

ROYAL WINDSOR AT BALMORAL VILLAGE

TOWN OF COLLINGWOOD COUNTY OF SIMCOE



MUNICIPALITY

TOWN OF COLLINGWOOD
97 HURONTARIO STREET, P.O. BOX 157
COLLINGWOOD, ONTARIO, L9Y 3Z5

DEVELOPER

REID'S HERITAGE HOMES
6783 WELLINGTON ROAD 34, R.R. #22
CAMBRIDGE, ONTARIO N3C 2V4

DEVELOPER'S ENGINEER



THE HARBOUREdge BUILDING,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

LANDSCAPE ARCHITECT



THE HARBOUREdge BUILDING,
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ARCHITECT

KNYMH ARCHITECTURE SOLUTIONS
1006 SKYVIEW DRIVE SUITE 101
BURLINGTON, ONTARIO L7P 0V1

DRAWING

SP1
A450
101
102
103
104
105
LP1
LD1

TITLE

SITE PLAN
COLOURED ELEVATIONS
SITE GRADING PLAN
GENERAL SITE SERVICING PLAN
STORM AREA DRAINAGE PLAN
SEDIMENT CONTROL PLAN
GENERAL NOTES AND STANDARD DETAILS
LANDSCAPE PLAN
LANDSCAPE DETAILS

MASTER LEGEND

EXISTING FEATURES (EX.)

	EX. CONTOUR
	EX. GRADE
	EX. TREELINE
	EX. WATERCOURSE
	EX. DITCH
	EX. WATERMAIN
	EX. WATER SERVICE
	EX. FIRE HYDRANT & VALVE
	EX. SANITARY SEWER & MANHOLE
	EX. SANITARY FORCEMAIN
	EX. SANITARY SERVICE
	EX. STORM SEWER & MANHOLE
	EX. STORM CATCHBASIN
	EX. STORM DOUBLE CATCHBASIN
	EX. STORM CATCHBASIN MANHOLE
	EX. STORM DOUBLE CATCHBASIN MANHOLE
	EX. GAS MAIN
	EX. BELL LINE
	EX. BELL PEDESTAL
	EX. CABLE TELEVISION PEDESTAL
	EX. HYDRO POLE
	EX. LIGHT STANDARD
	EX. SIGN
	EX. BUILDING
	EX. BENCHMARK NUMBER & LOCATION
	EX. BOREHOLE NUMBER & LOCATION

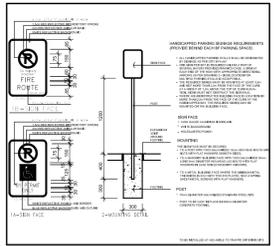
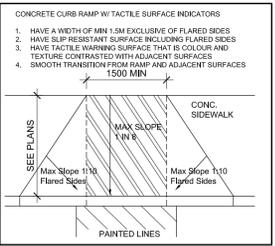
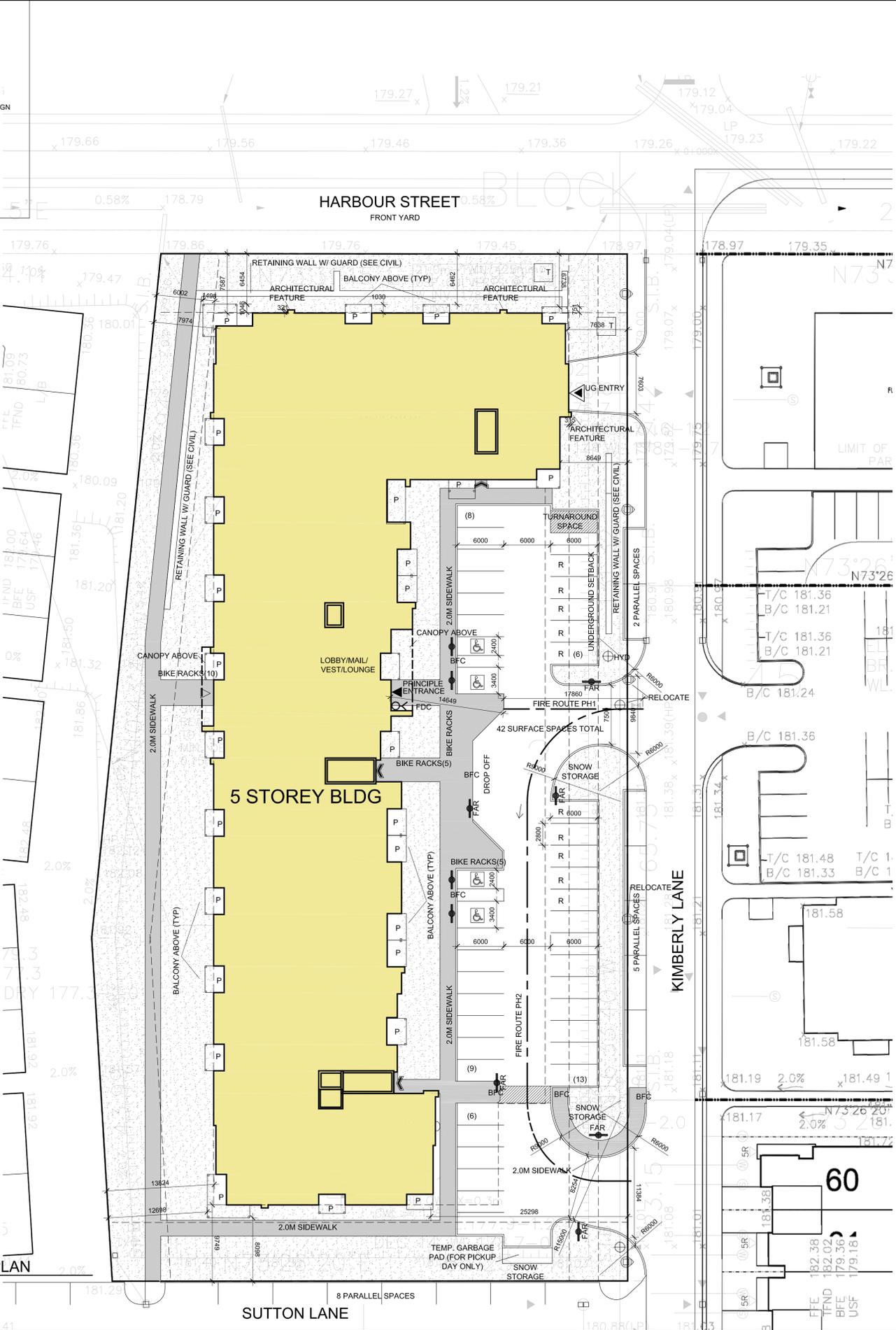
PROPOSED FEATURES (PR.)

	PR. PROPERTY LIMITS
	PR. ELEVATION
	PR. ELEVATION (MATCH EX. ELEVATION)
	PR. SWALE & SLOPE
	PR. DITCH DRAINAGE
	PR. WATERMAIN & VALVE
	PR. WATER SERVICE
	PR. FIRE HYDRANT & VALVE
	PR. WATER VALVE CHAMBER
	PR. WATER QUALITY TESTING STATION
	PR. SANITARY SEWER & MANHOLE
	PR. SANITARY FORCEMAIN
	PR. SANITARY SERVICE
	PR. SANITARY CATCHMENT
	CATCHMENT AREA ID
	AREA (ha)
	POPULATION (3.5 p.p.u.)
	PR. STORM SEWER & MANHOLE
	PR. CATCHBASIN
	PR. DOUBLE CATCHBASIN
	PR. CATCHBASIN MANHOLE
	PR. DOUBLE CATCHBASIN MANHOLE
	PR. STORM CATCHMENT
	CATCHMENT AREA ID
	RUNOFF COEFFICIENT
	DRAINAGE AREA (ha)
	PR. CURB CUT
	PR. CANADA POST COMMUNITY MAIL BOX
	PR. TRANSFORMER
	PR. STOP SIGN
	PR. NAME SIGN
	PR. NO PARKING SIGN
	PR. FENCE
	PR. BUILDING ENVELOPE
	PR. LIGHT DUTY SILT FENCE
	PR. HEAVY DUTY SILT FENCE
	PR. STRAW BALE CHECK FLOW
	PR. ROCK CHECK DAM
	PR. SLOPE (3:1 MAX.)
	PR. TREE PRESERVATION AREA
	PR. TOPSOIL STOCKPILE LOCATION

