STANDARDS (2007), OPSD AND OPSS. WHERE CONFLICT OCCURS, TOWN OF COLLINGWOOD STANDARDS (2007) TO GOVERN.
 - TRENCH BACKFILL (OPSD 802.010 & 802.013) TO BE SELECT NATIVE MATERIAL OR IMPORTED SELECT SUBGRADE TO OPSS 1010. BACKFILL TO BE PLACED IN MAXIMUM 200mm THICK LIFTS AND COMPACTED TO 95% OF THE MATERIAL'S STANDARD PROCTOR MAXIMUM DRY DENSITY (SPMDD).
 - PIPE COVER AND BEDDING TO BE GRANULAR 'A', MINIMUM 150mm DEPTH COMPACTED TO A MINIMUM 95% SPMDD.
 - ALL TOPSOIL AND EARTH EXCAVATION TO BE STOCK PILED OR REMOVED TO AN APPROVED SITE AS DIRECTED BY ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETAILED LAYOUT OF THE WORK. THE OWNER'S ENGINEER WILL CONFIRM ALL BENCH MARK ELEVATIONS AND HORIZONTAL ALIGNMENT FOR THE CONTRACTOR.
 - ALL PROPERTY BARS TO BE PRESERVED AND REPLACED BY O.L.S. AT CONTRACTOR'S EXPENSE IF REMOVED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL MAKE HIS OWN ARRANGEMENTS FOR THE SUPPLY OF TEMPORARY WATER AND POWER.
 - DEWATERING TO BE CARRIED OUT IN ACCORDANCE WITH OPSS-517 AND 518 TO MAINTAIN ALL TRENCHES IN A DRY CONDITION.
 - ALL ENGINE DRIVEN PUMPS TO BE ADEQUATELY SILENCED, SUITABLE FOR OPERATION IN A RESIDENTIAL DISTRICT.
 - DISTURBED AREAS OUTSIDE THE PROJECT LIMITS TO BE REINSTATED TO PREVIOUS CONDITION OR BETTER.
 - THE CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES PRIOR TO COMMENCING WORK AND CO-ORDINATE CONSTRUCTION ACCORDINGLY.
 - ALL ROCK EXCAVATION PER OPSS-206.
 - ALL EXCAVATION MUST BE CARRIED OUT IN FULL COMPLIANCE WITH MOST RECENT GUIDELINES OF OHSA.
- B) PARKING LOT AND ENTRANCES**
- SUBGRADE TO BE COMPACTED TO A MINIMUM DRY DENSITY OF AT LEAST 95% SPMDD.
 - SUBGRADE TO BE PROOF ROLLED AND CERTIFIED PRIOR TO PLACING GRANULAR 'B'.
 - GRANULAR 'A' AND 'B' BASE MATERIALS TO BE COMPACTED TO 100% OF THE MATERIAL'S RESPECTIVE SPMDD AND PLACED IN MAX. 150mm LIFTS.
 - REFER TO PAVEMENT STRUCTURE DETAILS FOR INTERNAL ROADWAY, DRIVEWAYS AND PARKING AREAS.
 - SELECT SUBGRADE OR IMPORTED GRANULAR MATERIAL APPROVED BY THE ENGINEER, COMPACTED TO 98% SPMDD TO BE USED AS FILL IN ALL AREAS WHERE PROPOSED PIPE INVERTS ARE HIGHER THAN EXISTING GRADE OR AS INSTRUCTED BY THE ENGINEER.
 - ALL GRANULARS AND ASPHALT MATERIALS PLACEMENT TO BE IN ACCORDANCE WITH OPSS 314 AND OPSS 310.
 - JOINTS WITH EXISTING ASPHALT TO BE SAW CUT STRAIGHT PRIOR TO PLACING NEW ASPHALT AND TACK COAT APPLIED TO EXISTING ASPHALT.
 - CONCRETE CURB TO OPSS 600.110 AND OPSS 353. CONCRETE CURB AND GUTTER TO OPSS 600.040 AND OPSS 353.
 - CONCRETE SIDEWALK TO OPSS 310.010, 310.030, 350.010 AND OPSS 351. SUBBASE TO CONSIST OF MIN. 150mm OF GRANULAR 'A' UNLESS THROUGH DRIVEWAYS.
- C) SANITARY SEWERS**
- M.H.'S TO OPSS - 701.010, 701.030 & 704.010.
 - BENCHING TO OPSS - 701.021.
 - STEPS TO OPSS - 405.010.
 - BACKFILL AND EMBEDMENT TO OPSS - 802.010, GRANULAR 'A' BEDDING.
 - TRENCH BACKFILL TO BE SELECT NATIVE MATERIAL AS APPROVED BY ENGINEER OR IMPORTED GRANULAR MATERIAL.
 - FRAMES AND COVERS TO OPSS - 401.01 TYPE 'A' (CLOSE COVER).
 - MANHOLES FRAMES TO BE SET TO BASE COURSE ASPHALT AND RAISED BY ADDING RISER RINGS AS REQUIRED.
 - PIPE SUPPORT AT MAINTENANCE HOLES PER OPSS 708.020.
 - GENERAL INSTALLATION AND TESTING OF SEWERS AND APPURTENANCES TO BE IN ACCORDANCE WITH OPSS 407, 408, 409 (CCTV), 410, 421 AND ALL SPECIFICATIONS REFERENCED WITHIN THESE SECTIONS. CONTRACTOR SHALL BE REQUIRED TO PERFORM LEAKAGE & DEFLECTION TESTING ACCORDING TO THE APPROPRIATE OPSS.
 - SANITARY SEWER - SDR 28 PVC GREEN COLOUR.
 - FROST STRAPS PER OPSS 701.100.
- D) WATERMANS**
- BACKFILL AND EMBEDMENT TO OPSS - 802.010, GRANULAR 'A' EMBEDMENT.
 - TRENCH BACKFILL TO BE SELECT NATIVE MATERIAL AS APPROVED BY ENGINEER OR IMPORTED GRANULAR MATERIAL.
 - THRUST BLOCKS TO OPSS - 1103.010 AND 1103.020 WHERE SUITABLE SOILS ARE ENCOUNTERED.
 - SERVICE CONNECTIONS TO OPSS - 1104.010, 100mm GRANULAR 'A' EMBEDMENT AND COVER OVER PIPE.
 - MINIMUM COVER ON WATERMAIN AND SEWERS TO BE 1.7m.
 - GATE VALVES, BENDS AND FITTINGS TO BE CONNECTED WITH ROMAC GRIPPER RING RESTRAINING CLAMP.
 - CLEARANCE BETWEEN WATERMANS AND SEWERS TO BE A MINIMUM OF 0.5m VERTICAL (CLEAR) C/W RIGID INSULATION AND 2.5m MINIMUM (CLEAR) HORIZONTAL SEPARATION.
 - FOLLOWING TESTING, CONTRACTOR SHALL OPERATE EACH WATER SERVICE TO VERIFY FULL FLOW AND PRESSURE AT THE GATE VALVE AND/OR CURB STOP TO THE SATISFACTION OF THE ENGINEER.
 - GENERAL INSTALLATION AND TESTING OF WATERMAIN AND APPURTENANCES TO BE IN ACCORDANCE WITH OPSS 701 AND ALL SPECIFICATIONS REFERENCED WITHIN THESE SECTIONS. WORK MUST BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, ONTARIO FIRE CODE AND LOCAL CODES. WATER LINES ARE TO BE TESTED TO THE SATISFACTION OF THE LOCAL PLUMBING INSPECTOR. COMPLETE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH REQUIREMENTS OF AWWA STANDARD C651-99. ALL WATERMAIN TESTING & CHLORINATION WILL BE CONDUCTED BY TOWN OF COLLINGWOOD WATER DEPARTMENT AT CONTRACTORS COST. WATERMANS ARE NOT TO BE CONNECTED TO EXISTING WATERMANS UNLESS BACTERIOLOGICAL TESTING HAS BEEN SUCCESSFULLY COMPLETED & CERTIFIED BY TOWN OF COLLINGWOOD WATER DEPARTMENT.
 - COMPLETE WATER SERVICE SHALL BE DISINFECTED IN ACCORDANCE WITH REQUIREMENTS OF O. REG. 459/00 & SATISFACTION OF TOWN OF COLLINGWOOD WATER DEPARTMENT.
 - WATERMAIN - CLASS 52 OR PRESSURE CLASS 350 CEMENT LINED DUCTILE IRON. CONDUCTIVITY CONNECTORS TO BE USED ON ALL JOINTS.
 - WATERMAIN SERVICES - 25mm/50mm/64mm/76mm Type 'K' SOFT COPPER PIPE AS NOTED.
 - SERVICE BOXES TO NUMBER 7, D-I CLOW OR MUELLER, 24" STAINLESS STEEL RODS STRAIGHT C/W CAP PAINTED BLUE.
 - ALL SERVICES SHALL BE METERED. METERS TO BE COMPLETE WITH REMOTE READOUT OR RADIO READ AS DETERMINED BY THE TOWN OF COLLINGWOOD WATER DEPARTMENT.
 - VALVES - RESILIENT SEAT, RSGV MECHANICAL JOINT, OPEN LEFT CLOW OR MUELLER WITH 5-SL-48 SLIDING VALVE BOX C/W CAP PAINTED BLUE.
 - MECHANICAL JOINT FITTINGS - AWWA/ANSI C153/A21.53.
 - ALL WATERMAIN FITTINGS TO BE LEAD FREE.
 - MECHANICAL JOINT RESTRAINTS TO BE USED DURING TRANSITION OF WATERMAIN INSTALLATION IN NATIVE SOILS TO ENGINEERED FILL. MECHANICAL JOINT RESTRAINTS TO BE MEGA-LUG OR APPROVED EQUAL.
 - ALL VALVES TO BE OPERATED BY THE TOWN OF COLLINGWOOD WATER DEPARTMENT. CONTRACTOR TO PROVIDE MIN. 48hr NOTIFICATION FOR REQUEST.
 - ALL CONNECTIONS TO EXISTING MUNICIPAL WATERMANS MUST BE INSPECTED BY TOWN OF COLLINGWOOD WATER DEPARTMENT OR REPRESENTATIVE AND GIVEN 48 HOURS NOTICE PRIOR TO BACKFILLING OPERATIONS.
 - EACH BUILDING TO INSTALL MEASURES FOR BACKFLOW PROTECTION SUITABLE TO TOWN OF COLLINGWOOD WATER DEPARTMENT IN ACCORDANCE WITH ONTARIO BUILDING CODE & C.S.A. B64 AND THE TOWN WATER BY-LAW.
 - BACKFLOW PREVENTORS AT EACH BUILDING TO BE TESTABLE & CERTIFIED ANNUALLY, WITH ALL ASSOCIATED COSTS THE RESPONSIBILITY OF THE OWNER.

