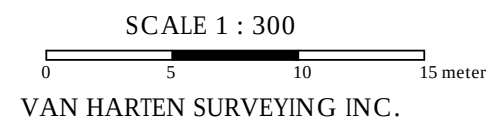
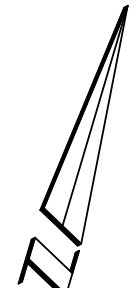


PLAN OF SURVEY
OF ALL OF BLOCK 2, REGISTERED PLAN 51M-1049
TOWN OF COLLINGWOOD
COUNTY OF SIMCOE



HARBOUR STREET WEST
(ORIGINAL ROAD ALLOWANCE BETWEEN LOTS 45 AND 46)
PIN 58255-0139 (LT)

THE CITY OF COLLINGWOOD HAS EXEMPTED PARTS I AND II OF THIS DESCRIPTION PURSUANT TO SECTION 9(7) OF THE CONDOMINIUM ACT, 1998, S.O. 1998, CHAPTER 19, FROM THOSE PROVISIONS OF SECTIONS 51 AND 51.1 OF THE PLANNING ACT, R.S.O., CHAPTER P.13 THAT WOULD NORMALLY APPLY UNDER SECTION 9(2) OF THE CONDOMINIUM ACT, 1998, S.O. 1998, CHAPTER 19.

THIS _____ DAY OF _____, 2023

MANAGER OF SITE DEVELOPMENT & CUSTOMER SERVICE

PART / SHEET	DATE
PART I OF IV PARTS SHEET 1 OF 5 SHEETS	

SIMCOE STANDARD CONDOMINIUM
PLAN No.

LEVEL 1, UNITS 1 TO 59

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF

SIMCOE No. (51) AT _____ O'CLOCK ON THE _____
DAY OF _____, 2023

REPRESENTATIVE FOR LAND REGISTRAR

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT (1998), THE SURVEY ACT, THE SURVEYOR'S ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THIS SURVEY WAS COMPLETED 26, JANUARY, 2023.
 - THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATE: JANUARY 26, 2023

JAMES LAWS
ONTARIO LAND SURVEYOR

THIS PLAN OF SURVEY RELATES TO AOLS PLAN
SUBMISSION FORM NUMBER 2204108.

DECLARATION REGISTERED AS No. _____

THIS PLAN COMPRISES ALL OF PIN 58255-0570 (LT)

SCHEDULE OF APPURTENANT AND SERVIENT INTERESTS
(UNDER CLAUSES 8 (l) (g) AND (h) OF THE CONDOMINIUM ACT, 1998)

	PARTS / BLOCK	PLAN No.	DESCRIBED IN INSTRUMENT	NOTES
TOGETHER WITH (APPURTENANT INTERESTS)				
SUBJECT TO (SERVIENT INTERESTS)				

BEARING AND COORDINATE NOTE:

- BEARINGS ARE GRID BEARINGS AND ARE DERIVED FROM GPS OBSERVATIONS AND ARE REFERRED TO THE UTM PROJECTION, ZONE 17, NAD 83 (CSRS-2010) ADJUSTMENT.
- DISTANCES SHOWN ON THIS PLAN ARE ADJUSTED GROUND DISTANCES AND CAN BE CONVERTED TO GRID DISTANCES BY MULTIPLYING BY AN AVERAGED COMBINED SCALE FACTOR OF 0.999616
- COORDINATES ON THIS PLAN ARE UTM, ZONE 17, NAD83 (CSRS-2010) ADJUSTMENT AND ARE BASED ON GPS OBSERVATIONS FROM A NETWORK OF PERMANENT GPS REFERENCE STATIONS.

UTM COORDINATES (METRES)		
POINT ID	NORTHING	EASTING
A	4928500.887	560330.735
B	4928375.071	560368.174
C	4928483.890	560273.314

THESE COORDINATE VALUES COMPLY WITH SECTION 14(2) OREG 216/10. THESE COORDINATES CANNOT, IN THEMSELVES, BE USED TO RE-ESTABLISH THE CORNERS OR BOUNDARIES SHOWN ON THIS PLAN.

LEGEND:

- | | | | |
|------|---|------|-------------------------|
| SM | DENOTES SURVEY MONUMENT SET | ELEC | DENOTES ELECTRICAL |
| SIB | DENOTES SURVEY MONUMENT FOUND | ELEV | DENOTES ELEVATOR |
| IB | DENOTES .025 x .025 x 1.20 STANDARD IRON BAR | VEST | DENOTES VESTIBILE |
| IB | DENOTES .015 x .015 x 0.60 IRON BAR | GARB | DENOTES GARBAGE |
| SSIB | DENOTES .025 x .025 x 0.60 SHORT STANDARD IRON BAR | MECH | DENOTES MECHANICAL |
| RP | DENOTES .015 DIA. X 0.07 ROUND IRON BAR WITH STAMPED WASHER | CORR | DENOTES CORRIDOR |
| PB | DENOTES .025 x .025 x 0.30 PLASTIC BAR | FP | DENOTES FIRE PROTECTION |
| CC | DENOTES CUT CROSS | BAL | DENOTES BALCONY |
| WIT | DENOTES WITNESS | UNIV | DENOTES UNIVERSAL |
| OU | DENOTES ORIGIN UNKNOWN | WASH | DENOTES WASHROOM |
| VH | DENOTES VAN HARTEN SURVEYING INC., O.L.S.'s | | |
| 375 | DENOTES BLACK, SHOEMAKER et. al., O.L.S.'s | | |
| 752 | DENOTES W.H. CARR, O.L.S. | | |
| P1 | DENOTES REGISTERED PLAN 51M-1049 | | |

CERTIFICATE OF DECLARANT

THIS IS TO CERTIFY THAT
THE PROPERTY INCLUDED ON THIS PLAN HAS BEEN LAID OUT INTO UNITS AND
COMMON ELEMENTS IN ACCORDANCE WITH MY INSTRUCTIONS.

DECLARANT: REID'S HERITAGE HOMES (LORA BAY) LTD.

DATE: JANUARY 26, 2023

XXXXXXXXXXXX
I HAVE THE AUTHORITY TO BIND THE CORPORATION.

METRIC:

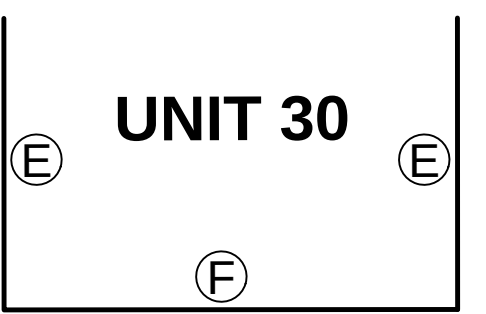
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.



Kitchener Ph: 519-742-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
www.vanharten.com		info@vanharten.com
DRAWN BY: RJ	CHECKED BY: EP/JL	PROJECT No. 30559-21
Mar 06, 2023 10:43am G:\COLLINGWOOD\51M-1049\BLOCK 2\ACAD\CONDO PLAN (COLLINGWOOD) (BLOCK 2) (30559-21) UTM2010.dwg		

INDEX OF PARTS

PART	SHEET(S)	DESCRIPTION
I	5	PLAN OF SURVEY OF THE CONDOMINIUM PROPERTY, THE ILLUSTRATION OF THE SERVIENT INTERESTS AND THE DESIGNATION OF THE UNITS ON LEVELS A, 1 TO 5
II	1	PLAN OF SURVEY OF THE EXCLUSIVE USE PORTIONS OF THE COMMON ELEMENTS.
III	143	ARCHITECTURAL DRAWING PLANS
IV	NIL	STRUCTURAL DRAWING PLANS