**PROJECT No.: 183-4877
1ST SUBMISSION**

NOTES:
 THE OWNER IS REQUIRED TO REMOVE SNOW OFF SITE AND MAINTAIN REQUIRED PARKING UNENCUMBERED BY SNOW DURING MAJOR SNOW EVENTS.
 THE OWNER IS REQUIRED TO REMOVE SNOW AND ICE FROM ALL EXIT PATHS AND STAIRS.
 SNOW WILL BE REMOVED FROM SITE BY PRIVATE COMPANY.
 DRIVEWAYS ARE TO BE 1.2 CLEAR OF UTILITY STRUCTURES AND HYDRANTS.
 BUILDER TO VERIFY LOCATION OF ALL HYDRANTS, STREET LIGHTS, TRANSFORMERS, AND OTHER SERVICES.
 IF MINIMUM DIMENSION IS NOT MAINTAINED, BUILDER IS TO RELOCATE AT HIS OWN EXPENSE.
 BUILDER TO VERIFY SERVICE CONNECTION ELEVATIONS PRIOR TO CONSTRUCTING FOUNDATIONS.
 PRIOR TO THE COMMENCEMENT OF ANY WORKS WITHIN THE MUNICIPAL ROAD ALLOWANCE, THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE ENGINEERING SERVICE DEPARTMENT, TOWN OF COLLINGWOOD, FOR THE PURPOSE OF VEHICULAR ACCESS TO THE PROPERTY, (ENTRANCE PERMIT), AND SERVICING EXCAVATIONS (ROAD ALLOWANCE PERMIT) WITHIN THE THE PROPERTY, (ENTRANCE PERMIT), AND SERVICING.
 PARKING STALL DELINEATION TO BE 100MM WIDE WHITE OR YELLOW MARKINGS.
 VISITOR PARKING TO BE MARKED WITH A PAINTED V,
 RESIDENT PARKING TO BE MARKED WITH PAINTED NUMBERS.
 ALL REFUSE WILL BE STORED INTERNALLY.
 WASTE TO BE COLLECTED BY PRIVATE SERVICE.

- LEGEND**
- ◀ APARTMENT PRINCIPAL/VISITOR ENTRY
 - ◀ APARTMENT EXIT DOOR
 - ◀ UNDERGROUND PARKING GARAGE ENTRY
 - ◀ UNDERGROUND SERVICE ENTRY
 - R RESIDENT PARKING SPACE
 - P PATIO @ GRADE
 - BFC BARRIER FREE CURB
 - VF VERTICAL ACCESSIBLE PARKING SIGN
 - ♿ PAINTED BARRIER FREE PARKING SYMBOL AS PER MUNICIPAL STANDARDS
 - STOP SIGN
 - HYDRANT
 - SIAMESE CONNECTION
 - FIRE ACCESS ROUTE SIGN
 - STREETLIGHT
 - TRANSFORMER
 - CONCRETE SIDEWALK
 - LANDSCAPE
 - SOD



3 PLAN DETAIL
 SP1 BFC CURB CUT 1:50

4 DETAIL
 SP1 SIGNAGE 1:50

132 UNITS TOTAL
 122 UG SPACES +27 TANDEM
 42 SURFACE SPACES
 164 TOTAL SPACES (164 REQ'D)
 19 PARALLEL STREET SPACES (BONUS)
 T = SURFACE TENANT SPACE

R4-4 (H-18) ZONE AS AMENDED

ZONING BY-LAW SUMMARY
 TOWN OF COLLINGWOOD ZONING BYLAW 2010-040
 OFFICIAL PLAN DESIGNATION "RESIDENTIAL MIXED USE"
132 UNITS

GENERAL INFORMATION:		
ZONING	LOT AREA	MINOR VARIANCE NO D13118
R4-4 (H-18) AS AMENDED	8595.73M ²	0.9501HA
TABLE 6.3.1.3 - RESIDENTIAL FOURTH DENSITY (R4) PROVISIONS		
USE	REQUIRED FOR APARTMENT	PROVIDED
MIN LOT AREA	NIL	8595.7 m ² (0.859 HA)
MIN LOT FRONTAGE	30.0M	59.91M
MIN FRONT YARD	7.5M	7.5M
MIN EXTERIOR SIDE YARD	7.5M	7.5M
MIN INTERIOR SIDE YARD	7.5M	7.5M
MIN REAR YARD	7.5M	9.7M
MAX HEIGHT	18M (SUPERCEDED BELOW BY VARIANCE) HEIGHT IS VERTICAL DISTANCE MEASURED FROM GRADE TO HIGHEST POINT OF ROOF DECK SURFACE OR TOP OF RIDGE OF SLOPED ROOF (GRADE IS AVERAGE LEVEL OF PROPOSED OR FINISHED GROUND AT ALL WALLS)	19M (PER VARIANCE) 5 STORIES
MAX LOT COVERAGE	40% (SUPERCEDED BELOW BY VARIANCE)	36% (3088M ²)
MIN LANDSCAPED OPEN SPACE	40%	41% (3555M ²)
DENSITY	133 UNITS	132 UNITS
UNDERGROUND PARKING SETBACK	FRONT YARD - HALF OF THAT REQUIRED FOR THE MAIN BUILDING OR MAIN USE SUPERCEDED BELOW BY VARIANCE EXTERIOR SIDE YARD - HALF OF THAT REQUIRED FOR THE MAIN BUILDING OR MAIN USE INTERIOR SIDE YARD - NIL REAR YARD - NIL	7.5M
UNDERGROUND PARKING DEPTH	ANY PORTION MUST BE 0.6M BELOW EXISTING GRADE	0.6M
ENTRANCE WIDTH GC 5.3	ENTRANCE WIDTH FOR GROUP OR CLUSTER DWELLINGS = 7.5M	7.5M
RESIDENTIAL FOURTH DENSITY EXCEPTION FOUR - R4-4 ZONE THE FOLLOWING EXEMPTIONS SHALL APPLY		
PARKING	1 SPACE PER UNIT PLUS AN ADDITIONAL 0.25 SPACES PER UNIT FOR VISITOR PARKING (SUPERCEDED BELOW BY VARIANCE)	122 UG 183 TOTAL 42 SURFACE 165 SPACES (1.25 PER)
PARKING	THE REQUIRED PARKING MAY BE LOCATED ON AN ADJUTTING LOT	19 STREET (OFF PROPERTY)
PARKING	THE MINIMUM FRONT YARD SETBACK FOR AN UNDERGROUND PARKING GARAGE IS NIL	19 STREET (OFF PROPERTY)
MINOR VARIANCE NOP D13118		
MAX COVERAGE	42%	
MAX HEIGHT	19.0M	
PARKING	DECREASE THE PARKING FROM 162 SPACES TO 153 SPACES, THUS A DECREASE OF 9 SPACES.	
GENERAL CONDITIONS EXEMPTIONS		
ENCROACHMENTS	ARCHITECTURAL FEATURES 0.6M UNENCLOSED PORCH 1.5M BUT NOT CLOSER THAN 1.2M TO LOT LINE. UP TO 3.0M SETBACK IN REAR YARD ENCLOSED BALCONY 1.5M BUT NOT CLOSER THAN 1.2M TO LOT LINE CANOPY MAY PROJECT HALFWAY INTO A REQUIRED YARD	
PARKING AISLE SIZE GREATER THAN 7 DEGREES	6.0M	6.0M
PARKING SPACE SIZE (PERPENDICULAR)	6.0M X 2.8M	6.0M X 2.8M
PARKING SPACE SIZE (PARALLEL)	7.0M X 2.8M	7.0M X 2.8M
BF PARKING SPACE SIZE (PERPENDICULAR)	6.0M X 4.5M	AODA SUPERCEDES
BF PARKING SPACE SIZE (PARALLEL)	7.0M X 4.5M	
BF PARKING QUANTITY	1-25 -1 26-50 -2 51-100 -3 OVER 100 -2% = 3.4 REQ'D	4 SPACES
LOADING SPACE REQUIRED	NONE	NONE
BICYCLE SPACES	ANY GROUP OR CLUSTER RESIDENTIAL 0.5SPACES PER UNIT TO A MAX OF 20 SPACES	20