- E) STORM SEWERS**
- MH AND CBMH TO OPSS - 701.012, 701.030, 701.100, 704.010, C/W SUMP UNLESS NOTED OTHERWISE.
 - STEPS TO OPSS 405.010.
 - M.H. FRAMES AND GRATES TO OPSS - 401.01 OPEN COVER.
 - CB'S TO OPSS 705.010.
 - CB AND CBMH FRAMES AND GRATES TO OPSS - 400.020
 - PIPE SUPPORT AT MH'S, CB'S, CBMH'S AND DCBMH'S TO OPSS - 708.020.
 - PROTECTION DURING CONSTRUCTION TO OPSS - 808.010.
 - BACKFILL AND EMBEDMENT TO OPSS - 802.010 (FLEXIBLE PIPE) GRANULAR 'A' EMBEDMENT OR OPSS - 802.030, 802.031 AND 802.032 (RIGID PIPE) GRANULAR 'A' EMBEDMENT.
 - BACKFILL AND EMBEDMENT MATERIAL TO BE COMPACTED TO A DRY DENSITY OF AT LEAST 95% OF THE MATERIAL'S SPMDD.
 - STORM SEWERS SHALL BE PVC SMOOTH WALL RIBBED PIPE MINIMUM STIFFNESS (320kPa). ALL PIPE TO BE JOINED WITH A GASKETED BELL AND SPIGOT SYSTEM. CATCHBASIN LEADS TO BE 300mm CONCRETE PIPE (CLASS IV).

- ### SEDIMENT AND EROSION CONTROL
- A) GENERAL - CONSTRUCTION**
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED. SEDIMENT AND EROSION CONTROL MEASURES THAT ARE DESIGNED TO CONTROL RUNOFF FROM SPECIFIC AREAS MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE.
 - THE CONTRACTOR MAY CONSIDER ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES. SUCH MEASURES MUST BE PRESENTED IN WRITING FOR APPROVAL OF THE CONTRACT ADMINISTRATOR AND THE TOWN ENGINEER.
 - THE CONTRACTOR SHALL HAVE MATERIALS AVAILABLE ON-SITE TO REPAIR SEDIMENT AND EROSION CONTROL MEASURES IN THE EVENT OF UNFORESEEN CONDITIONS: HIGHWATER, EXTREME RAINFALL EVENTS, ETC.
 - MUD MAT TO BE CONSTRUCTED AT ACCESS POINT.
 - NO MAINTENANCE OR REPAIR WORK ON CONSTRUCTION EQUIPMENT IS ALLOWED WITHIN 20m OF AN EXISTING WATERCOURSE OR DITCH EXCEPT AS NOTED.
 - ALL TEMPORARY SOIL OR DIRT STOCKPILES ARE TO BE PROVIDED WITH THE NECESSARY SEDIMENT AND EROSION CONTROL FEATURES. IF STOCKPILES ARE TO REMAIN FOR A PERIOD LONGER THAN 30 DAYS, STOCKPILES SHALL BE HYDROSEEDED AND SURROUNDED WITH SILT FENCE.
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE THROUGH SITE SUCH THAT NO UPSTREAM OR DOWNSTREAM IMPACT OCCURS DURING CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR WILL BE RESPONSIBLE TO CLEAN ALL ADJACENT ROADWAYS AS REQUIRED OR AS DIRECTED BY THE SITE ENGINEER OR TOWN.
- MAINTENANCE AND OPERATION OF SEDIMENT CONTROLS**
- A) SILT FENCE**
- SILT FENCE MUST BE INSPECTED WEEKLY FOR RIPS OR TEARS, BROKEN STAKES, BLOW-OUTS AND ACCUMULATION OF SEDIMENT.
 - SILT FENCE MUST BE INSPECTED IMMEDIATELY AFTER EVERY RAIN STORM EVENT OR AS DIRECTED BY SITE ENGINEER.
 - SEDIMENT DEPOSITS MUST BE REMOVED FROM SILT FENCE WHEN ACCUMULATION REACHES 50% OF THE HEIGHT OF THE FENCE.
 - ALL SILT FENCES MUST BE REMOVED ONLY WHEN THE ENTIRE SITE IS STABILIZED AND AS DIRECTED BY THE SITE ENGINEER.
 - ALL SILT FENCES INSTALLED AT THE LIMIT OF THE DEVELOPMENT ARE TO BE PLACED ON THE PROPERTY LINE.
- B) MUD MAT**
- GEOTEXTILE (TERRAFIX 270R OR APPROVED EQUAL) TO BE PLACED AS SEPARATION BARRIER BETWEEN EXISTING GROUND AND CLEAR STONE.
 - INSPECT MUD MAT WEEKLY TO ASSESS CONDITION AND TO ENSURE OPERATION EFFICIENCY.
 - SUPPLY AND PLACE ADDITIONAL STONE TO PREVENT MUD TRACKING AS DIRECTED BY SITE ENGINEER.
 - MUD MAT TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR AS DIRECTED BY SITE ENGINEER.