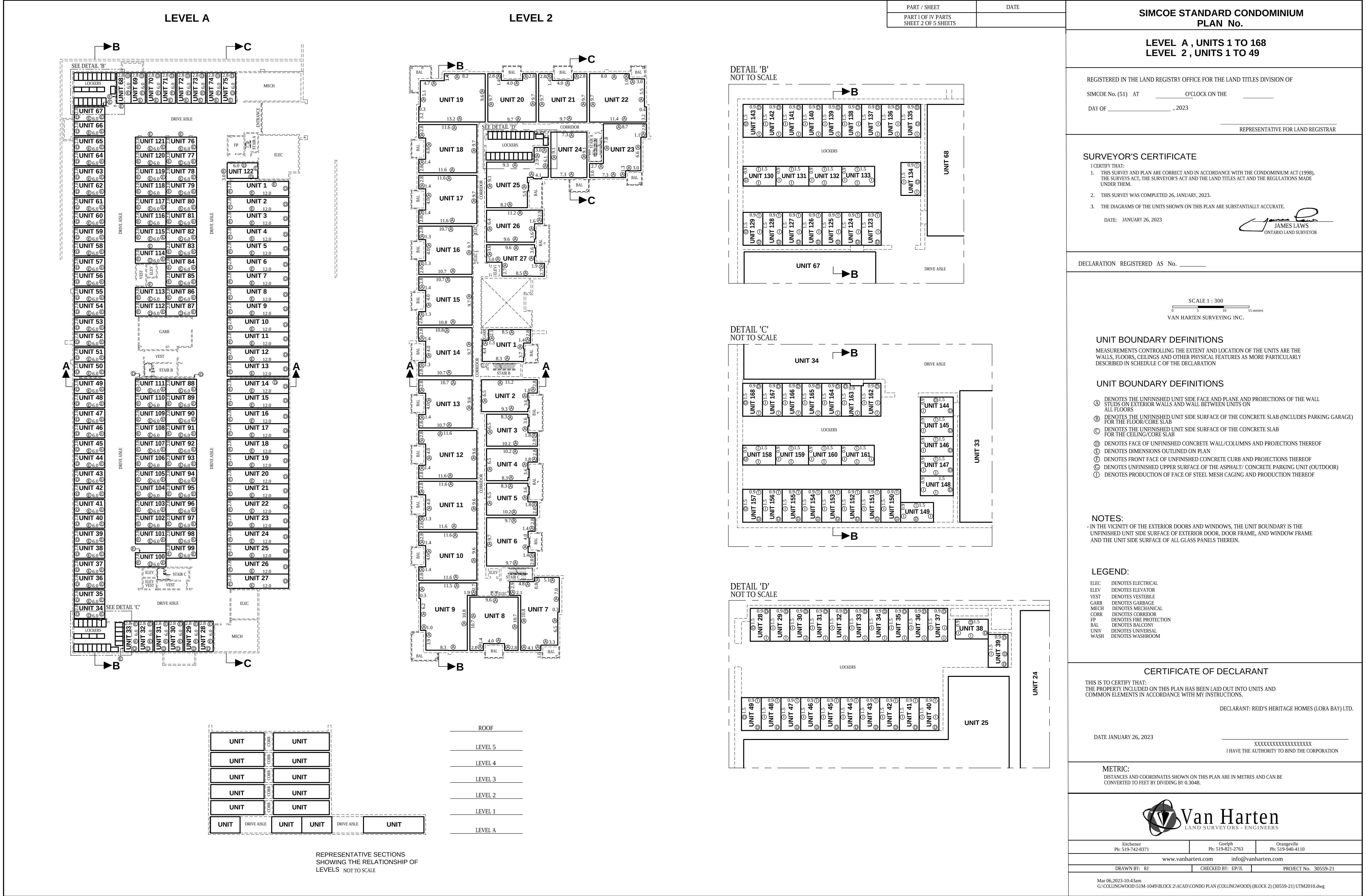
TYPICAL SECTION VIEW
FOR UNITS 28 TO 37
LEVEL 1

UNIT BOUNDARY DEFINITIONS

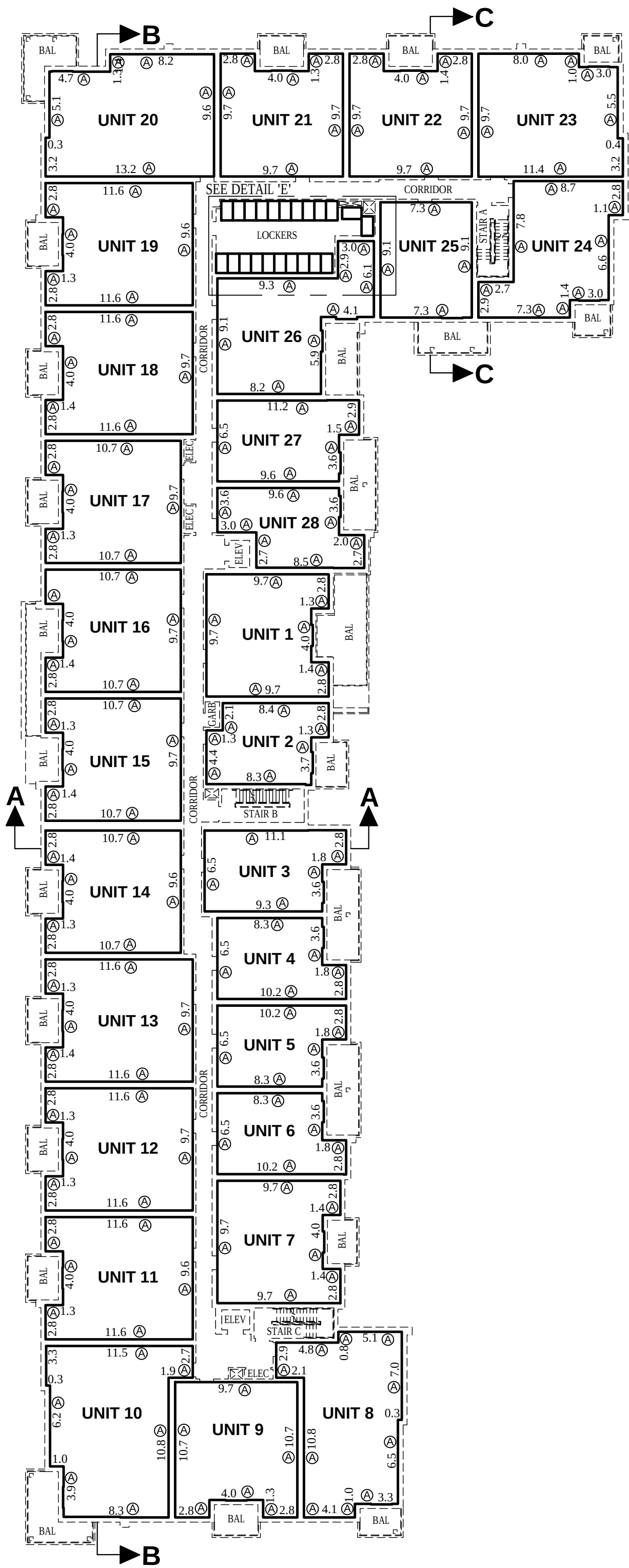
MEASUREMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS, CEILINGS AND OTHER PHYSICAL FEATURES AS MORE PARTICULARLY DESCRIBED IN SCHEDULE C OF THE DECLARATION