1 SITE PLAN
 SP1 SITE PLAN 1/4" = 1'-0"

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND JOB CONDITIONS BEFORE PROCEEDING WITH WORK.
 ALL DRAWINGS MAY BE SUBJECT TO CHANGE DUE TO COMMENTS FROM MUNICIPAL DEPARTMENTS AND OTHER AGENCIES WITH AUTHORITY.
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KEY TO DETAIL LOCATION

No.	DETAIL NUMBER
No.	DRAWING SHEET NUMBER

DRAWING SETS ISSUED	No.	DATE (DD.MM.YY)	BY
CONCEPT 1 - 133 UNITS	1.	13.06.19	MB
CONCEPT 2 - 132 UNITS	2.	27.06.19	MB
PRE-CONSULTATION	3.	09.07.19	MB
SITE PLAN APPROVAL	4.	06.01.20	MB

ALL PREVIOUS ISSUES OF THIS DRAWING ARE SUPERSEDED

REVISIONS TO DRAWING	No.	DATE (DD.MM.YY)	BY
NOT FOR CONSTRUCTION			

BUILDING PERMIT NUMBER:
 NOT FOR CONSTRUCTION WITHOUT PERMIT

KNYMH
 ARCHITECTURE • SOLUTIONS

KNYMH INC.
 1006 SKYVIEW DRIVE • SUITE 101
 BURLINGTON, ONTARIO • L7P 0V1
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 F 905.639.0394
 www.knymh.com info@knymh.com

ONTARIO ASSOCIATION OF ARCHITECTS

PRZEMYSŁAW MYSZKOWSKI
 LICENCE 7384

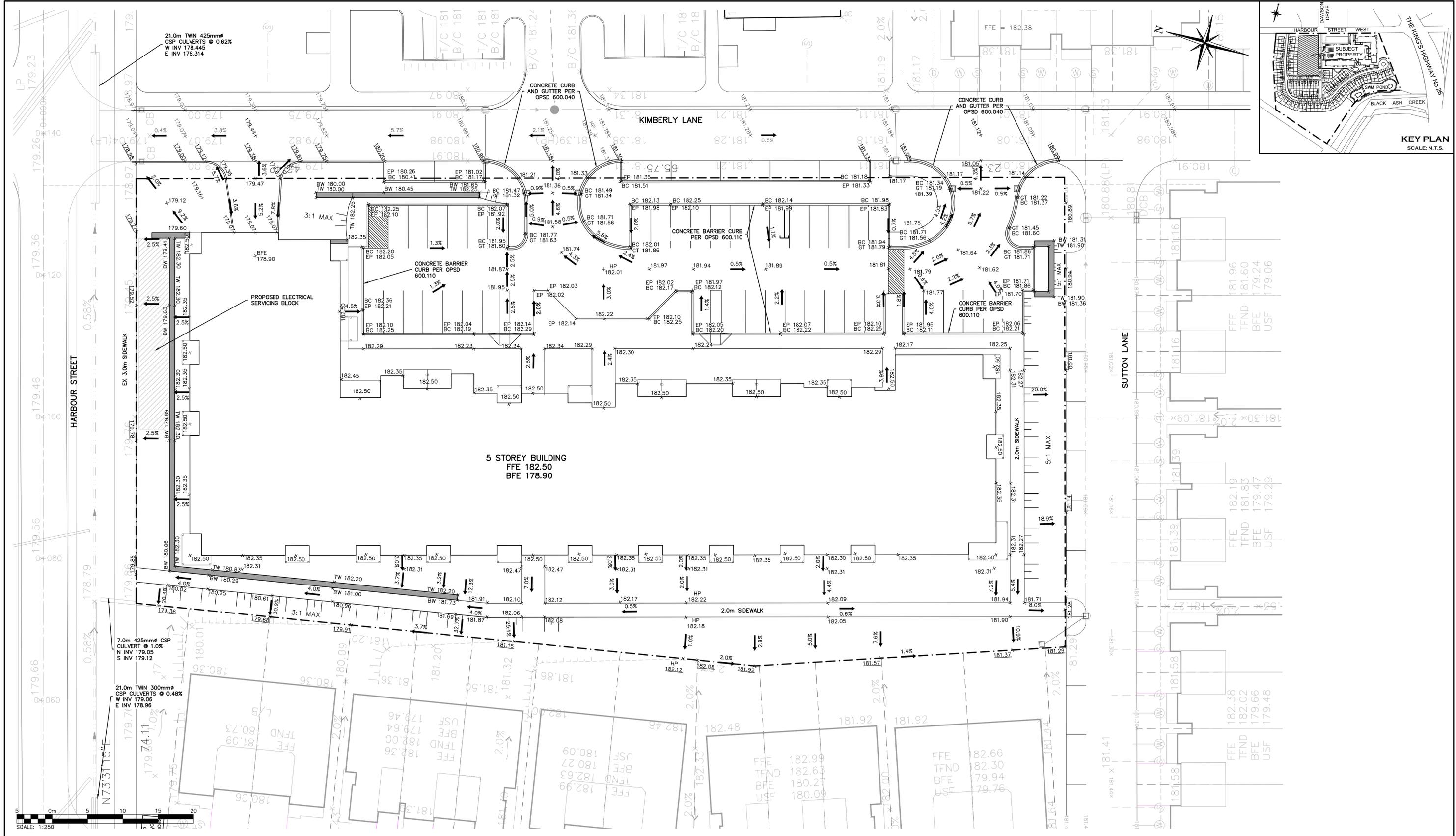
ROYAL WINDSOR AT BALMORAL VILLAGE

KIMBERLY LANE
 COLLINGWOOD, ONTARIO

DRAWING SHEET TITLE:
SITE PLAN

DRAWING SCALE: 1:200
 PROJECT NUMBER: 19029

DRAWN BY: CHECKED BY:
 DRAWING VERSION: 001
 PLOT DATE: January 7, 2020
 DRAWING SHEET NUMBER: SP1



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GEODETIC BENCHMARK
 GEODETIC BENCHMARK 72U313 HAVING AN ELEVATION OF 179.633, TABLET IN WEST FOUNDATION OF FORMER KAUFMAN FURNITURE BUILDING.