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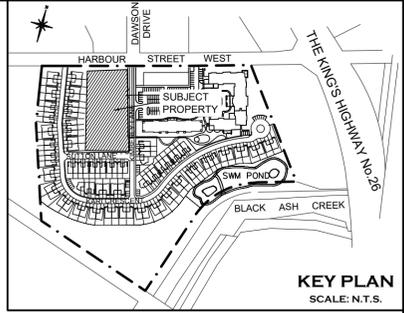
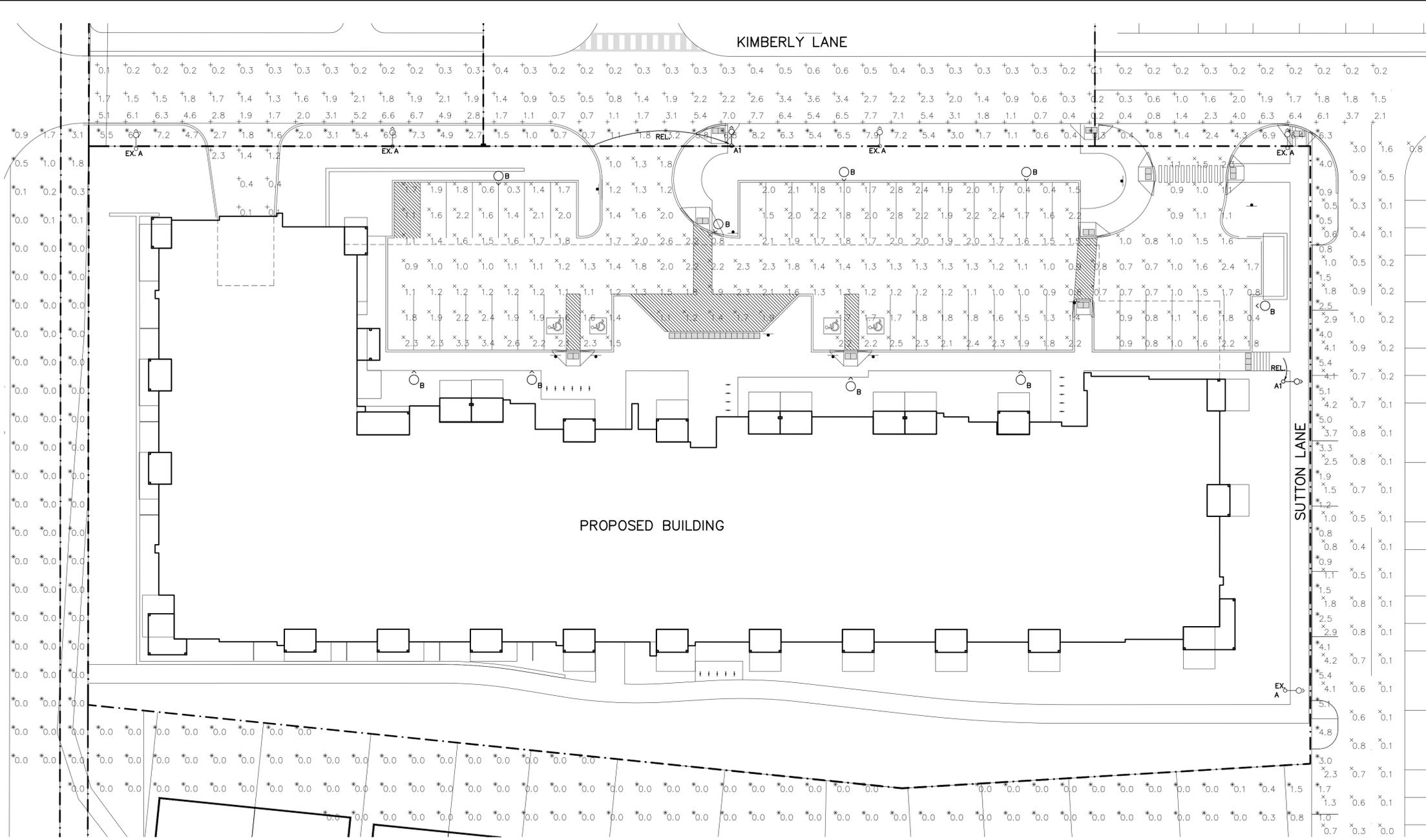
ROYAL WINDSOR AT BALMORAL VILLAGE
TOWN OF COLLINGWOOD

GENERAL NOTES & STANDARD DETAILS

Drawn By: J.A.P. Design By: J.O. Project: 183-4877
Check By: G.C. Check By: R.A./R.W. Scale: NTS Drawing: C105

CROZIER CONSULTING ENGINEERS

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KEY PLAN
SCALE: N.T.S.

ELECTRICAL LEGEND	
	POLE MOUNTED LIGHT FIXTURE
	RELOCATED POLE MOUNTED LIGHT FIXTURE
	EXISTING POLE MOUNTED LIGHT FIXTURE
	PROPERTY LINE
EX.	EXISTING
REL	RELOCATED

ELECTRICAL DRAWING LIST	
E100	SITE PLAN – PHOTOMETRIC
E101	LIGHTING DETAILS

SITE PLAN – PHOTOMETRIC
SCALE: 1:250



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Engineer	Project
N.J. MACDONALD 100227379 PROVINCE OF ONTARIO	ROYAL WINDSOR AT BALMORAL VILLAGE TOWN OF COLLINGWOOD



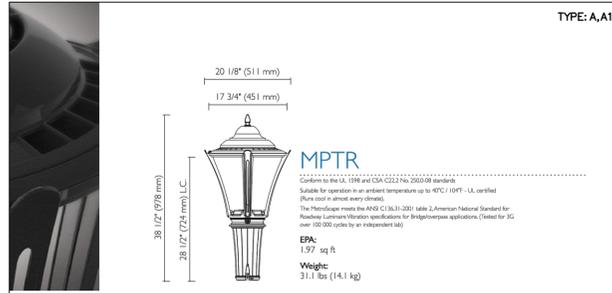
ROYAL WINDSOR AT BALMORAL VILLAGE
TOWN OF COLLINGWOOD

SITE PLAN – PHOTOMETRIC

THE HARBOUREDGE BUILDING,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

Drawn By: J.R.B. Design By: J.R.B./N.J.M. Project: **183-4877**

Check By: N.J.M. Scale: 1:250 Drawing: **E100**



TYPE: A,A1

LED Lamp Details

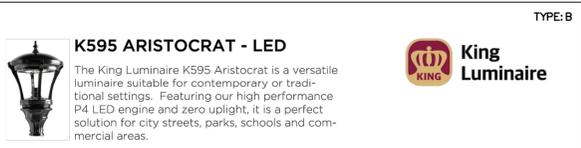
LED = Philips Lumileds Luxeon R, CRI = 70, CCT = 4000K (+/- 350K)
System (LED + driver) rated life = 100,000 hrs¹

LAMP	TYPICAL LUMEN	TYPICAL SYSTEM FACTOR (%)	TYPICAL CURRENT (A)	TYPICAL CURRENT (mA)	TYPICAL CURRENT (mA)	TYPICAL CURRENT (mA)	LED CURRENT (mA)	HPD (FOOT-CANDLES)	LUMINAIRE (FOOT-CANDLES)	HPD (FOOT-CANDLES)	HPD (FOOT-CANDLES)
SWWLEDK-R-112	3200	35	0.29	0.17	0.16	0.15	300	70-100	91.4	81.0	81.0
SWWLEDK-R-114	3200	35	0.29	0.17	0.16	0.15	300	70-100	91.4	81.0	81.0
SWWLEDK-R-115	3200	35	0.29	0.17	0.16	0.15	300	70-100	91.4	81.0	81.0
SWWLEDK-R-112	4500	32	0.40	0.23	0.21	0.19	530	100-150	86.5	81.0	81.0
SWWLEDK-R-114	4500	32	0.40	0.23	0.21	0.19	530	100-150	86.5	81.0	81.0
SWWLEDK-R-115	4500	32	0.40	0.23	0.21	0.19	530	100-150	86.5	81.0	81.0
SWWLEDK-R-112	5000	35	0.38	0.22	0.21	0.20	300	100-150	90.9	81.0	81.0
SWWLEDK-R-114	5000	35	0.38	0.22	0.21	0.20	300	100-150	90.9	81.0	81.0
SWWLEDK-R-115	5000	35	0.38	0.22	0.21	0.20	300	100-150	90.9	81.0	81.0
SWWLEDK-R-112	7200	39	0.43	0.26	0.24	0.22	530	150-200	91.1	81.0	81.0
SWWLEDK-R-114	7200	39	0.43	0.26	0.24	0.22	530	150-200	91.1	81.0	81.0
SWWLEDK-R-115	7200	39	0.43	0.26	0.24	0.22	530	150-200	91.1	81.0	81.0
SWWLEDK-R-112	4200	31	0.58	0.34	0.32	0.31	300	100-150	87.3	81.0	81.0
SWWLEDK-R-114	4200	31	0.58	0.34	0.32	0.31	300	100-150	87.3	81.0	81.0
SWWLEDK-R-115	4200	31	0.58	0.34	0.32	0.31	300	100-150	87.3	81.0	81.0
SWWLEDK-R-112	9500	103	0.80	0.46	0.42	0.38	530	200-250	90.3	81.0	81.0
SWWLEDK-R-114	9500	103	0.80	0.46	0.42	0.38	530	200-250	90.3	81.0	81.0
SWWLEDK-R-115	9500	103	0.80	0.46	0.42	0.38	530	200-250	90.3	81.0	81.0
POWLEDK-R-112	8600	87	0.78	0.43	0.40	0.34	300	150-200	89.9	81.0	81.0
POWLEDK-R-114	8600	87	0.78	0.43	0.40	0.34	300	150-200	89.9	81.0	81.0
POWLEDK-R-115	8600	87	0.78	0.43	0.40	0.34	300	150-200	89.9	81.0	81.0
SWWLEDK-R-112	12000	129	1.15	0.61	0.58	0.51	530	250-300	91.0	81.0	81.0
SWWLEDK-R-114	12000	129	1.15	0.61	0.58	0.51	530	250-300	91.0	81.0	81.0
SWWLEDK-R-115	12000	129	1.15	0.61	0.58	0.51	530	250-300	91.0	81.0	81.0

¹ L70 = 100,000 hrs @ ambient temperature 35°C and forward current = 70% (JESD79)
² System voltage includes the lamp and the LED driver.
³ System voltage always be confirmed by a professional engineer.
 Note: To meet all requirements for LED selection, LED luminaires are subject to change without notice and at the discretion of Philips.