UNIT BOUNDARY DEFINITIONS

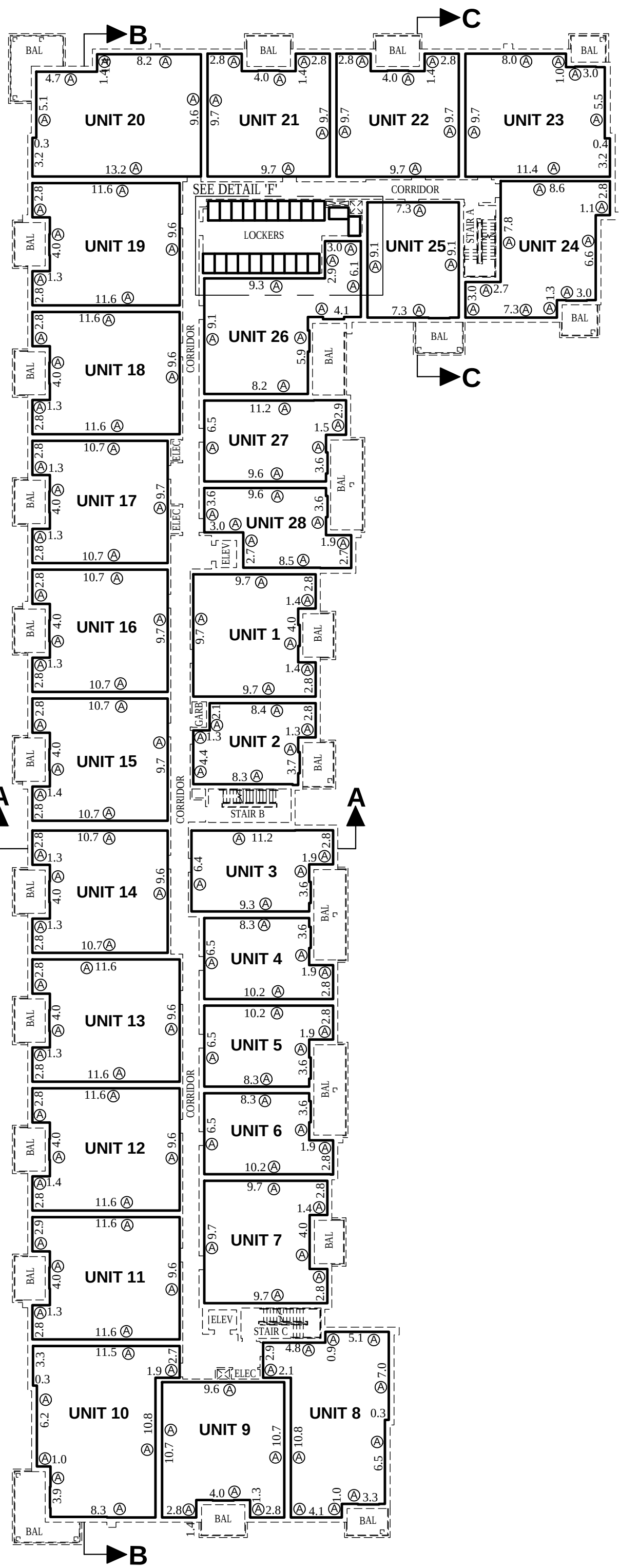
- Ⓐ DENOTES THE UNFINISHED UNIT SIDE FACE AND PLANE AND PROJECTIONS OF THE WALL STUDS ON EXTERIOR WALLS AND WALL BETWEEN UNITS ON ALL FLOORS
- Ⓑ DENOTES THE UNFINISHED UNIT SIDE SURFACE OF THE CONCRETE SLAB (INCLUDES PARKING GARAGE) FOR THE FLOOR/CORE SLAB
- Ⓒ DENOTES THE UNFINISHED UNIT SIDE SURFACE OF THE CONCRETE SLAB FOR THE CEILING/CORE SLAB
- Ⓓ DENOTES FACE OF UNFINISHED CONCRETE WALL/COLUMNS AND PROJECTIONS THEREOF
- Ⓔ DENOTES DIMENSIONS OUTLINED ON PLAN
- Ⓕ DENOTES FRONT FACE OF UNFINISHED CONCRETE CURB AND PROJECTIONS THEREOF
- Ⓖ DENOTES UNFINISHED UPPER SURFACE OF THE ASPHALT/ CONCRETE PARKING UNIT (OUTDOOR)
- Ⓗ DENOTES PRODUCTION OF FACE OF STEEL MESH CAGING AND PRODUCTION THEREOF