TEMPORARY BENCHMARKS

TBM#1
 7/4"UT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH KARI CRESCENT. ELEV. 180.72

TBM#2
 7/4"UT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH DAWSON DRIVE. ELEV. 180.52

TBM#3
 7/4"UT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET, 145m EAST OF DAWSON DRIVE INTERSECTION. ELEV. 180.28

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DRAFT
 FOR DISCUSSION PURPOSES ONLY

ROYAL WINDSOR AT BALMORAL VILLAGE
 TOWN OF COLLINGWOOD

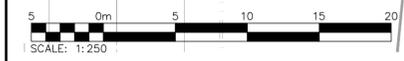
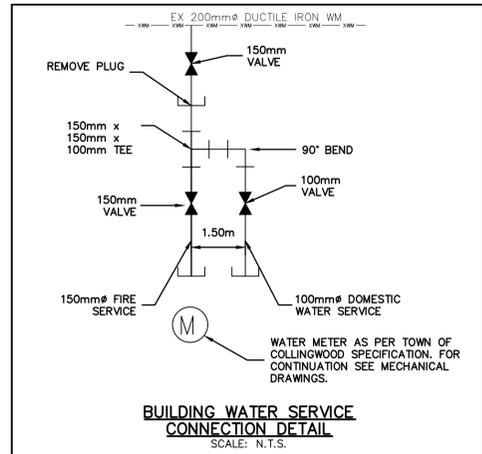
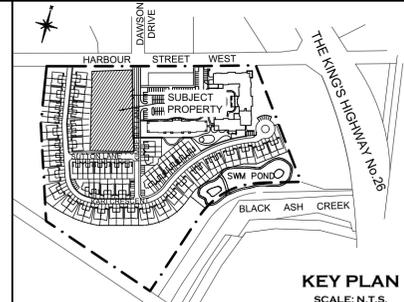
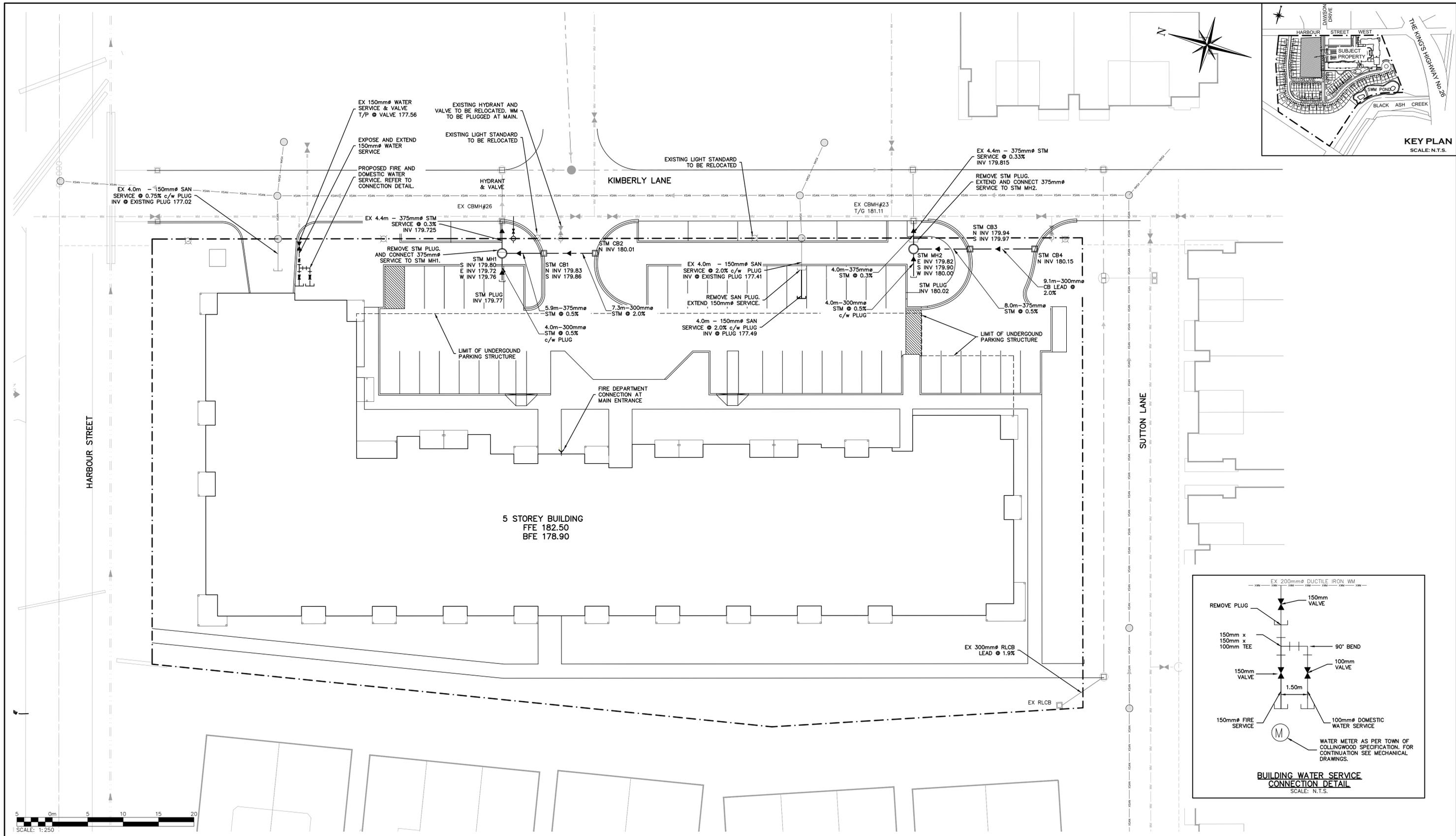
SITE GRADING PLAN

CROZIER
CONSULTING ENGINEERS

The HarbourEdge Building,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
705 446-3510 T
705 446-3520 F
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Drawn By: J.P. Design By: J.O. Project: **183-4877**

Check By: G.C. Check By: K.M. Scale: Drawing: **C101**



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GEODEIC BENCHMARK	
GEODEIC BENCHMARK 72U313 HAVING AN ELEVATION OF 179.633, TABLET IN WEST FOUNDATION OF FORMER KAUFMAN FURNITURE BUILDING.	
TEMPORARY BENCHMARKS	
TBM#1	ELEV. 180.72
T/NUT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH KARI CRESCENT.	
TBM#2	ELEV. 180.52
T/NUT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH DAWSON DRIVE.	
TBM#3	ELEV. 180.28
T/NUT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET, 145m EAST OF DAWSON DRIVE INTERSECTION.	

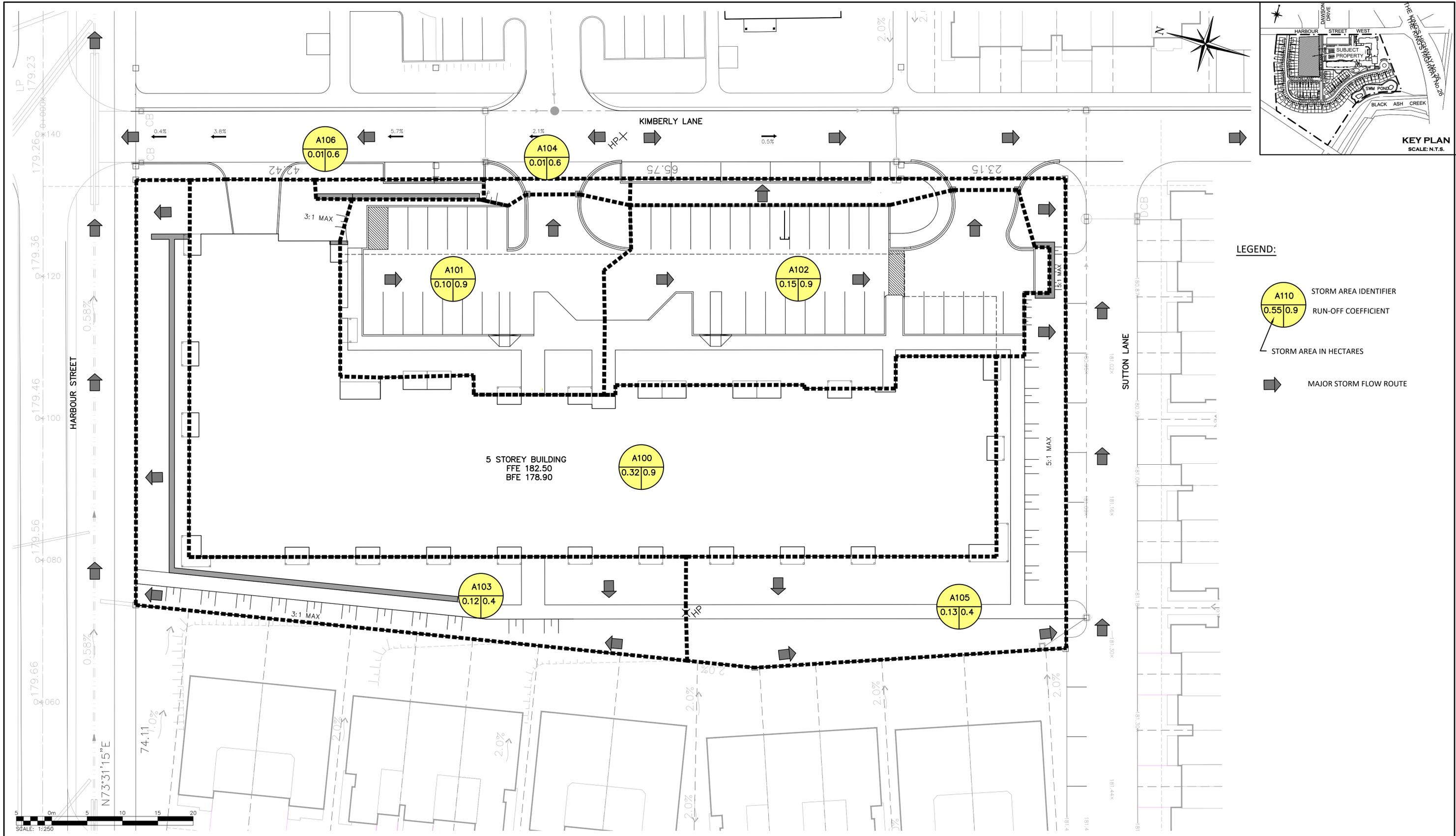
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Engineer	Engineer	Project
		ROYAL WINDSOR AT BALMORAL VILLAGE TOWN OF COLLINGWOOD
Drawing	Drawing	Drawing
		GENERAL SITE SERVICING PLAN