How to calculate the system lumen per watt ratio (LER): First, visit our website at www.philips.com/lumec and download the ES file (photometric file) of your selected Philips Luminaire product. Then, use a photometric software to get the absolute system lumens value and divide by the system wattage. (Example: 35W/32LEDK-R112 - Absolute system lumens / 42W = LER)

MetroScape 11



TYPE: B

PRODUCT SPECIFICATIONS

LED ENGINE
 Light engine shall include an array of Cree X-Series high power LEDs (eight emitting diodes). The emitters shall be mounted to a metal core circuit board using SMT technology. The LEDs and circuit boards shall then be mounted to a high performance heat sink.

OPTICS
 External light control shall consist of high precision refractive lenses mounted above the LED emitter arrays in such a way to achieve optimum uplight control. The lenses shall also control horizontal light distribution so that Type II, III, IV or V IESNA distribution patterns are achieved.

LENS
 The K595 Aristocrat is available with or without a lens. Lens options include a clear, sag glass and clear shallow glass made of 9900D clear borosilicate glass (fully annealed). It shall maintain a minimum thickness of 0.375". The lens is secured by means of a cast aluminum holding ring. Additionally, a continuous circular gasket rated for 270°F will assist in sealing the lens and provide an IP66 ingress rating.

LUMINAIRE CONSTRUCTION
 All K595 Aristocrat cast components shall consist of a heavy grade A319 cast aluminum or aluminum alloy 6061. The spun aluminum canopy assembly acts as an enclosure for the driver assembly and is of adequate thickness to give sufficient structural rigidity. The four cast aluminum struts are mechanically attached by stainless steel screws to both the capital (bottom) and the spun aluminum canopy.

The capital shall have an opening at the base tenon body to allow the luminaire to be mounted to a tenon of 3-1/2" maximum diameter. The luminaire shall be locked in place by means of heavy duty, stainless steel set screws.

DRIVER
 The LED universal dimmable driver will be class 2 and capable of 120V - 277V or 347 - 480V input.

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 Light engine shall include an array of Cree X-Series high power LEDs (eight emitting diodes). The emitters shall be mounted to a metal core circuit board using SMT technology. The LEDs and circuit boards shall then be mounted to a high performance heat sink.

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LUMINAIRE SCHEDULE

SYMBOL	LABEL	MANUFACTURER	CATALOG NUMBER	LIGHT LOSS FACTOR	MOUNTING HEIGHT	WATTAGE	DESCRIPTION
○—○	A	PHILIPS	MPTR-110W64LED4X-R-LE3	0.9	MOUNTED ON 16' POLE	103W	EXISTING MPTR WITH LE3 OPTICS, NW
○—○	A1	PHILIPS	MPTR-110W64LED4X-R-LE3	0.9	MOUNTED ON 16' POLE	103W	MPTR WITH LE3 OPTICS, NW
○	B	KING	K595-P4NL-III-75(SSL)-7050	0.81	MOUNTED ON 22' POLE (CAT. #KAH22)	75W	K595 ARISTOCRAT CREE X-SERIES LED, TYPE III, 4000K

THE FOLLOWING NOTATIONS APPLY TO ALL LUMINAIRES IN SCHEDULE, UNLESS OTHERWISE NOTED:

- ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE PHOTOCELLS AS REQUIRED. COORDINATE EXACT LOCATION AND REQUIREMENTS WITH LIGHT MANUFACTURER.

STATISTICS SCHEDULE

DESCRIPTION	SYMBOL	AVG	MAX	MIN	AVG/MIN
PARKING	X	1.6 fc	3.4 fc	0.3 fc	5.2:1
KIMBERLY LANE	+	1.8 fc	7.7 fc	0.1 fc	18.2:1
SUTTON LANE	X	1.0 fc	4.2 fc	0.0 fc	N/A

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 4. DO NOT SCALE THE DRAWINGS.
 5. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

No.	ISSUE	DATE: MM/DD/YYYY	Engineer
0	ISSUED FOR SITE PLAN APPROVAL	11/11/2020	
1	ISSUED FOR SITE PLAN APPROVAL	11/16/2020	
2	RE-ISSUED FOR SITE PLAN APPROVAL	03/25/2021	
3	RE-ISSUED FOR SITE PLAN APPROVAL	06/11/2021	

Town

Engineer

Engineer

Project



ROYAL WINDSOR AT BALMORAL VILLAGE
 TOWN OF COLLINGWOOD

Lighting Details

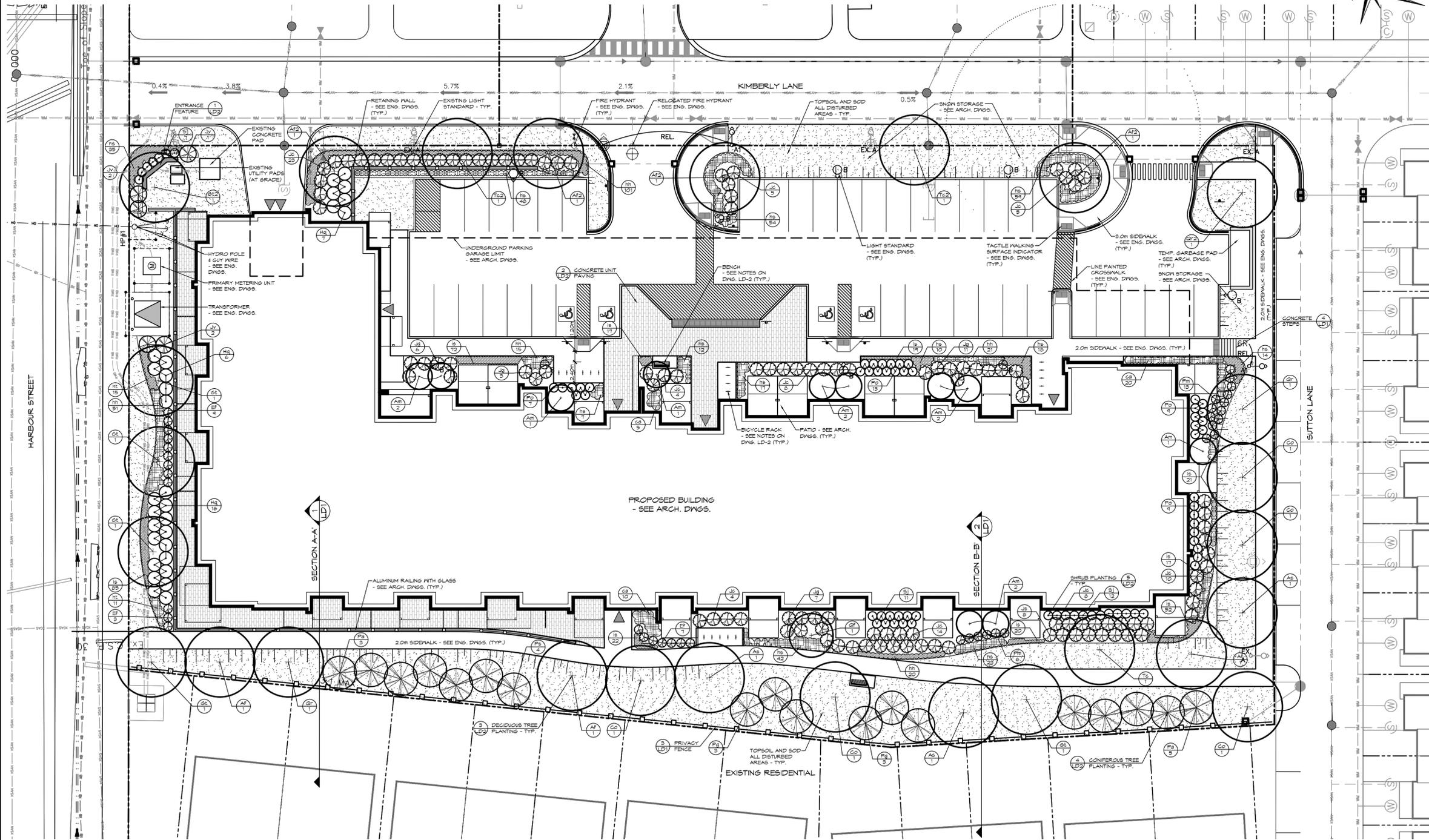
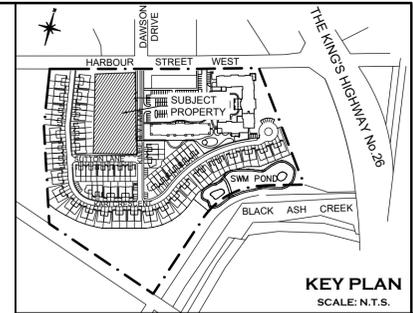
CROZIER CONSULTING ENGINEERS