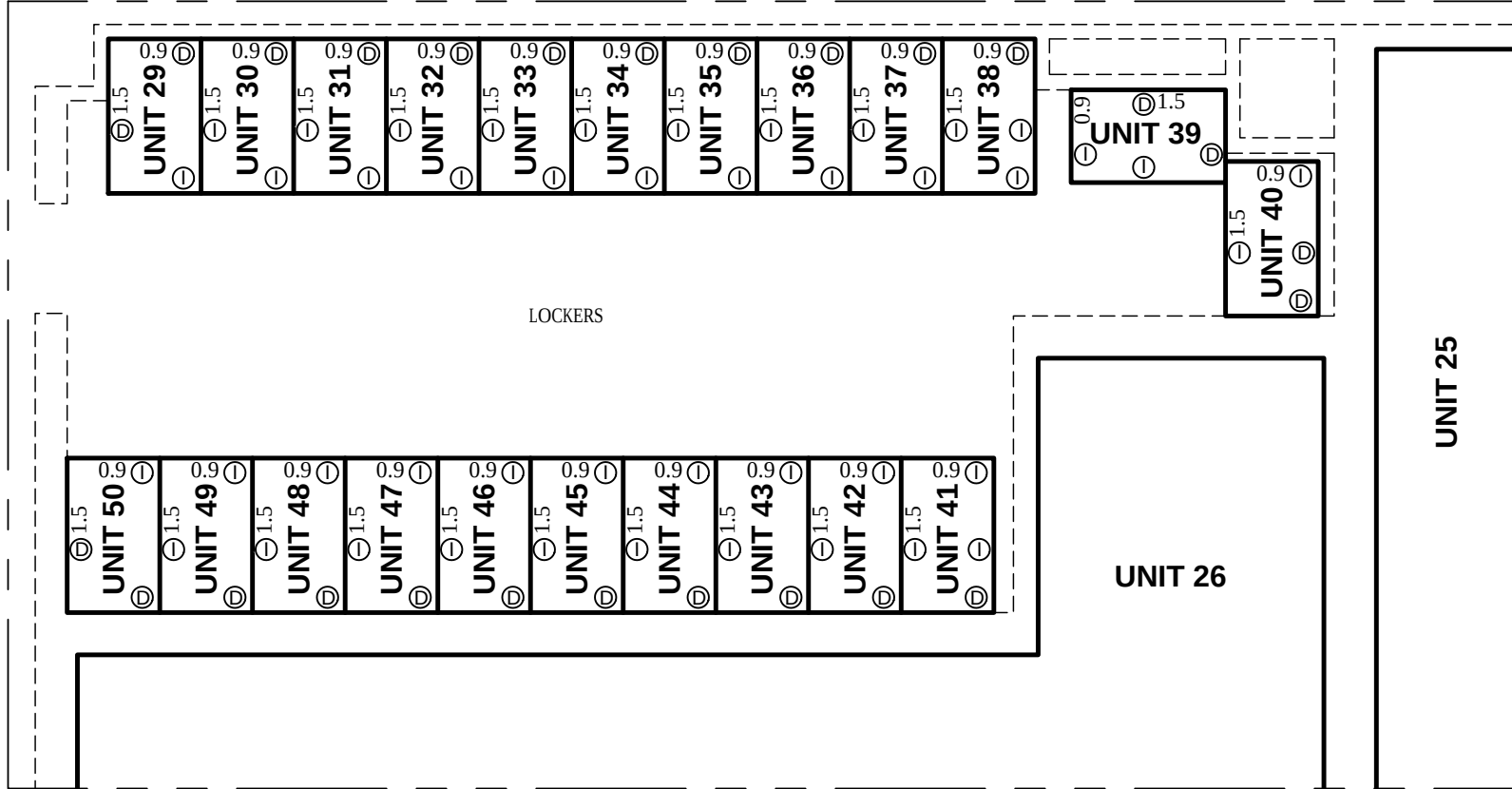
LEVEL 3



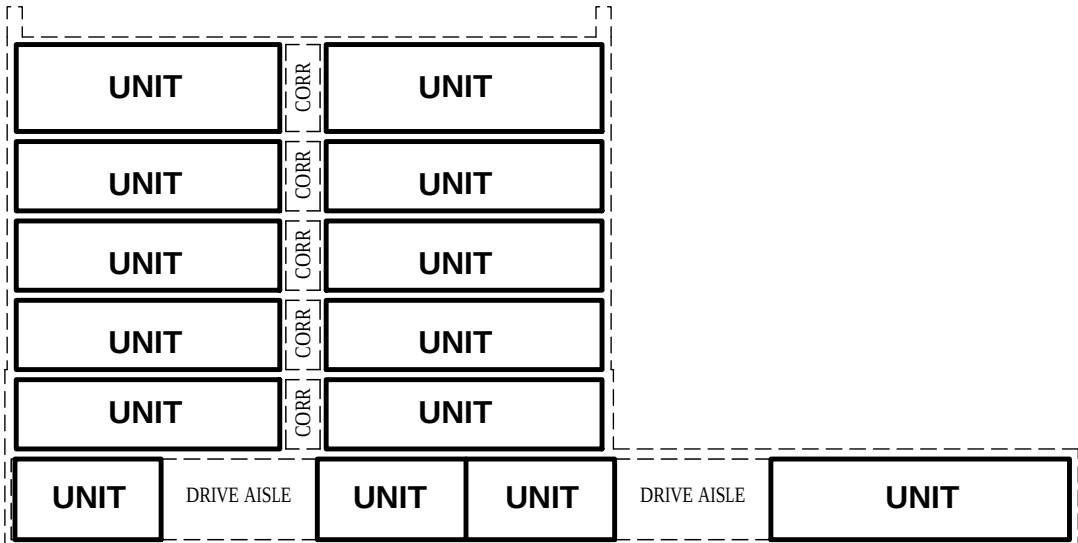
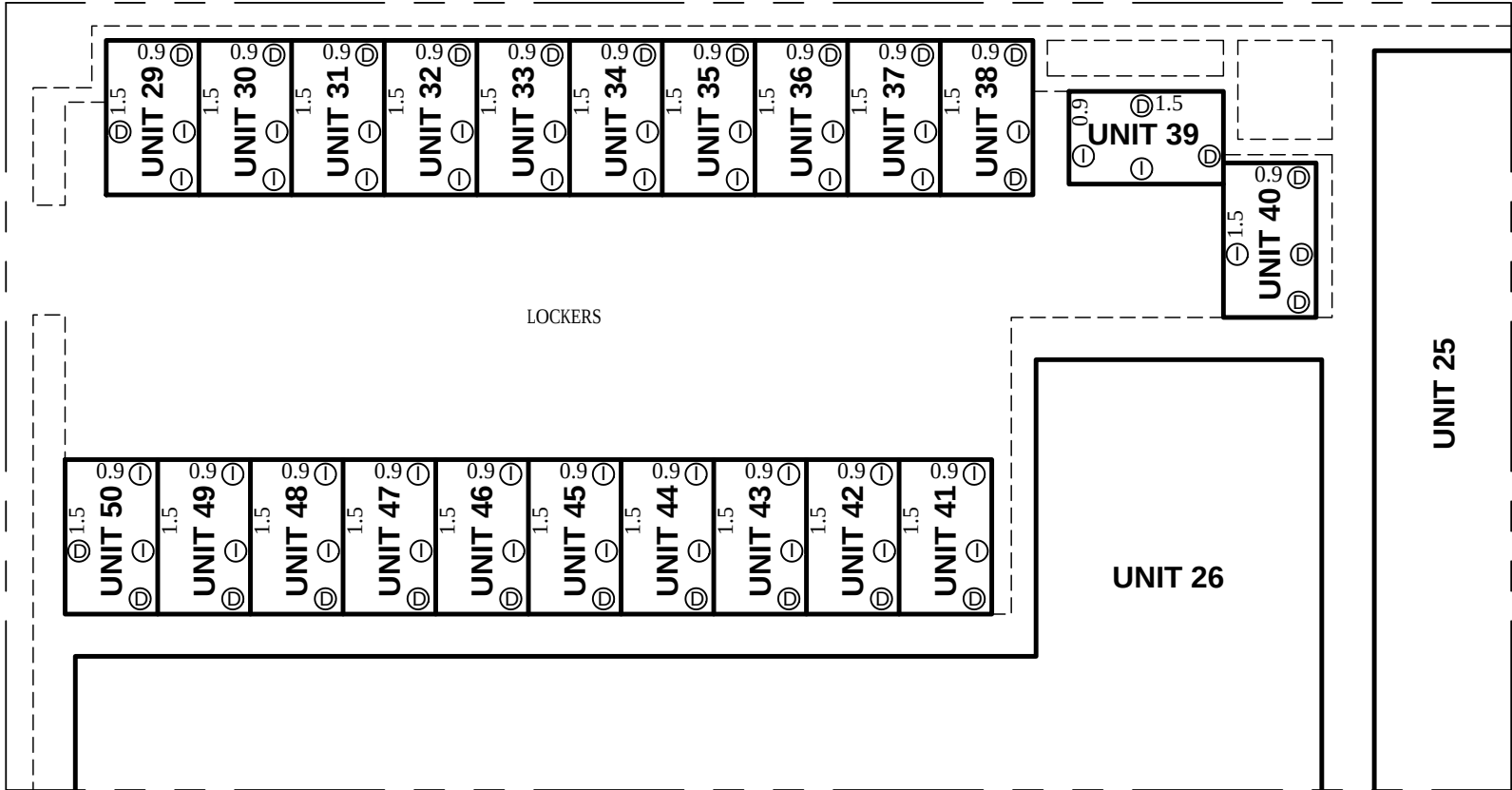
LEVEL 4



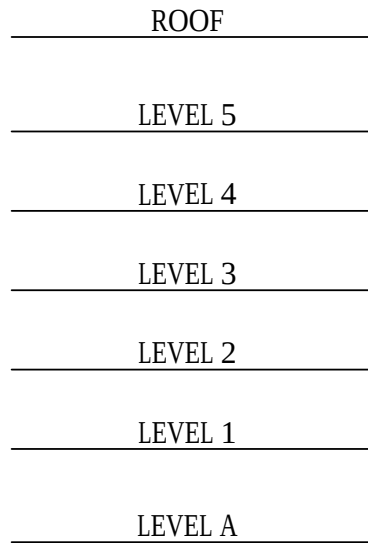
DETAIL 'E'
NOT TO SCALE



DETAIL 'F'
NOT TO SCALE



REPRESENTATIVE SECTIONS
SHOWING THE RELATIONSHIP OF
LEVELS NOT TO SCALE



PART / SHEET	DATE
PART 1 OF IV PARTS SHEET 3 OF 5 SHEETS	

SIMCOE STANDARD CONDOMINIUM
PLAN No.

LEVEL 3 , UNITS 1 TO 50
LEVEL 4 , UNITS 1 TO 50

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF

SIMCOE No. (51) AT _____ O'CLOCK ON THE _____
DAY OF _____, 2023

REPRESENTATIVE FOR LAND REGISTRAR

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT (1998), THE SURVEYS ACT, THE SURVEYOR'S ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THIS SURVEY WAS COMPLETED 26, JANUARY, 2023.
 - THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATE: JANUARY 26, 2023

JAMES LAWS
ONTARIO LAND SURVEYOR

DECLARATION REGISTERED AS No. _____

SCALE 1 : 300
0 5 10 15 meters
VAN HARTEN SURVEYING INC.

UNIT BOUNDARY DEFINITIONS

MEASUREMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS, CEILINGS AND OTHER PHYSICAL FEATURES AS MORE PARTICULARLY DESCRIBED IN SCHEDULE C OF THE DECLARATION

UNIT BOUNDARY DEFINITIONS

- Ⓐ DENOTES THE UNFINISHED UNIT SIDE FACE AND PLANE AND PROJECTIONS OF THE WALL STUDS ON EXTERIOR WALLS AND WALL BETWEEN UNITS ON ALL FLOORS
Ⓑ DENOTES THE UNFINISHED UNIT SIDE SURFACE OF THE CONCRETE SLAB (INCLUDES PARKING GARAGE) FOR THE FLOOR/CORE SLAB
Ⓒ DENOTES THE UNFINISHED UNIT SIDE SURFACE OF THE CONCRETE SLAB FOR THE CEILING/CORE SLAB
Ⓓ DENOTES FACE OF UNFINISHED CONCRETE WALL/COLUMNS AND PROJECTIONS THEREOF
Ⓔ DENOTES DIMENSIONS OUTLINED ON PLAN
Ⓕ DENOTES FRONT FACE OF UNFINISHED CONCRETE CURB AND PROJECTIONS THEREOF
Ⓖ DENOTES UNFINISHED UPPER SURFACE OF THE ASPHALT/ CONCRETE PARKING UNIT (OUTDOOR)
Ⓗ DENOTES PRODUCTION OF FACE OF STEEL MESH CAGING AND PRODUCTION THEREOF

NOTES:

- IN THE VICINITY OF THE EXTERIOR DOORS AND WINDOWS, THE UNIT BOUNDARY IS THE UNFINISHED UNIT SIDE SURFACE OF EXTERIOR DOOR, DOOR FRAME, AND WINDOW FRAME AND THE UNIT SIDE SURFACE OF ALL GLASS PANELS THEREIN.

LEGEND:

ELEC DENOTES ELECTRICAL
ELEV DENOTES ELEVATOR
VEST DENOTES VESTIBILE
GARB DENOTES GARBAGE
MECH DENOTES MECHANICAL
CORR DENOTES CORRIDOR
FP DENOTES FIRE PROTECTION
BAL DENOTES BALCONY
UNIV DENOTES UNIVERSAL
WASH DENOTES WASHROOM

CERTIFICATE OF DECLARANT

THIS IS TO CERTIFY THAT:
THE PROPERTY INCLUDED ON THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH MY INSTRUCTIONS.