DRAFT
 FOR DISCUSSION PURPOSES ONLY

PROFESSIONAL ENGINEER
 PROVINCE OF ONTARIO
 J.P. Design By J.O. Project
 G.C. Check By K.M. Scale 1:250 Drawing
183-4877
C102

CROZIER
 CONSULTING ENGINEERS
 THE HARBOUREDGE BUILDING,
 40 HURON STREET, SUITE 301,
 COLLINGWOOD, ON L9Y 4R3
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GEODETIC BENCHMARK
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TEMPORARY BENCHMARKS

TM#1
 1/4\"/>

No.	ISSUE	DATE: MM/DD/YYYY
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Engineer: [Signature]

Professional Engineer
 PROVINCE OF ONTARIO

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Project: **ROYAL WINDSOR AT BALMORAL VILLAGE**
 TOWN OF COLLINGWOOD

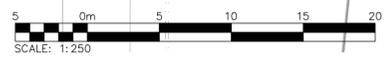
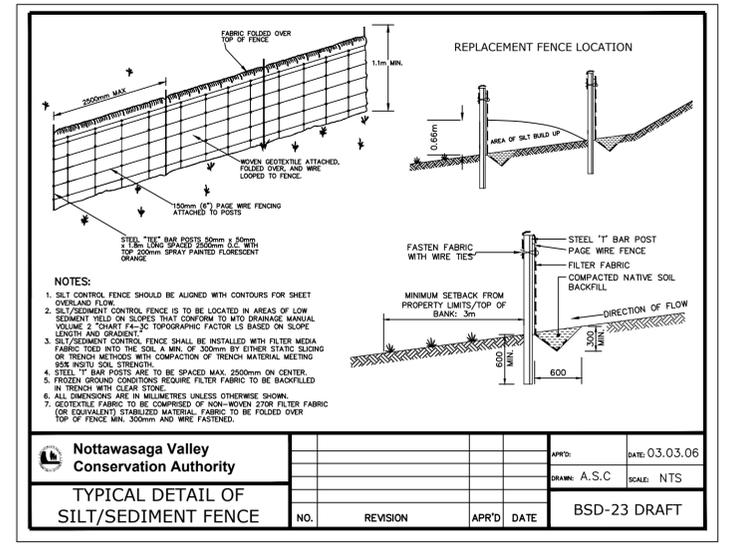
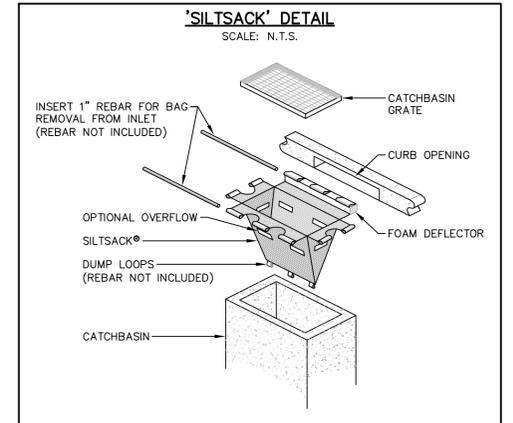
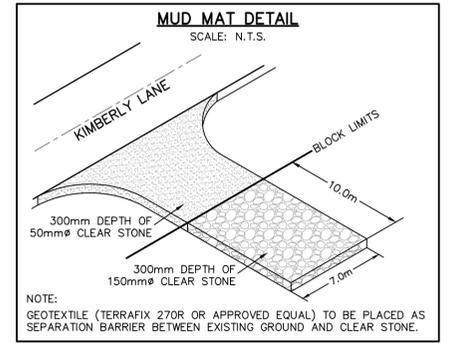
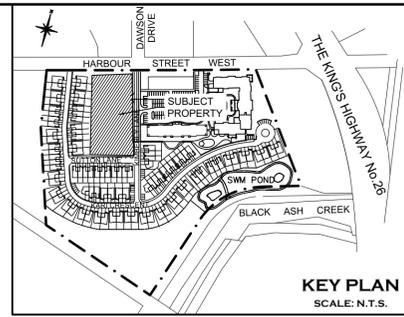
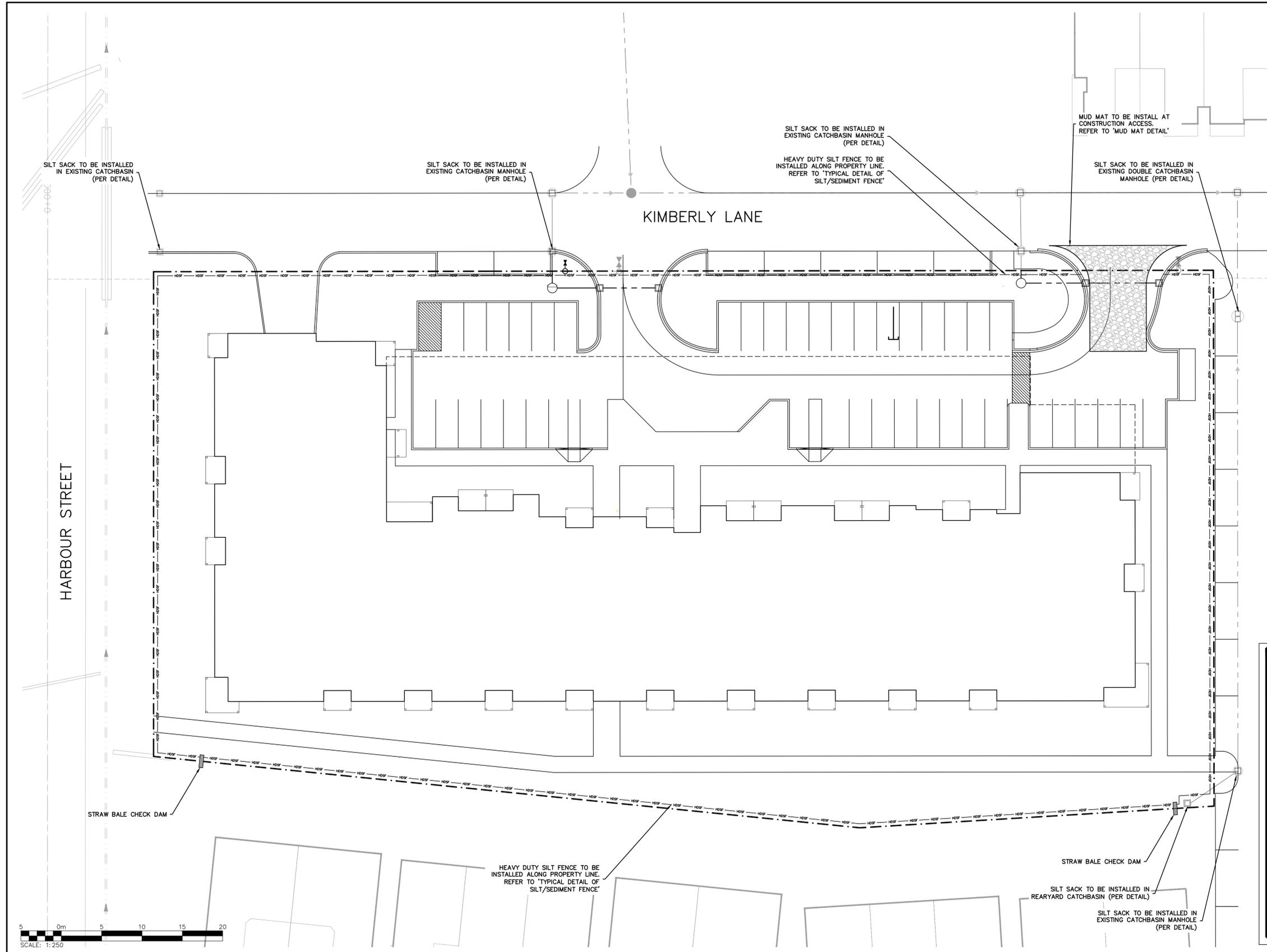
Drawing: **STORM AREA DRAINAGE PLAN**