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 Check By: N.J.M. Scale: N.T.S. Drawing: E101

LEGEND	
	PROPERTY BOUNDARY
	UNDERGROUND PARKING GARAGE LIMIT
	FIRE HYDRANT - SEE ENG. DWGS
	WATER VALVE - SEE ENG. DWGS
	MANHOLE - SEE ENG. DWGS
	UNDERGROUND SERVICES - SEE ENG. DWGS
	ENTRANCE FEATURE
	RETAINING WALL - SEE ENG. DWGS
	2.0m SIDEWALK - SEE ENG. DWGS
	CONCRETE UNIT PAVING
	BICYCLE RACK
	BENCH
	DECIDUOUS TREE
	CONIFEROUS TREE
	DECIDUOUS SHRUBS
	CONIFEROUS SHRUBS
	PERENNIALS & GROUNDCOVERS
	PLANT REFERENCE
	QUANTITY
	TOPSOIL AND SOD

NOTES:
1. FOR PLANTING NOTES SEE DRAWING LD-1.



PLANT LIST						
KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING	QTY
DECIDUOUS TREES						
A6	<i>Acer saccharum</i> 'Legacy'	Legacy Sugar Maple	50mm cal.	W.B.		3
A7	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Maple	50mm cal.	W.B.		3
A7.2	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Maple	100mm cal.	W.B.		4
Am	<i>Amelanchier laevis</i> (Multi-stem)	Multi-stem Allegheny Serviceberry	200cm	W.B.		11
C0	<i>Celtis occidentalis</i>	Common Hackberry	50mm cal.	W.B.		5
Gt	<i>Gleditsia triacanthos</i> var. <i>Inermis</i> 'Shademaster'	Shademaster Honeylocust	50mm cal.	W.B.		5
Gt.2	<i>Gleditsia triacanthos</i> var. <i>Inermis</i> 'Shademaster'	Shademaster Honeylocust	100mm cal.	W.B.		1
QF	<i>Quercus robur</i> 'Fastiglata'	Pyramidal English Oak	50mm cal.	W.B.		1
Qr	<i>Quercus rubra</i>	Red Oak	50mm cal.	W.B.		2
Qr.2	<i>Quercus rubra</i>	Red Oak	100mm cal.	W.B.		1
Tc	<i>Tilia cordata</i> 'Greenspire'	Greenspire Linden	50mm cal.	W.B.		1
Tc.2	<i>Tilia cordata</i> 'Greenspire'	Greenspire Linden	100mm cal.	W.B.		2
CONIFEROUS TREES						
JV	<i>Juniperus virginiana</i>	Eastern Red Cedar	200cm	W.B.		5
Pa	<i>Picea abies</i>	Norway Spruce	200cm	W.B.		8
Pg	<i>Picea glauca</i>	White Spruce	200cm	W.B.		6
Ps	<i>Pinus strobus</i>	Eastern White Pine	200cm	W.B.		4
DECIDUOUS SHRUBS						
Po	<i>Physocarpus opulifolius</i> 'Tiny Wine Gold'	Tiny Wine Gold Ninebark	50cm	3 gal.	1.0m o.c.	35
Sj	<i>Spiraea japonica</i> 'Flaming Mound'	Flaming Mound Spirea	50cm	3 gal.	1.0m o.c.	30
Hq	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	50cm	3 gal.	1.5m o.c.	29
CONIFEROUS SHRUBS						
Ef	<i>Euonymus fortunei</i> 'Sarcocoe'	Sarcocoe Euonymus	50cm	3 gal.	1.0m o.c.	19
Jc	<i>Juniperus chinensis</i> 'sargentii' 'Viridis'	Green Sargent Juniper	50cm	3 gal.	1.5m o.c.	81
Jb	<i>Juniperus sabinna</i> 'Monna'	Calgary Carpet Juniper	50cm	3 gal.	1.0m o.c.	8
Jg	<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper	50cm	3 gal.	1.5m o.c.	27
Pm	<i>Pinus mugo</i> 'Bloumound'	Bloumound Mugo Pine	50cm	3 gal.	1.0m o.c.	19
PERENNIALS & GROUNDCOVERS						
ca	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass		1 gal.	0.75m o.c.	35
ht	<i>Heucherella</i> x 'Sweet Tea'	Sweet Tea Foamy Bells		1 gal.	0.5m o.c.	26
hs	<i>Hemerocallis</i> 'Stella D'Oro'	Stella D'Oro Daylily		1 gal.	0.5m o.c.	33A
hh	<i>Hosta</i> 'High Society'	High Society Hosta		1 gal.	0.5m o.c.	20B
ls	<i>Leucanthemum x superbum</i> 'Snowcap'	Snowcap Shasta Daisy		1 gal.	0.5m o.c.	33
is	<i>Iris pumila</i> 'Banbury Ruffles'	Banbury Ruffles Standard Dwarf Bearded Iris		1 gal.	0.3m o.c.	287

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NOTES:
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No.	ISSUE	DATE: MM/DD/YYYY
1.	ISSUED FOR 1st SUBMISSION	01/08/2020
2.	ISSUED FOR 2nd SUBMISSION	01/24/2020
3.	ISSUED FOR SITE PLAN APPROVAL	11/19/2020
4.	RE-ISSUED FOR SITE PLAN APPROVAL	25/03/2021
5.	RE-ISSUED FOR SITE PLAN APPROVAL	06/11/2021

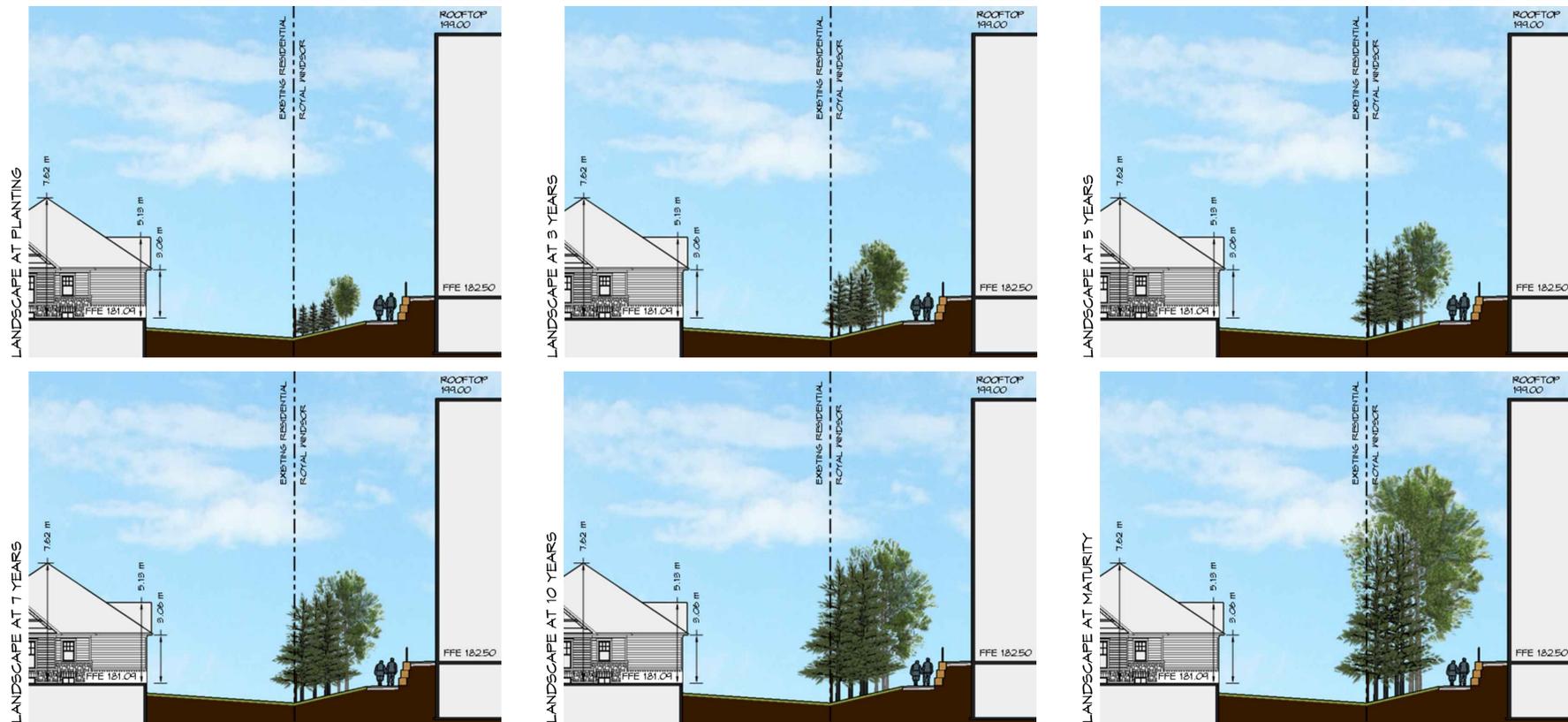
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Landscape Architect
Landscape Architect
Project
Drawing