DECLARANT: REID'S HERITAGE HOMES (LORA BAY) LTD.

DATE: JANUARY 26, 2023

XXXXXXXXXXXXXXXXXXXX
I HAVE THE AUTHORITY TO BIND THE CORPORATION

METRIC:

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



Kitchener Ph: 519-742-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
www.vanharten.com info@vanharten.com		
DRAWN BY: RJ	CHECKED BY: EP/JL	PROJECT No. 30559-21

Mar 06,2023-10:44am
G:\COLLINGWOOD\51M-1049\BLOCK 2\ACAD\CONDO PLAN (COLLINGWOOD) (BLOCK 2) (30559-21) UTM2010.dwg

PART / SHEET	DATE
PART 1 OF IV PARTS SHEET 4 OF 5 SHEETS	

SIMCOE STANDARD CONDOMINIUM
PLAN No.

LEVEL 5 , UNITS 1 TO 44
ROOF

REGISTERED IN THE LAND REGISTRY OFFICE FOR THE LAND TITLES DIVISION OF

SIMCOE No. (51) AT O'CLOCK ON THE

DAY OF , 2023

REPRESENTATIVE FOR LAND REGISTRAR

SURVEYOR'S CERTIFICATE

- I CERTIFY THAT:
- THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE CONDOMINIUM ACT (1998), THE SURVEYS ACT, THE SURVEYOR'S ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 - THIS SURVEY WAS COMPLETED 26, JANUARY, 2023.
 - THE DIAGRAMS OF THE UNITS SHOWN ON THIS PLAN ARE SUBSTANTIALLY ACCURATE.

DATE: JANUARY 26, 2023

James Laws
JAMES LAWS
ONTARIO LAND SURVEYOR

DECLARATION REGISTERED AS No. _____

SCALE 1 : 300
0 5 10 15 meters
VAN HARTEN SURVEYING INC.

UNIT BOUNDARY DEFINITIONS

MEASUREMENTS CONTROLLING THE EXTENT AND LOCATION OF THE UNITS ARE THE WALLS, FLOORS, CEILINGS AND OTHER PHYSICAL FEATURES AS MORE PARTICULARLY DESCRIBED IN SCHEDULE C OF THE DECLARATION

UNIT BOUNDARY DEFINITIONS

- Ⓐ DENOTES THE UNFINISHED UNIT SIDE FACE AND PLANE AND PROJECTIONS OF THE WALL STUDS ON EXTERIOR WALLS AND WALL BETWEEN UNITS ON ALL FLOORS
Ⓑ DENOTES THE UNFINISHED UNIT SIDE SURFACE OF THE CONCRETE SLAB (INCLUDES PARKING GARAGE) FOR THE FLOOR/CORE SLAB
Ⓒ DENOTES THE UNFINISHED UNIT SIDE SURFACE OF THE CONCRETE SLAB FOR THE CEILING/CORE SLAB
Ⓓ DENOTES FACE OF UNFINISHED CONCRETE WALL/COLUMNS AND PROJECTIONS THEREOF
Ⓔ DENOTES DIMENSIONS OUTLINED ON PLAN
Ⓕ DENOTES FRONT FACE OF UNFINISHED CONCRETE CURB AND PROJECTIONS THEREOF
Ⓖ DENOTES UNFINISHED UPPER SURFACE OF THE ASPHALT/ CONCRETE PARKING UNIT (OUTDOOR)
Ⓗ DENOTES PRODUCTION OF FACE OF STEEL MESH CAGING AND PRODUCTION THEREOF

NOTES:

- IN THE VICINITY OF THE EXTERIOR DOORS AND WINDOWS, THE UNIT BOUNDARY IS THE UNFINISHED UNIT SIDE SURFACE OF EXTERIOR DOOR, DOOR FRAME, AND WINDOW FRAME AND THE UNIT SIDE SURFACE OF ALL GLASS PANELS THEREIN.

LEGEND:

ELEC DENOTES ELECTRICAL
ELEV DENOTES ELEVATOR
VEST DENOTES VESTIBILE
GARB DENOTES GARBAGE
MECH DENOTES MECHANICAL
CORR DENOTES CORRIDOR
FP DENOTES FIRE PROTECTION
BAL DENOTES BALCONY
UNIV DENOTES UNIVERSAL
WASH DENOTES WASHROOM

CERTIFICATE OF DECLARANT

THIS IS TO CERTIFY THAT:
THE PROPERTY INCLUDED ON THIS PLAN HAS BEEN LAID OUT INTO UNITS AND COMMON ELEMENTS IN ACCORDANCE WITH MY INSTRUCTIONS.

DECLARANT: REID'S HERITAGE HOMES (LORA BAY) LTD.

DATE: JANUARY 26, 2023

XXXXXXXXXXXXXXXXXXXX
I HAVE THE AUTHORITY TO BIND THE CORPORATION

METRIC:

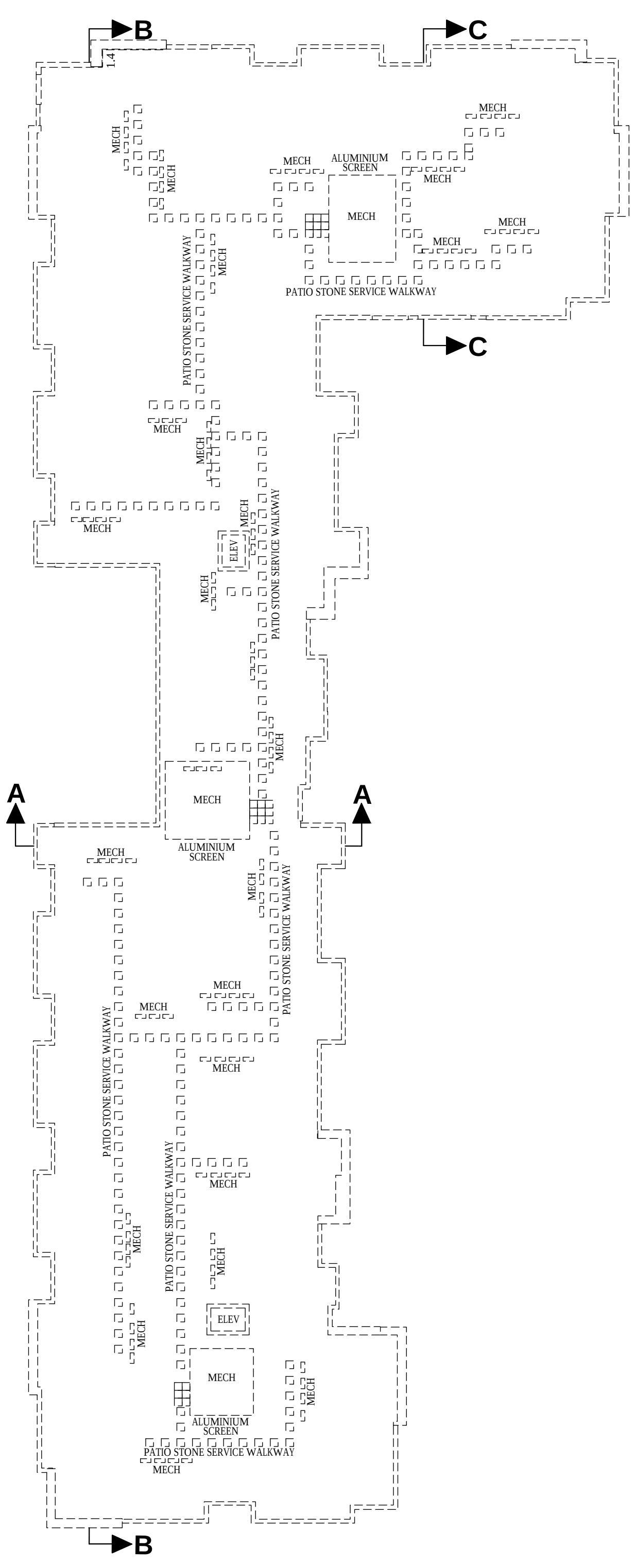
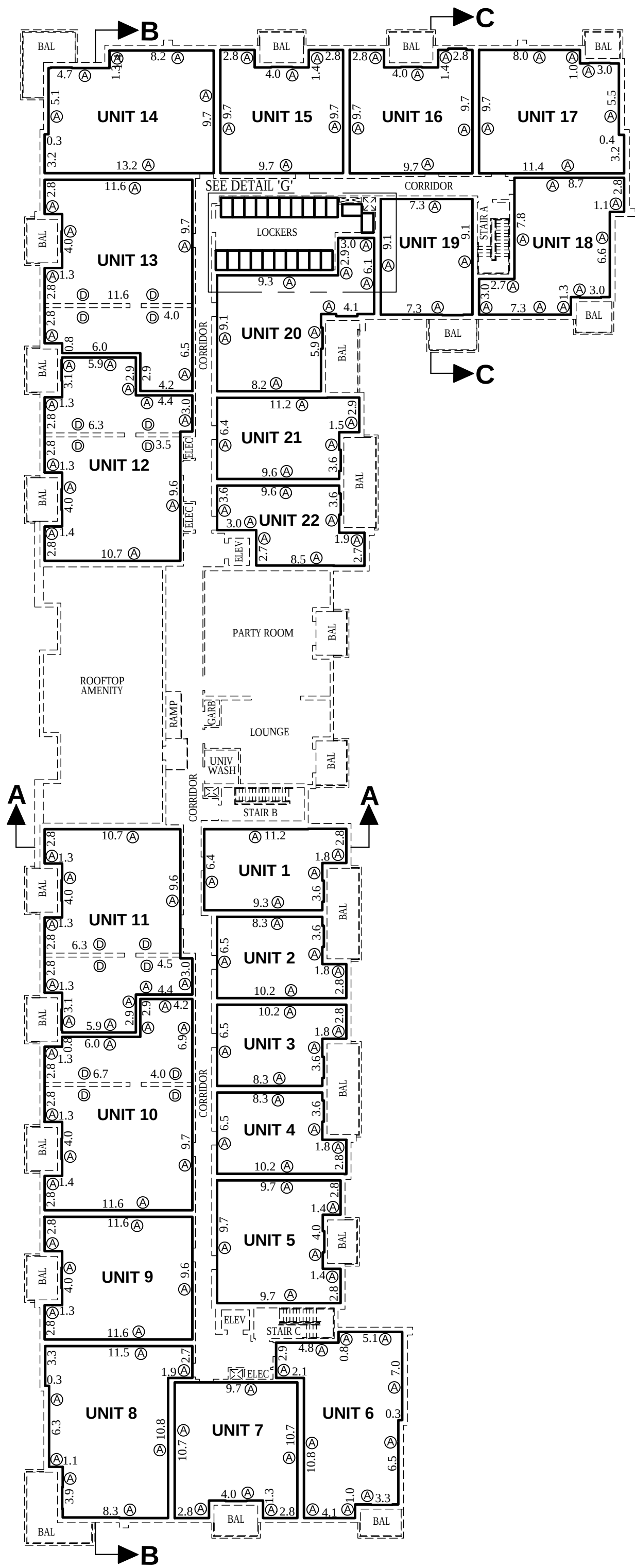
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