CROZIER CONSULTING ENGINEERS

THE HARBOUREDGE BUILDING,
 40 HURON STREET, SUITE 301,
 COLLINGWOOD, ON L9Y 4R3
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Drawn By: J.P. Design By: J.O. Project: **183-4877**

Check By: G.C. Check By: K.M. Scale: Drawing: **C103**



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GEODETIC BENCHMARK
GEODETIC BENCHMARK 72U313 HAVING AN ELEVATION OF 179.633, TABLET IN WEST FOUNDATION OF FORMER KAUFMAN FURNITURE BUILDING.

TEMPORARY BENCHMARKS

TBM#1 T/NUIT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH KARI CRESCENT. ELEV. 180.72

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Project: **ROYAL WINDSOR AT BALMORAL VILLAGE TOWN OF COLLINGWOOD**

Drawing: **SEDIMENT CONTROL PLAN**

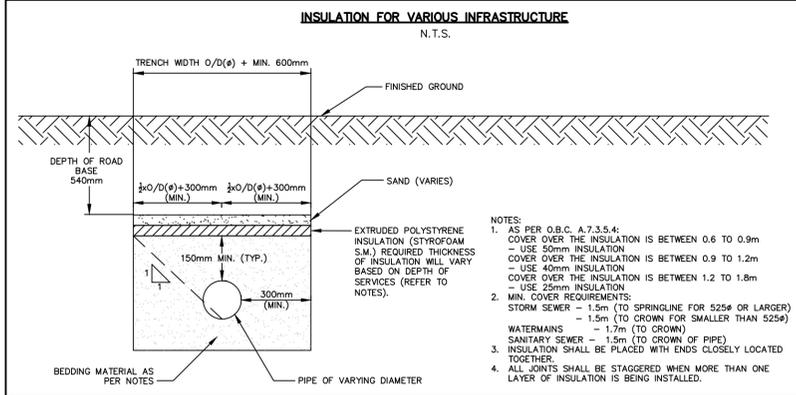
Nottawasaga Valley Conservation Authority

CROZIER CONSULTING ENGINEERS

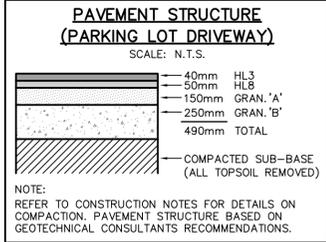
Drawn By: J.P. Design By: J.O. Project: **183-4877**

Check By: G.C. Check By: K.M. Scale: 1:250 Drawing: **C104**

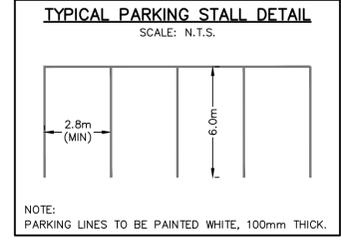
DATE: 03.03.06
DRAWN: A.S.C. SCALE: NTS
NO. REVISION APR'D DATE BSD-23 DRAFT



- NOTES:
- AS PER O.B.C. 7.3.5.4: COVER OVER THE INSULATION IS BETWEEN 0.6 TO 0.9m - USE 50mm INSULATION COVER OVER THE INSULATION IS BETWEEN 0.9 TO 1.2m - USE 40mm INSULATION COVER OVER THE INSULATION IS BETWEEN 1.2 TO 1.8m - USE 25mm INSULATION
 - MIN. COVER REQUIREMENTS: STORM SEWER - 1.5m (TO SPRINGLINE FOR 525# OR LARGER) - 1.5m (TO CROWN FOR SMALLER THAN 525#) WATERMANS - 1.7m (TO CROWN) SANITARY SEWER - 1.5m (TO CROWN OF PIPE)
 - INSULATION SHALL BE PLACED WITH ENDS CLOSELY LOCATED TOGETHER
 - ALL JOINTS SHALL BE STAGGERED WHEN MORE THAN ONE LAYER OF INSULATION IS BEING INSTALLED.



NOTE: REFER TO CONSTRUCTION NOTES FOR DETAILS ON COMPACTION. PAVEMENT STRUCTURE BASED ON GEOTECHNICAL CONSULTANTS RECOMMENDATIONS.



NOTE: PARKING LINES TO BE PAINTED WHITE, 100mm THICK.