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Check By: K.J.L. Scale: 1:250 Drawing: LP-1



1 SECTION A-A'

PRIVACY FENCING NOTES

- ALL MATERIALS, COMPONENTS AND WORKMANSHIP TO CONFORM WITH LOCAL BY-LAWS.
- CONSTRUCT WOOD FENCING IN ACCORDANCE WITH CAN3-086-M80 EXCEPT WHERE SPECIFIED.
- LUMBER IDENTIFICATION: BY GRADE STAMP OF AN AGENCY CERTIFIED BY THE CANADIAN LUMBER STANDARDS ACCREDITATION BOARD.
- WOOD FENCING TO MEET STANDARD GRADING RULES FOR CANADIAN LUMBER 1980 EDITION REVISED ACCORDING TO SUPPLEMENT NO.1 1981, PARA. 127.
- KILN-DRIED FENCING TO HAVE MAXIMUM 15% MOISTURE CONTENT.
- ALL WOOD MEMBERS TO BE WESTERN RED CEDAR.
- METAL FASTENERS: TO CSA B111-1974, TABLE 22 GALVANIZED FINISH SIZES AS RECOMMENDED IN CSA 085-1974, UNLESS SPECIFIED OTHERWISE.
- THE WORK SHALL BE LAID OUT TRUE TO LINE AND LEVEL, PLUMB AND TRUE.
- WOOD FENCING TO REMAIN PLUMB AND TRUE UNTIL PERMANENTLY FIXED.
- WOOD MEMBERS SHALL BE TREATED WITH TWO COATS OF SHEKINS STAIN, COLOUR GREY.
- FASTENING SHALL BE BY NAILS, SPIKES, BOLTS, ANGLE BRIMS OR FRAMING ANCHORS AS DETAILED. ALL NUTS AND BOLTS SHALL BE COUNTERSUNK WHERE EXPOSED.
- SELECT BOARDS FOR GOOD APPEARANCE. ALL MEMBERS SHALL BE FREE OF WAKES AND BARK. ALL TORN GRAIN SHALL BE PLANED OR Sanded smooth. MEMBERS EXHIBING MODERATE OR HEAVY KNOTS SHALL BE WELL-DISTRIBUTED THROUGHOUT THE FENCE. FACE.
- STEP FENCE PANELS TO A MAXIMUM OF 150mm AT POSTS AS REQUIRED TO MEET GRADE.

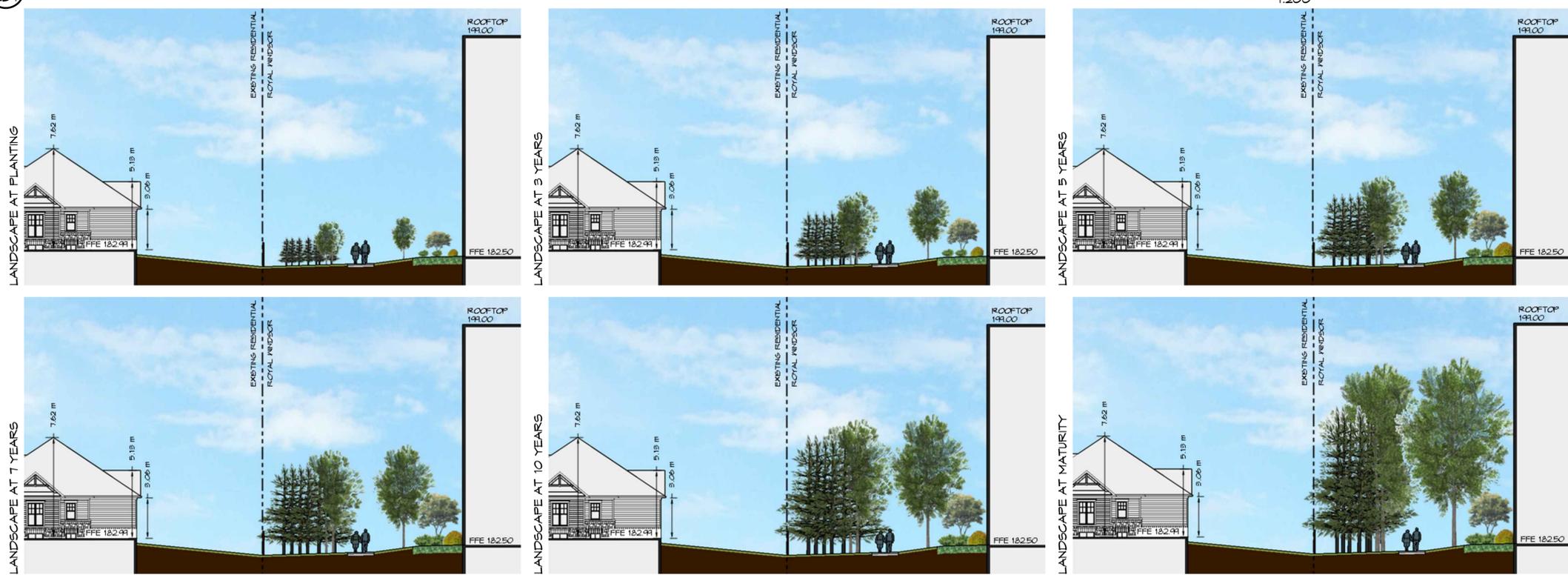
NO.	REVISION	APR'D	DATE

TOWN OF COLLINGWOOD
PRIVACY FENCE WITH GATE
REVERSE LOT FRONTAGE

APR'D: EDH DATE: JAN/03
DRAWN: SCALE: NTS
STD. No. 502

3 PRIVACY FENCE

NOTES:
1. A MODERATE VERTICAL GROWTH RATE OF 600mm PER YEAR WAS UTILIZED TO DEPICT THE DECIDUOUS AND CONIFEROUS TREE PLANTINGS' GROWTH. THE GROWTH RATE WAS SOURCED FROM THE MANUAL OF NOODY LANDSCAPE PLANTS BY MICHAEL DIRR.



2 SECTION B-B'

CONCRETE STEPS

NOTES:
1. THE CONTRACTOR SHALL PROVIDE DETAILED SHOP DRAWINGS FOR THE CAST-IN-PLACE CONCRETE STEPS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE SEALED BY AN ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
2. FORMAL CERTIFICATION OF THE WORKS SHALL BE PROVIDED BY THE ENGINEER RESPONSIBLE FOR THE SEALED SHOP DRAWINGS.
3. ALL GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENGINEERING DRAWINGS.