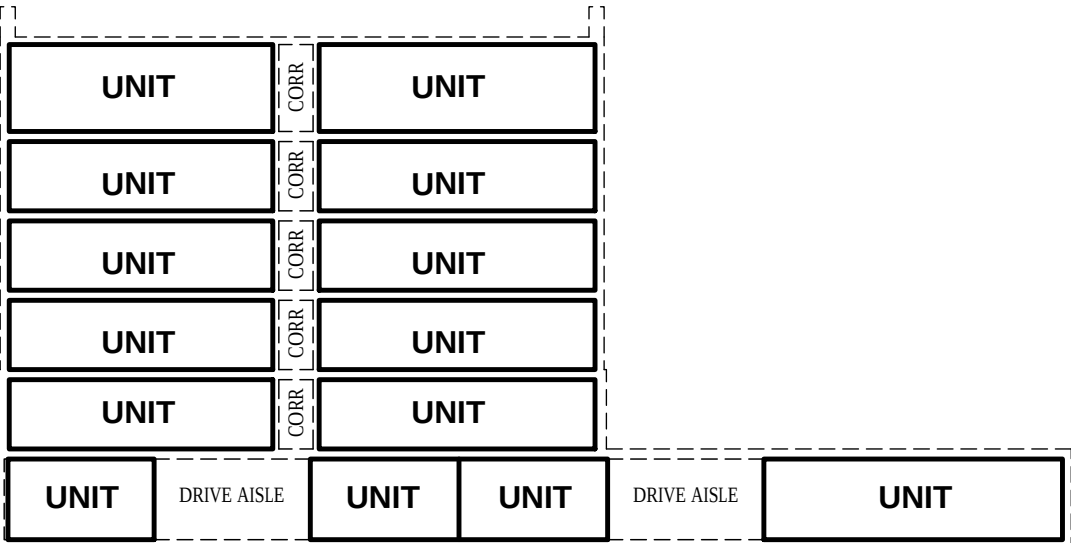
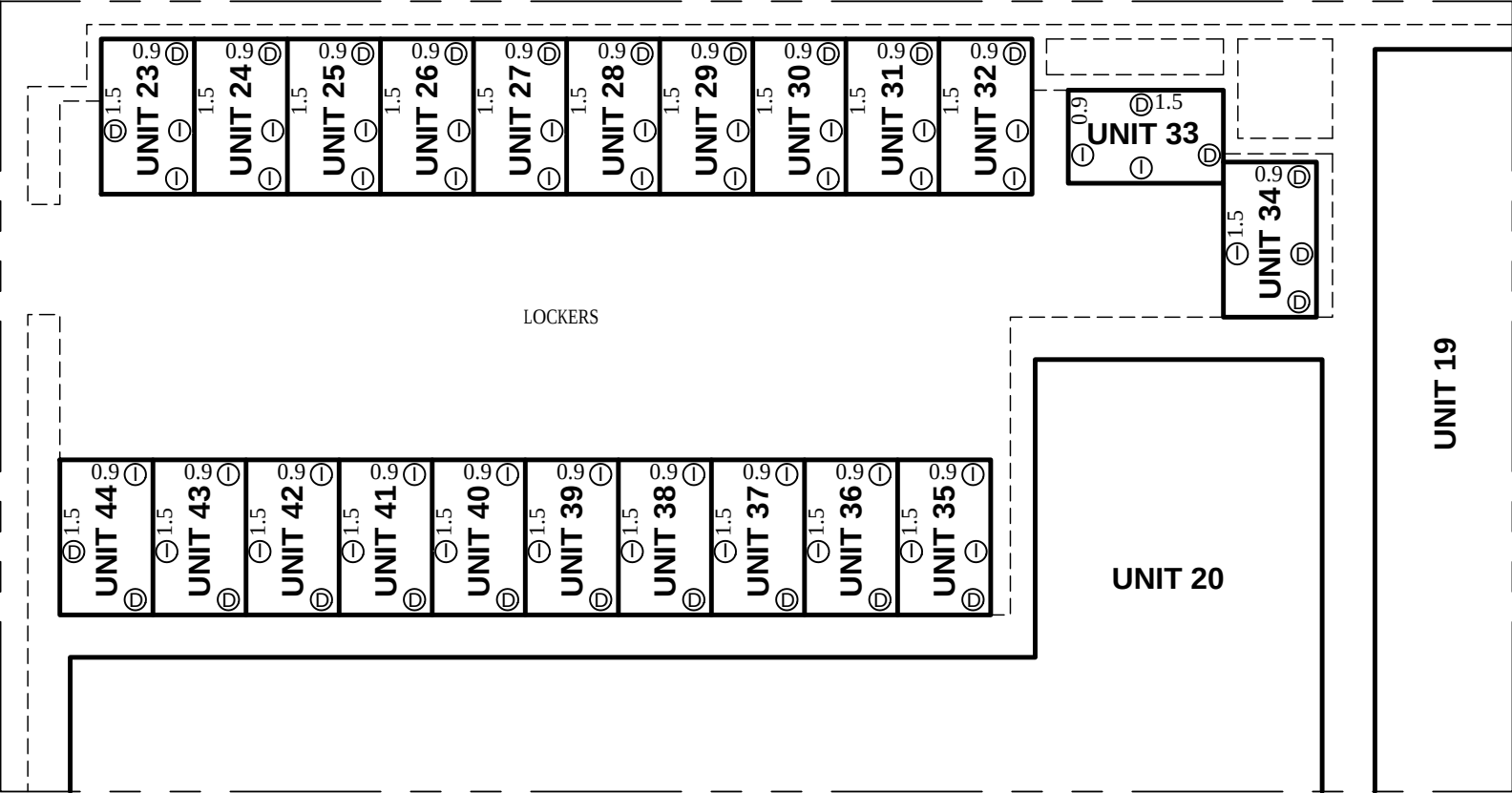
Kitchener Ph: 519-742-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-940-4110
www.vanharten.com info@vanharten.com		
DRAWN BY: RJ	CHECKED BY: EP/JL	PROJECT No. 30559-21
Mar 06 2023 10:44am G:\COLLINGWOOD\51M-1049\BLOCK 2\ACAD\CONDO PLAN (COLLINGWOOD) (BLOCK 2) (30559-21) UTM2010.dwg		