CONSTRUCTION NOTES

- A) GENERAL - CONSTRUCTION**
- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH TOWN OF COLLINGWOOD STANDARDS (2007), OPSD AND OPSS. WHERE CONFLICT OCCURS, TOWN OF COLLINGWOOD STANDARDS (2007) TO GOVERN.
 - TRENCH BACKFILL (OPSD 802.010 & 802.013) TO BE SELECT NATIVE MATERIAL OR IMPORTED SELECT SUBGRADE TO OPSS 1010. BACKFILL TO BE PLACED IN MAXIMUM 200mm THICK LIFTS AND COMPACTED TO 95% OF THE MATERIAL'S STANDARD PROCTOR MAXIMUM DRY DENSITY (SPMDD).
 - PIPE COVER AND BEDDING TO BE GRANULAR 'A', MINIMUM 150mm DEPTH COMPACTED TO A MINIMUM 95% SPMDD.
 - ALL TOPSOIL AND EARTH EXCAVATION TO BE STOCK PILED OR REMOVED TO AN APPROVED SITE AS DIRECTED BY ENGINEER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DETAILED LAYOUT OF THE WORK. THE OWNER'S ENGINEER WILL CONFIRM ALL BENCH MARK ELEVATIONS AND HORIZONTAL ALIGNMENT FOR THE CONTRACTOR.
 - ALL PROPERTY BARS TO BE PRESERVED AND REPLACED BY O.L.S. AT CONTRACTOR'S EXPENSE IF REMOVED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL MAKE HIS OWN ARRANGEMENTS FOR THE SUPPLY OF TEMPORARY WATER AND POWER.
 - DEWATERING TO BE CARRIED OUT IN ACCORDANCE WITH OPSS-517 AND 518 TO MAINTAIN ALL TRENCHES IN A DRY CONDITION.
 - ALL ENGINE DRIVEN PUMPS TO BE ADEQUATELY SILENCED, SUITABLE FOR OPERATION IN A RESIDENTIAL DISTRICT.
 - DISTURBED AREAS OUTSIDE THE PROJECT LIMITS TO BE REINSTATED TO PREVIOUS CONDITION OR BETTER.
 - THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ALL UTILITY COMPANIES PRIOR TO COMMENCING WORK AND CO-ORDINATE CONSTRUCTION ACCORDINGLY.
 - ALL ROCK EXCAVATION PER OPSS-206.
 - ALL EXCAVATION MUST BE CARRIED OUT IN FULL COMPLIANCE WITH MOST RECENT GUIDELINES OF OHSA.
- B) PARKING LOT AND ENTRANCES**
- SUBGRADE TO BE COMPACTED TO A MINIMUM DRY DENSITY OF AT LEAST 95% SPMDD.
 - SUBGRADE TO BE PROOF ROLLED AND CERTIFIED PRIOR TO PLACING GRANULAR 'B'.
 - GRANULAR 'A' AND 'B' BASE MATERIALS TO BE COMPACTED TO 100% OF THE MATERIAL'S RESPECTIVE SPMDD AND PLACED IN MAX. 150mm LIFTS.
 - REFER TO PAVEMENT STRUCTURE DETAILS FOR INTERNAL ROADWAY, DRIVEWAYS AND PARKING AREAS.
 - SELECT SUBGRADE MATERIAL OR IMPORTED GRANULAR MATERIAL APPROVED BY THE ENGINEER, COMPACTED TO 98% SPMDD TO BE USED AS FILL IN ALL AREAS WHERE PROPOSED PIPE INVERTS ARE HIGHER THAN EXISTING GRADE OR AS INSTRUCTED BY THE ENGINEER.
 - ALL GRANULARS AND ASPHALT MATERIALS PLACEMENT TO BE IN ACCORDANCE WITH OPSS 314 AND OPSS 310.
 - JOINTS WITH ASPHALT TO BE SAW CUT STRAIGHT PRIOR TO PLACING NEW ASPHALT AND JACK COAT APPLIED TO EXISTING ASPHALT.
 - CONCRETE CURB TO OPSS 600.110 AND OPSS 353. CONCRETE CURB AND GUTTER TO OPSS 600.040 AND OPSS 353.
 - CONCRETE SIDEWALK TO OPSS 310.010, 310.030, 350.010 AND OPSS 351. SUBBASE TO CONSIST OF MIN. 150mm OF GRANULAR 'A' UNLESS THROUGH DRIVEWAYS.
- C) SANITARY SEWERS**
- M.H.'S TO OPSS - 701.010, 701.030 & 704.010.
 - BENCHING TO OPSS - 701.021.
 - STEPS TO OPSS - 405.010.
 - BACKFILL AND EMBEDMENT TO OPSS - 802.010, GRANULAR 'A' BEDDING.
 - TRENCH BACKFILL TO BE SELECT NATIVE MATERIAL AS APPROVED BY ENGINEER OR IMPORTED GRANULAR MATERIAL.
 - FRAMES AND COVERS TO OPSS - 401.01 TYPE 'A' (CLOSED COVER).
 - MANHOLES FRAMES TO BE SET TO BASE COURSE ASPHALT AND RAISED BY ADDING RISER RINGS AS REQUIRED.
 - PIPE SUPPORT AT MAINTENANCE HOLES AS PER OPSS 708.020.
 - GENERAL INSTALLATION AND TESTING OF SEWERS AND APPURTENANCES TO BE IN ACCORDANCE WITH OPSS 407, 408, 409 (CCTV), 410, 421 AND ALL SPECIFICATIONS REFERENCED WITHIN THESE SECTIONS. CONTRACTOR SHALL BE REQUIRED TO PERFORM LEAKAGE & DEFLECTION TESTING ACCORDING TO THE APPROPRIATE OPSS.
 - SANITARY SEWER - SDR 28 PVC GREEN COLOUR.
 - FROST STRAPS PER OPSS 701.100.
- D) WATERMANS**
- BACKFILL AND EMBEDMENT TO OPSS - 802.010, GRANULAR 'A' EMBEDMENT.
 - TRENCH BACKFILL TO BE SELECT NATIVE MATERIAL AS APPROVED BY ENGINEER OR IMPORTED GRANULAR MATERIAL.
 - THRUST BLOCKS TO OPSS - 1103.010 AND 1103.020 WHERE SUITABLE SOILS ARE ENCOUNTERED.
 - SERVICE CONNECTIONS TO OPSS - 1104.010, 100mm GRANULAR 'A' EMBEDMENT AND COVER OVER PIPE.
 - MINIMUM COVER ON WATERMAIN AND SERVICES TO BE 1.7m.
 - GATE VALVES, BENDS AND FITTINGS TO BE CONNECTED WITH ROMAC GRIPPER RING RESTRAINING CLAMP.
 - CLEARANCE BETWEEN WATERMANS AND SEWERS TO BE A MINIMUM OF 0.5m VERTICAL (CLEAR) C/W RIGID INSULATION AND 2.5m MINIMUM (CLEAR) HORIZONTAL SEPARATION.
 - FOLLOWING TESTING, CONTRACTOR SHALL OPERATE EACH WATER SERVICE TO VERIFY FULL FLOW AND PRESSURE AT THE GATE VALVE AND/OR CURB STOP TO THE SATISFACTION OF THE ENGINEER.
 - GENERAL INSTALLATION AND TESTING OF WATERMAIN AND APPURTENANCES TO BE IN ACCORDANCE WITH OPSS 701 AND ALL SPECIFICATIONS REFERENCED WITHIN THESE SECTIONS. WORK MUST BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE ONTARIO BUILDING CODE, ONTARIO FIRE CODE AND LOCAL CODES. WATER LINES ARE TO BE TESTED TO THE SATISFACTION OF THE LOCAL PLUMBING INSPECTOR. COMPLETE WATER SYSTEM SHALL BE DISINFECTED IN ACCORDANCE WITH REQUIREMENTS OF AWWA STANDARD C651-99. ALL WATERMAIN TESTING & CHLORINATION WILL BE CONDUCTED BY TOWN OF COLLINGWOOD WATER DEPARTMENT AT CONTRACTORS COST. WATERMANS ARE NOT TO BE CONNECTED TO EXISTING WATERMANS UNTIL BACTERIOLOGICAL TESTING HAS BEEN SUCCESSFULLY COMPLETED & CERTIFIED BY TOWN OF COLLINGWOOD WATER DEPARTMENT.
 - COMPLETE WATER SERVICE SHALL BE DISINFECTED IN ACCORDANCE WITH REQUIREMENTS OF O. REG. 459/00 & SATISFACTION OF TOWN OF COLLINGWOOD WATER DEPARTMENT.
 - WATERMAIN - CLASS 52 OR PRESSURE CLASS 350 CEMENT LINED DUCTILE IRON. CONDUCTIVITY CONNECTORS TO BE USED ON ALL JOINTS.
 - WATERMAIN SERVICES - 25mm#/50mm#/64mm# TYPE 'K' SOFT COPPER PIPE AS NOTED.
 - SERVICE BOXES TO NUMBER 7, D-I CLOW OR MUELLER, 24" STAINLESS STEEL RODS STRAIGHT C/W CAP PAINTED BLUE.
 - ALL SERVICES SHALL BE METERED. METERS TO BE COMPLETE WITH REMOTE READOUT OR RADIO READ AS DETERMINED BY THE TOWN OF COLLINGWOOD WATER DEPARTMENT.
 - VALVES - RESILIENT SEAT, RSGV MECHANICAL JOINT, OPEN LEFT CLOW OR MUELLER WITH 5-SL-48 SLIDING VALVE BOX C/W CAP PAINTED BLUE.
 - MECHANICAL JOINT DUCTILE FITTINGS - AWWA/ANSI C153/A21.53.
 - ALL WATERMAIN FITTINGS TO BE LEAD FREE.
 - MECHANICAL JOINT RESTRAINTS TO BE USED DURING TRANSITION OF WATERMAIN INSTALLATION IN NATIVE SOILS TO ENGINEERED FILL. MECHANICAL JOINT RESTRAINTS TO BE MEGA-LUG OR APPROVED EQUAL.
 - ALL VALVES TO BE OPERATED BY THE TOWN OF COLLINGWOOD WATER DEPARTMENT. CONTRACTOR TO PROVIDE MIN. 48hr NOTIFICATION FOR REQUEST.
 - ALL CONNECTIONS TO EXISTING MUNICIPAL WATERMANS MUST BE INSPECTED BY TOWN OF COLLINGWOOD WATER DEPARTMENT OR REPRESENTATIVE AND GIVING 48 HOURS NOTICE PRIOR TO BACKFILLING OPERATIONS.
 - EACH BUILDING TO INSTALL MEASURES FOR BACKFLOW PROTECTION SUITABLE TO TOWN OF COLLINGWOOD WATER DEPARTMENT IN ACCORDANCE WITH ONTARIO BUILDING CODE & C.S.A. B64 AND THE TOWN WATER BY-LAW.
 - BACKFLOW PREVENTORS AT EACH BUILDING TO BE TESTABLE & CERTIFIED ANNUALLY, WITH ALL ASSOCIATED COSTS THE RESPONSIBILITY OF THE OWNER.
- E) STORM SEWERS**
- MH AND CBMH TO OPSS - 701.012, 701.030, 701.100, 704.010, C/W SUMP UNLESS NOTED OTHERWISE.
 - STEPS TO OPSS 405.010.
 - M.H. FRAMES AND GRATES TO OPSS - 401.01 OPEN COVER.
 - CB'S TO OPSS - 705.010.
 - CB AND CBMH FRAMES AND GRATES TO OPSS - 400.020
 - PIPE SUPPORT AT MH'S, CB'S, CBMH'S AND DCBMH'S TO OPSS - 708.020.
 - PROTECTION DURING CONSTRUCTION TO OPSS - 808.010.
 - BACKFILL AND EMBEDMENT TO OPSS - 802.010 (FLEXIBLE PIPE) GRANULAR 'A' EMBEDMENT OR OPSS - 802.030, 802.031 AND 802.032 (RIGID PIPE) GRANULAR 'A' EMBEDMENT.
 - BACKFILL AND EMBEDMENT MATERIAL TO BE COMPACTED TO A DRY DENSITY OF AT LEAST 95% OF THE MATERIAL'S SPMDD.
 - STORM SEWERS SHALL BE PVC SMOOTH WALL RIBBED PIPE MINIMUM STIFFNESS (320kPa). ALL PIPE TO BE JOINED WITH A GASKETTED BELL AND SPIGOT SYSTEM. CATCHBASIN LEADS TO BE 300mm# CONCRETE PIPE (CLASS IV).