4 CONCRETE STEPS

1. THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. GROZIER & ASSOCIATES INC. AND THE REPRODUCTION OF ANY PART WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.
3. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT.
4. DO NOT SCALE THE DRAWINGS.
5. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

Town

No.	ISSUE	DATE: MM/DD/YYYY
1.	ISSUED FOR 1st SUBMISSION	01/08/2020
2.	ISSUED FOR 2nd SUBMISSION	01/24/2020
3.	ISSUED FOR SITE PLAN APPROVAL	11/19/2020
4.	RE-ISSUED FOR SITE PLAN APPROVAL	25/03/2021
5.	RE-ISSUED FOR SITE PLAN APPROVAL	06/11/2021

Landscape Architect

Landscape Architect

Project
ROYAL WINDSOR AT BALMORAL VILLAGE
TOWN OF COLLINGWOOD

Drawing
LANDSCAPE DETAILS



THE HARBOUREDGE BUILDING,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
705 446-3510 T
705 446-3520 F
WWW.CROZIER.CA
INFO@CROZIER.CA

Drawn By: K.J.L. Design By: K.J.L. Project: 183-4877
Check By: K.J.L. Scale: AS SHOWN Drawing: LD-1

GENERAL NOTES:

1.0 SITE FURNITURE
 1. THE FOLLOWING SITE FURNITURE SHALL BE SUPPLIED AND INSTALLED BY PARIS MANUFACTURING LTD., P.O. BOX 10, 21 SCOTT AVENUE, PARIS, ONTARIO, TEL.: 1.800.397.6319 (MARK HICKS).
BICYCLE RACK
 MODEL NO.: FVBR-5F
 METAL FINISH: POWDER COATED JET BLACK GLOSS
 FOOTING/ ATTACHMENTS: SECURED TO CONCRETE PAVING WITH STAINLESS STEEL FASTENERS

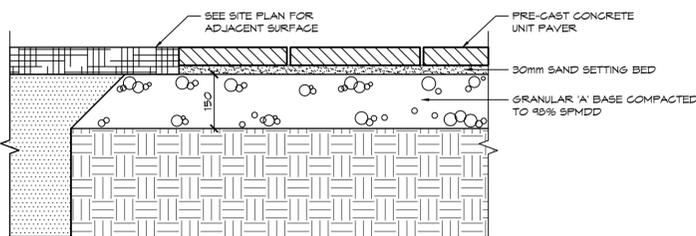
BENCH
 MODEL NO.: R5PA66
 METAL FINISH: POWDER COATED JET BLACK GLOSS
 FOOTING/ ATTACHMENTS: SECURED TO CONCRETE PAVING WITH STAINLESS STEEL FASTENERS

2.0 PLANTING

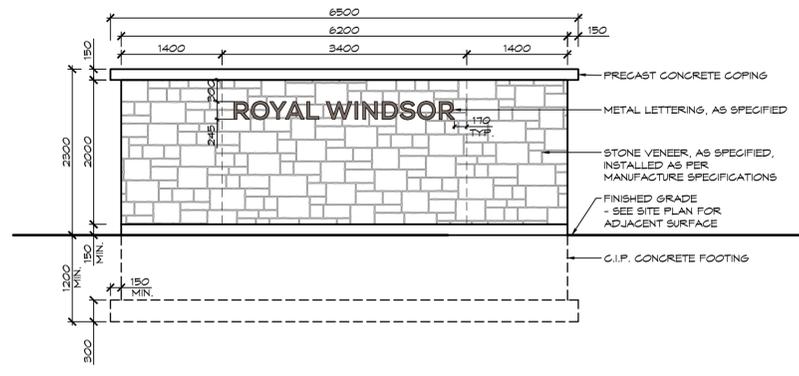
- ALL WORKMANSHIP TO THE STANDARDS OF THE LANDSCAPE ONTARIO HORTICULTURAL TRADES ASSOCIATION AND THE CANADIAN LANDSCAPE STANDARDS.
- TREE LOCATIONS SHALL BE STAKED ON SITE BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- BACKFILL IS TO CONSIST OF SOIL NATIVE TO THE SITE OR GENERAL SOIL TYPE/CLASS NATIVE TO THE SITE. SOIL AMENDMENT MAY BE REQUIRED BASED ON SOURCE OF IMPORTED OR EXISTING SITE QUALITY OF TOPSOIL. PROVIDE NUTRIENT ANALYSIS OF TOPSOIL TO BE USED FOR LANDSCAPE PURPOSES IN ORDER TO DETERMINE SOIL AMENDMENT REQUIREMENTS.
- REPORT ALL DISCREPANCIES IN WRITING TO THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL MAINTAIN ALL LANDSCAPE AREAS UNTIL OWNER'S ACCEPTANCE OF PROJECT.
- UNLESS OTHERWISE STATED, ALL WORK SHALL CONFORM TO THE LANDSCAPE ONTARIO SPECIFICATION STANDARDS.

- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES.
- PLANTING MAY BE ADJUSTED TO SUIT LOCATIONS OF SITE UTILITY STRUCTURES/ SERVICES AND DRIVEWAYS.
- TREE PITS OR PLANTING BEDS LOCATED WITHIN 1 METER OF UNDERGROUND UTILITIES ARE TO BE HAND DUG.
- TREE FITS OR PLANTING BEDS LOCATED WITHIN 1 METER OF UNDERGROUND UTILITIES ARE TO BE HAND DUG.
- SUBMIT WRITTEN GUARANTEE TO THE EFFECT THAT ALL PLANTS ACCEPTED DURING THE PERIOD OF JANUARY 1st TO JULY 15th SHALL BE GUARANTEED UNTIL JULY 15th THE SECOND FOLLOWING YEAR. PLANTS ACCEPTED DURING THE PERIOD OF JULY 15th TO DECEMBER 31st SHALL BE GUARANTEED FOR TWO YEARS FROM THE DATE OF ACCEPTANCE. THE GUARANTEED PERIOD LISTED ABOVE SHALL APPLY TO ALL "NURSERY GROWN" PLANTS AS PER TOWN OF COLLINGWOOD'S TWO YEAR MAINTENANCE REQUIREMENTS.
- ALL MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SOD ANY AREAS MARKED WITH NURSERY SOD ON 150mm CLEAN TOPSOIL, FINE GRADE AND SOD ALL BOULEVARD AREAS TO MUNICIPAL SPECIFICATIONS AND REPAIR DAMAGE TO ADJACENT PROPERTIES AS REQUIRED.
- FINAL INSPECTION AND ACCEPTANCE OF PLANTING WORK SHALL COINCIDE WITH THE FINAL INSPECTION AND ACCEPTANCE OF ALL WORK INCLUDED IN THE CONTRACT.
- AT THE TIME OF FINAL INSPECTION, ALL PLANTS SHALL BE IN A HEALTHY, VIGOROUS GROWING CONDITION AND PLANTED IN FULL ACCORDANCE WITH DRAWINGS AND CONDITIONS.

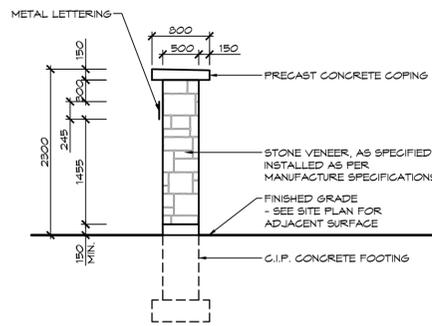
- NOTES:**
- CONCRETE UNIT PAVING SHALL BE IN ACCORDANCE WITH OPS5.MINI 355 AND MANUFACTURER'S SPECIFICATIONS.
 - CONCRETE UNIT PAVING SHALL BE SPECIFIED BY OWNER.



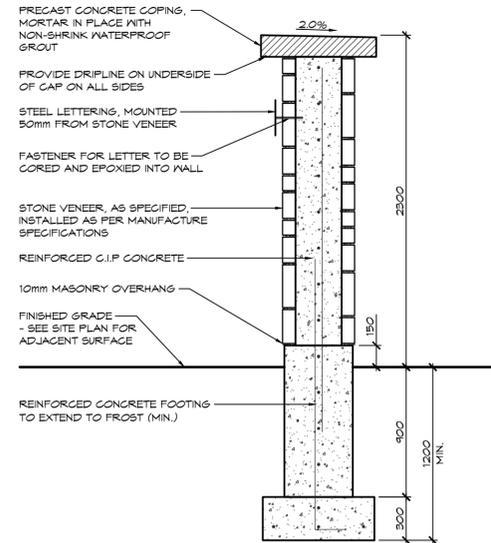
2 CONCRETE UNIT PAVING



FRONT ELEVATION
SCALE 1:50



SIDE ELEVATION
SCALE 1:50



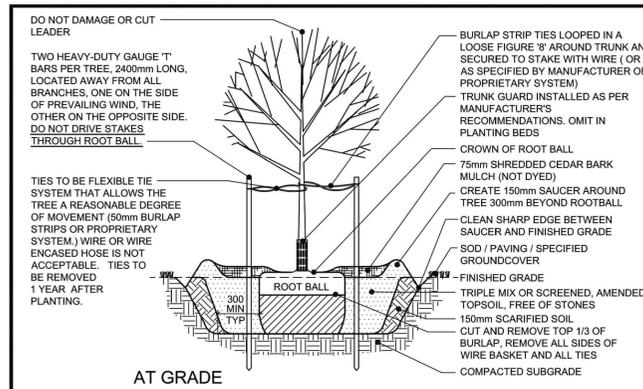
ENTRANCE FEATURE - SECTION
SCALE 1:25

NOTES:

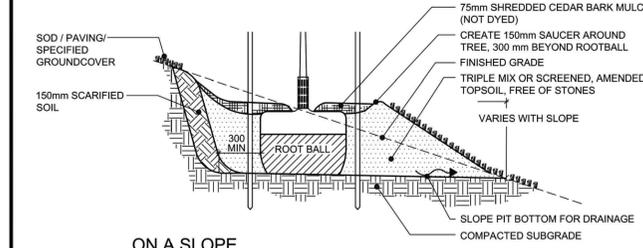
- 1.0 CONCRETE**
- THE CONTRACTOR SHALL PROVIDE DETAILED SHOP DRAWINGS FOR THE CAST-IN-PLACE CONCRETE FOOTING FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. SHOP DRAWINGS SHALL BE SEALED BY AN ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.
 - FORMAL CERTIFICATION OF THE WORKS SHALL BE PROVIDED BY THE ENGINEER RESPONSIBLE FOR THE SEALED SHOP DRAWINGS.
- 2.0 MASONRY**
- STONE VENEER SHALL BE SPECIFIED BY OWNER.
- 3.0 METAL LETTERING**
- LETTERING FABRICATOR SHALL PROVIDE SHOP DRAWINGS OF THE LETTERS AND ATTACHMENTS FOR APPROVAL.
 - LETTERS TO BE POWDER COATED STEEL, COLOUR TO BE SPECIFIED BY OWNER.

1 ENTRANCE FEATURE

AS SHOWN



AT GRADE

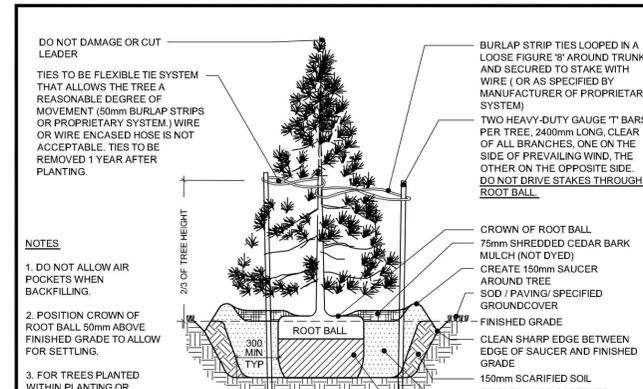


ON A SLOPE

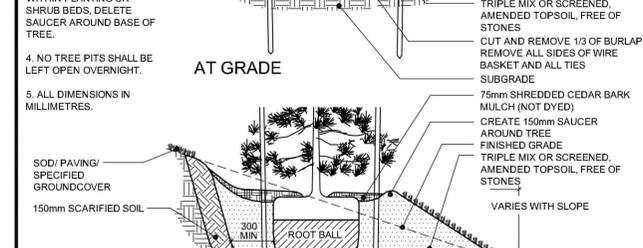
- NOTES:**
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 - POSITION CROWN OF ROOT BALL 50mm ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 - DO CORRECTIVE PRUNING TO RETAIN NATURAL FORM OF TREE.
 - FOR TREES PLANTED WITHIN PLANTING OR SHRUB BEDS, DELETE SAUCER AROUND BASE OF TREE.
 - NO TREE PITS SHALL BE LEFT OPEN OVERNIGHT.
 - ALL DIMENSIONS ARE IN MILLIMETRES.

NO.	REVISION	APRD	DATE
1	PLANTING METHODOLOGY	EN	JUL/04
2	PLANTING METHODOLOGY	DW	JUN/07

TOWN OF COLLINGWOOD
 DECIDUOUS TREE PLANTING
 APRD: DW DATE: JAN/03
 DRAWN: AB SCALE: NTS
 STD. No. 1101



AT GRADE



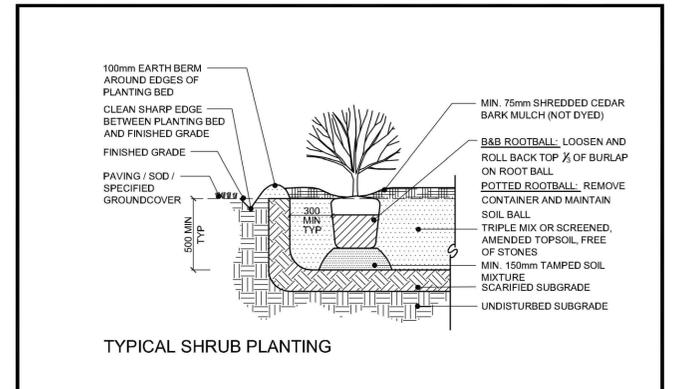
ON A SLOPE

- NOTES:**
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 - POSITION CROWN OF ROOT BALL 50mm ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 - FOR TREES PLANTED WITHIN PLANTING OR SHRUB BEDS, DELETE SAUCER AROUND BASE OF TREE.
 - NO TREE PITS SHALL BE LEFT OPEN OVERNIGHT.
 - ALL DIMENSIONS IN MILLIMETRES.

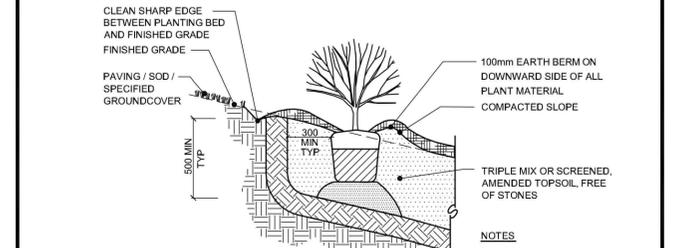
NO.	REVISION	APRD	DATE
1	PLANTING METHODOLOGY	EN	JUL/04
2	PLANTING METHODOLOGY	DW	JUN/07

TOWN OF COLLINGWOOD
 CONIFEROUS TREE PLANTING
 APRD: DW DATE: JAN/03
 DRAWN: AB SCALE: NTS
 STD. No. 1102

4 CONIFEROUS TREE PLANTING



TYPICAL SHRUB PLANTING



PLANTING ON 3:1 SLOPE DETAIL

- NOTES:**
- DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 - POSITION CROWN OF ROOT BALL 25mm ABOVE FINISH GRADE TO ALLOW FOR SETTLING.
 - ALL DIMENSIONS IN MILLIMETRES.

NO.	REVISION	APRD	DATE
1	PLANTING METHODOLOGY	EN	JUL/04
2	PLANTING METHODOLOGY	DW	JUN/07

TOWN OF COLLINGWOOD
 SHRUB PLANTING
 APRD: DW DATE: JAN/03
 DRAWN: AB SCALE: NTS
 STD. No. 1103

5 SHRUB PLANTING

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Town	No.	ISSUE	DATE: MM/DD/YYYY
	1.	ISSUED FOR 2nd SUBMISSION	01/24/2020
	2.	ISSUED FOR SITE PLAN APPROVAL	11/13/2020
	3.	RE-ISSUED FOR SITE PLAN APPROVAL	25/03/2021
	4.	RE-ISSUED FOR SITE PLAN APPROVAL	06/11/2021

Landscape Architect	Landscape Architect	Project
		ROYAL WINDSOR AT BALMORAL VILLAGE TOWN OF COLLINGWOOD
		Drawing

Landscape Architect	Landscape Architect	Project
		ROYAL WINDSOR AT BALMORAL VILLAGE TOWN OF COLLINGWOOD
		Drawing

Landscape Architect	Landscape Architect	Project
		ROYAL WINDSOR AT BALMORAL VILLAGE TOWN OF COLLINGWOOD
		Drawing

Landscape Architect	Landscape Architect	Project
		ROYAL WINDSOR AT BALMORAL VILLAGE TOWN OF COLLINGWOOD
		Drawing

CROZIER CONSULTING ENGINEERS

THE HARBOUREDGE BUILDING,
 40 HURON STREET, SUITE 301,
 COLLINGWOOD, ON L9Y 4R3
 705 446-3510 T
 705 446-3520 F
 WWW.CFCROZIER.CA
 INFO@CFCROZIER.CA

Drawn By: K.J.L. Design By: K.J.L. Project: 183-4877
 Check By: K.J.L. Check By: M.H. Scale: AS SHOWN Drawing: LD-2