LEVEL 5

ROOF



DETAIL 'G'
NOT TO SCALE

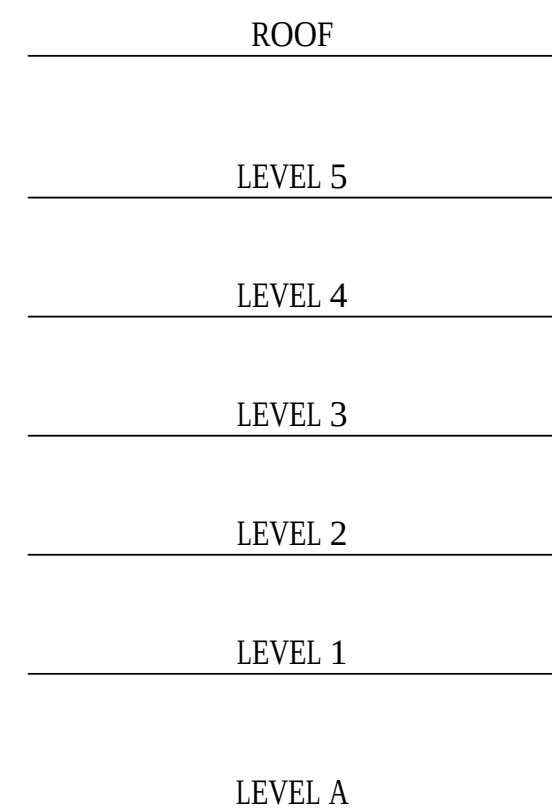


REPRESENTATIVE SECTIONS
SHOWING THE RELATIONSHIP OF
LEVELS NOT TO SCALE

ROOF
LEVEL 5
LEVEL 4
LEVEL 3
LEVEL 2
LEVEL 1
LEVEL A

	SIMCOE STANDARD CONDOMINIUM PLAN No.
--	--

SECTIONS



UNIT BOUNDARY DEFINITIONS



UNIT BOUNDARY DEFINITIONS

- | | |
|-----|--|
| (A) | DENOTES THE UNFINISHED UNIT SIDE FACE AND PLANE AND PROJECTIONS OF THE WALL STUDS ON EXTERIOR WALLS AND WALL BETWEEN UNITS ON ALL FLOORS |
| (B) | DENOTES THE UNFINISHED UNIT SIDE SURFACE OF THE CONCRETE SLAB (INCLUDES PARKING GARAGE) FOR THE FLOOR/CORE SLAB |
| (C) | DENOTES THE UNFINISHED UNIT SIDE SURFACE OF THE CONCRETE SLAB FOR THE CEILING/CORE SLAB |
| (D) | DENOTES FACE OF UNFINISHED CONCRETE WALL/COLUMNS AND PROJECTIONS THEREOF |
| (E) | DENOTES DIMENSIONS OUTLINED ON PLAN |
| (F) | DENOTES FRONT FACE OF UNFINISHED CONCRETE CURB AND PROJECTIONS THEREOF |
| (G) | DENOTES UNFINISHED UPPER SURFACE OF THE ASPHALT/ CONCRETE PARKING UNIT (OUTDOOR) |
| (1) | DENOTES PRODUCTION OF FACE OF STEEL MESH CAGING AND PRODUCTION THEREOF |

NOTES:

IN THE VICINITY OF THE EXTERIOR DOORS AND WINDOWS, THE UNIT BOUNDARY IS THE UNFINISHED UNIT SIDE SURFACE OF EXTERIOR DOOR, DOOR FRAME, AND WINDOW FRAME AND THE UNIT SIDE SURFACE OF ALL GLASS PANELS THEREIN.

LEGEND:

- | | |
|------|-------------------------|
| ELEC | DENOTES ELECTRICAL |
| ELEV | DENOTES ELEVATOR |
| VEST | DENOTES VESTIBILE |
| GARB | DENOTES GARBAGE |
| MECH | DENOTES MECHANICAL |
| CORR | DENOTES CORRIDOR |
| FP | DENOTES FIRE PROTECTION |
| BAL | DENOTES BALCONY |
| UNIV | DENOTES UNIVERSAL |
| WASH | DENOTES WASHROOM |

CERTIFICATE OF DECLARANT

THIS IS TO CERTIFY THAT:
THE PROPERTY INCLUDED ON THIS PLAN HAS BEEN LAID OUT INTO UNITS AND
COMMON ELEMENTS IN ACCORDANCE WITH MY INSTRUCTIONS.

DECLARANT: REID'S HERITAGE HOMES (LORA BAY) LTD.

DATE: JANUARY 26, 2023

XXXXXXXXXXXXXXXXXXXXX
I HAVE THE AUTHORITY TO BIND THE CORPORATION

METRIC:

DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



Kitchener Ph: 519-742-8371	Guelph Ph: 519-821-2763	Orangeville Ph: 519-340-4110
www.vanharten.com		info@vanharten.com
DRAWN BY: RJ	CHECKED BY: EP/JL	PROJECT No. 30559-21

Mar 06,2023-10:44am
G:\COLLINGWOOD\51M-1049\BLOCK 2\ACAD\CONDO PLAN (COLLINGWOOD) (BLOCK 2) (30559-21) UTM2010.dwg



PART / SHEET	DATE
PART II OF IV PARTS SHEET 1 OF 1 SHEETS	

SIMCOE STANDARD CONDOMINIUM
PLAN No.

PLAN OF SURVEY OF
THE LOCATION and EXTENT of
THE EXCLUSIVE USE PORTIONS
OF THE
COMMON ELEMENTS ON LEVEL 1

SCALE 1 : 300
0 5 10 15 meters
VAN HARTEN SURVEYING INC.

LEGEND
A001 DENOTES EXCLUSIVE USE FOR PATIOS
FOR UNIT WITH SAME NUMBER

EXCLUSIVE USE DEFINITIONS

- ① DENOTES UNDERSIDE FACE OF CONCRETE ON THE BALCONY ABOVE
② DENOTES UPPER SURFACE OF CONCRETE PORCH SLAB
③ DENOTES OUTSIDE EDGE OF PORCH SLAB AND PROJECTIONS THEREOF
④ DENOTES PROJECTION OF CENTRELINE BETWEEN UNITS
⑤ DENOTES EXTERIOR FACE OF BUILDING WALL
⑥ DENOTES PRODUCTION OF UNIT DRYWALL CEILING

LEGEND:

- ELEC DENOTES ELECTRICAL
ELEV DENOTES ELEVATOR
VEST DENOTES VESTIBILE
GARB DENOTES GARBAGE
MECH DENOTES MECHANICAL
CORR DENOTES CORRIDOR
FP DENOTES FIRE PROTECTION
BAL DENOTES BALCONY
UNIV DENOTES UNIVERSAL
WASH DENOTES WASHROOM

SURVEYOR'S CERTIFICATE

I CERTIFY THAT:
THIS PLAN OF SURVEY ACCURATELY SHOWS THE EXTENT AND LOCATION OF EXCLUSIVE USE
PORTIONS OF THE COMMON ELEMENTS.

DATE: JANUARY 26, 2023


JAMES LAWS
ONTARIO LAND SURVEYOR

METRIC:
DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN
BE CONVERTED TO FEET BY DIVIDING BY 0.3048.



Kitchener Guelph Orangeville
Ph: 519-742-8371 Ph: 519-821-2763 Ph: 519-940-4110

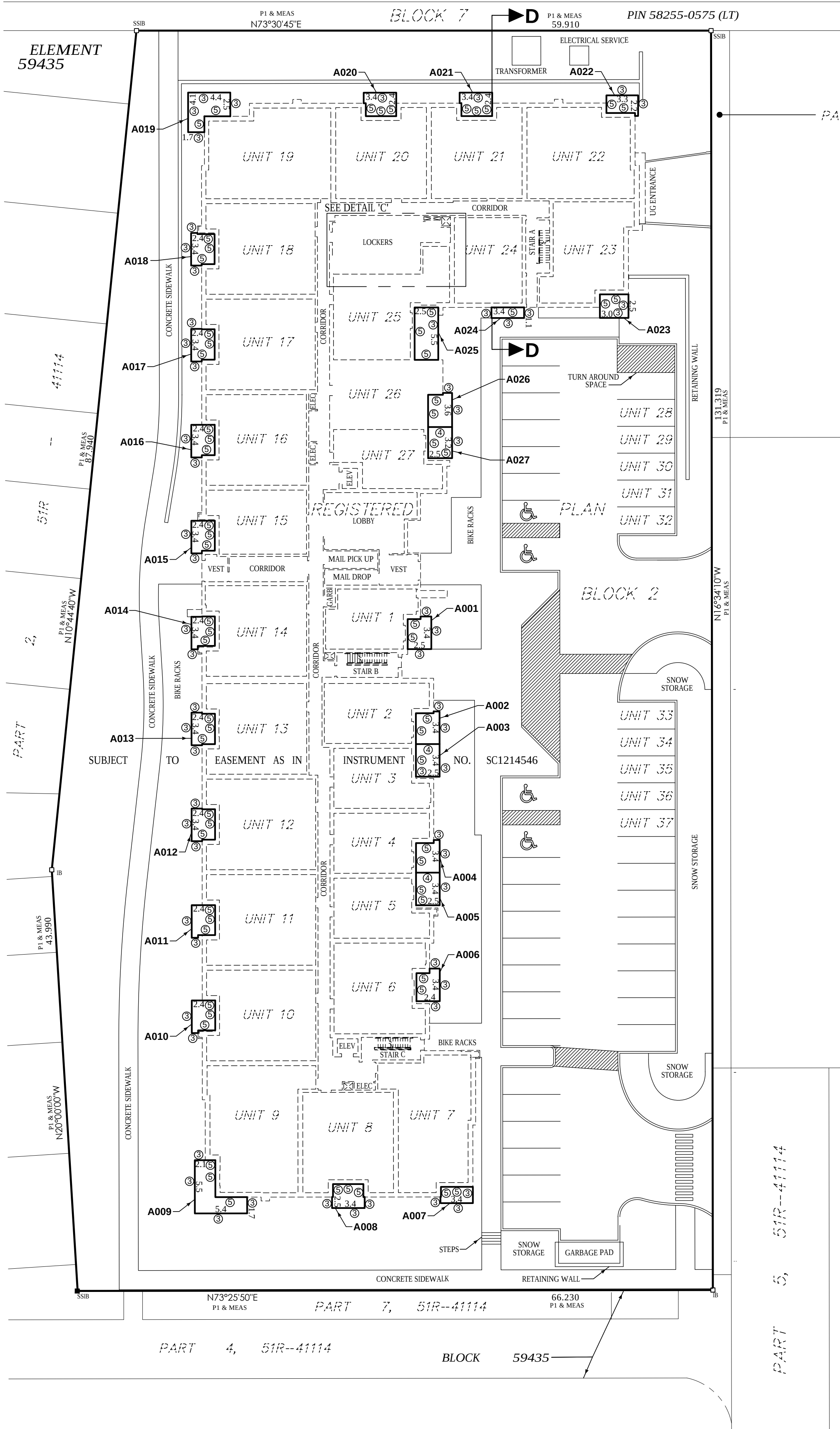
www.vanharten.com info@vanharten.com

DRAWN BY: RJ CHECKED BY: EP/JL PROJECT No. 30559-21

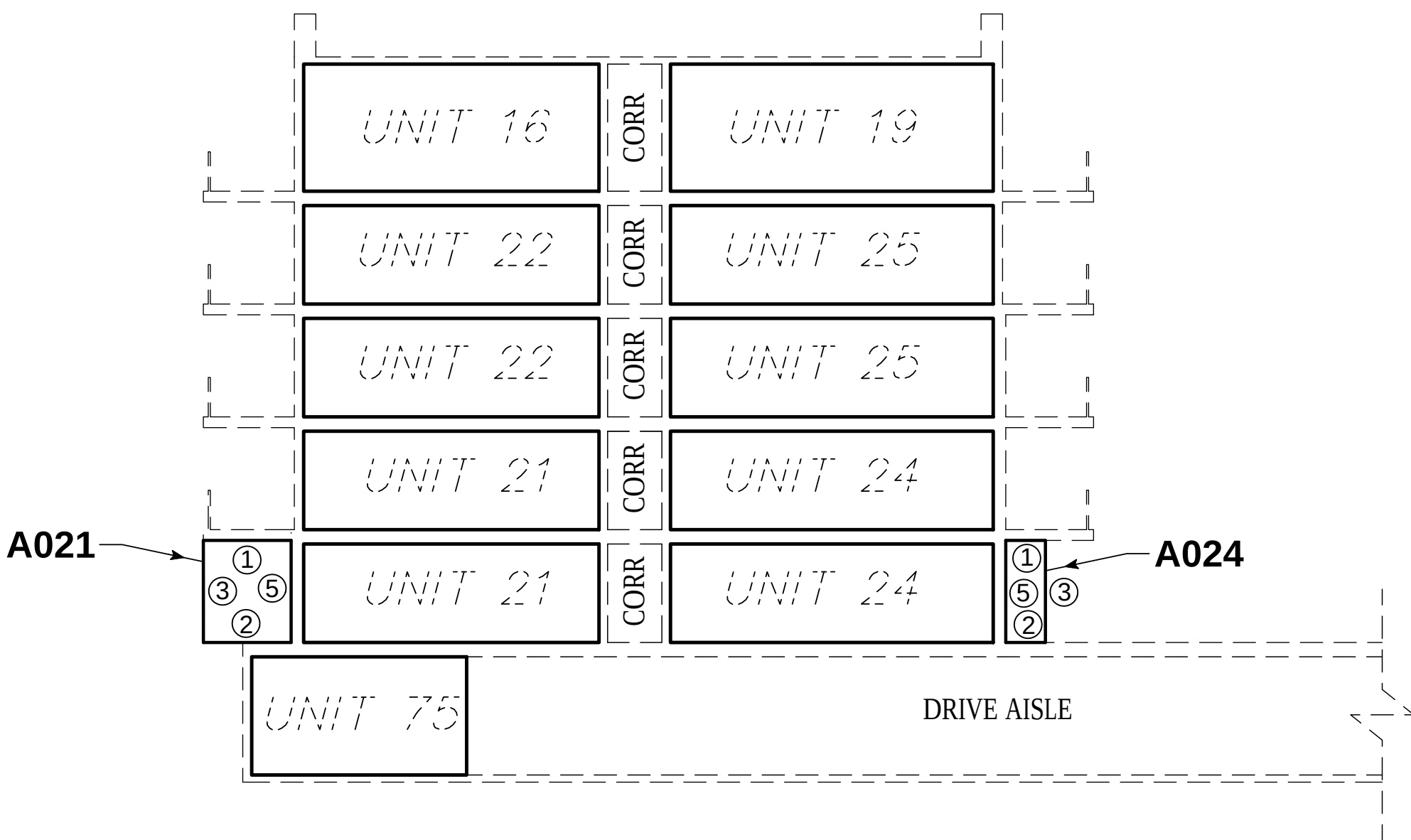
Mar 06,2023-10:44am
G:\COLLINGWOOD\51M-1049\BLOCK 2\ACAD\CONDO PLAN (COLLINGWOOD) (BLOCK 2) (30559-21) UTM2010.dwg

EXCLUSIVE USE LEVEL 1

HARBOUR STREET WEST
(ORIGINAL ROAD ALLOWANCE BETWEEN LOTS 45 AND 46)
PIN 58255-0139 (LT)



SECTION D-D



NOT TO SCALE

ROOF

LEVEL 5

LEVEL 4

LEVEL 3

LEVEL 2

LEVEL 1

LEVEL A