SEDIMENT AND EROSION CONTROL

- A) GENERAL - CONSTRUCTION**
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED. SEDIMENT AND EROSION CONTROL MEASURES THAT ARE DESIGNED TO CONTROL RUNOFF FROM SPECIFIC AREAS MUST BE INSTALLED PRIOR TO ANY DISTURBANCE TO SITE.
 - THE CONTRACTOR MAY CONSIDER ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES. SUCH MEASURES MUST BE PRESENTED IN WRITING FOR APPROVAL OF THE CONTRACT ADMINISTRATOR AND THE TOWN.
 - THE CONTRACTOR SHALL HAVE MATERIALS AVAILABLE ON-SITE TO REPAIR SEDIMENT AND EROSION CONTROL MEASURES IN THE EVENT OF UNFORESEEN CONDITIONS: HIGH WATER, EXTREME RAINFALL EVENTS, ETC.
 - MUD MAT TO BE CONSTRUCTED AT ACCESS POINT.
 - NO MAINTENANCE OR REPAIR WORK ON CONSTRUCTION EQUIPMENT IS ALLOWED WITHIN 20m OF AN EXISTING WATERCOURSE OR DITCH EXCEPT AS NOTED.
 - ALL TEMPORARY SOIL OR DIRT STOCKPILES ARE TO BE PROVIDED WITH THE NECESSARY SEDIMENT AND EROSION CONTROL FEATURES. IF STOCKPILES ARE TO REMAIN FOR A PERIOD LONGER THAN 30 DAYS, STOCKPILES SHALL BE HYDROSEEDED AND SURROUNDED WITH SILT FENCE.
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE THROUGH SITE SUCH THAT NO UPSTREAM OR DOWNSTREAM IMPACT OCCURS DURING CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR WILL BE RESPONSIBLE TO CLEAN ALL ADJACENT ROADWAYS AS REQUIRED OR AS DIRECTED BY THE SITE ENGINEER OR TOWN.

MAINTENANCE AND OPERATION OF SEDIMENT CONTROLS

- A) SILT FENCE**
- SILT FENCE MUST BE INSPECTED WEEKLY FOR RIPS OR TEARS, BROKEN STAKES, BLOW-OUTS AND ACCUMULATION OF SEDIMENT.
 - SILT FENCE MUST BE INSPECTED IMMEDIATELY AFTER EVERY RAIN STORM EVENT OR AS DIRECTED BY SITE ENGINEER.
 - SEDIMENT DEPOSITS MUST BE REMOVED FROM SILT FENCE WHEN ACCUMULATION REACHES 50% OF THE HEIGHT OF THE FENCE.
 - ALL SILT FENCES MUST BE REMOVED ONLY WHEN THE ENTIRE SITE IS STABILIZED AND AS DIRECTED BY THE SITE ENGINEER.
 - ALL SILT FENCES INSTALLED AT THE LIMIT OF THE DEVELOPMENT ARE TO BE PLACED ON THE PROPERTY LINE.
- B) MUD MAT**
- GEOTEXTILE (TERRAFIX 270R OR APPROVED EQUAL) TO BE PLACED AS SEPARATION BARRIER BETWEEN EXISTING GROUND AND CLEAR STONE.
 - INSPECT MUD MAT WEEKLY TO ASSESS CONDITION AND TO ENSURE OPERATION EFFICIENCY.
 - SUPPLY AND PLACE ADDITIONAL STONE TO PREVENT MUD TRACKING AS DIRECTED BY SITE ENGINEER.
 - MUD MAT TO REMAIN IN PLACE UNTIL SITE IS STABILIZED OR AS DIRECTED BY SITE ENGINEER.

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2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.

3. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT.

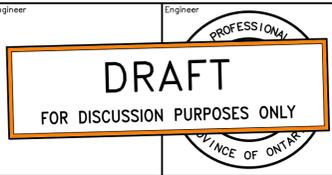
4. DO NOT SCALE THE DRAWINGS.

5. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

GEODETIC BENCHMARK	
GEODETIC BENCHMARK 72U313 HAVING AN ELEVATION OF 179.633, TABLET IN WEST FOUNDATION OF FORMER KAUFMAN FURNITURE BUILDING.	
TEMPORARY BENCHMARKS	
TBM#1	ELEV. 180.72
T/NUT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH KARI CRESCENT.	
TBM#2	ELEV. 180.52
T/NUT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET AT THE INTERSECTION WITH DAWSON DRIVE.	
TBM#3	ELEV. 180.28
T/NUT OF HYDRANT LOCATED ON NORTH SIDE OF HARBOUR STREET, 145m EAST OF DAWSON DRIVE INTERSECTION.	

No.	ISSUE	DATE: MM/DD/YYYY
1	ISSUED FOR 1st SUBMISSION	01/08/2020

Engineer	Project



ROYAL WINDSOR AT BALMORAL VILLAGE TOWN OF COLLINGWOOD

GENERAL NOTES & STANDARD DETAILS

THE HARBOUREEDGE BUILDING,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

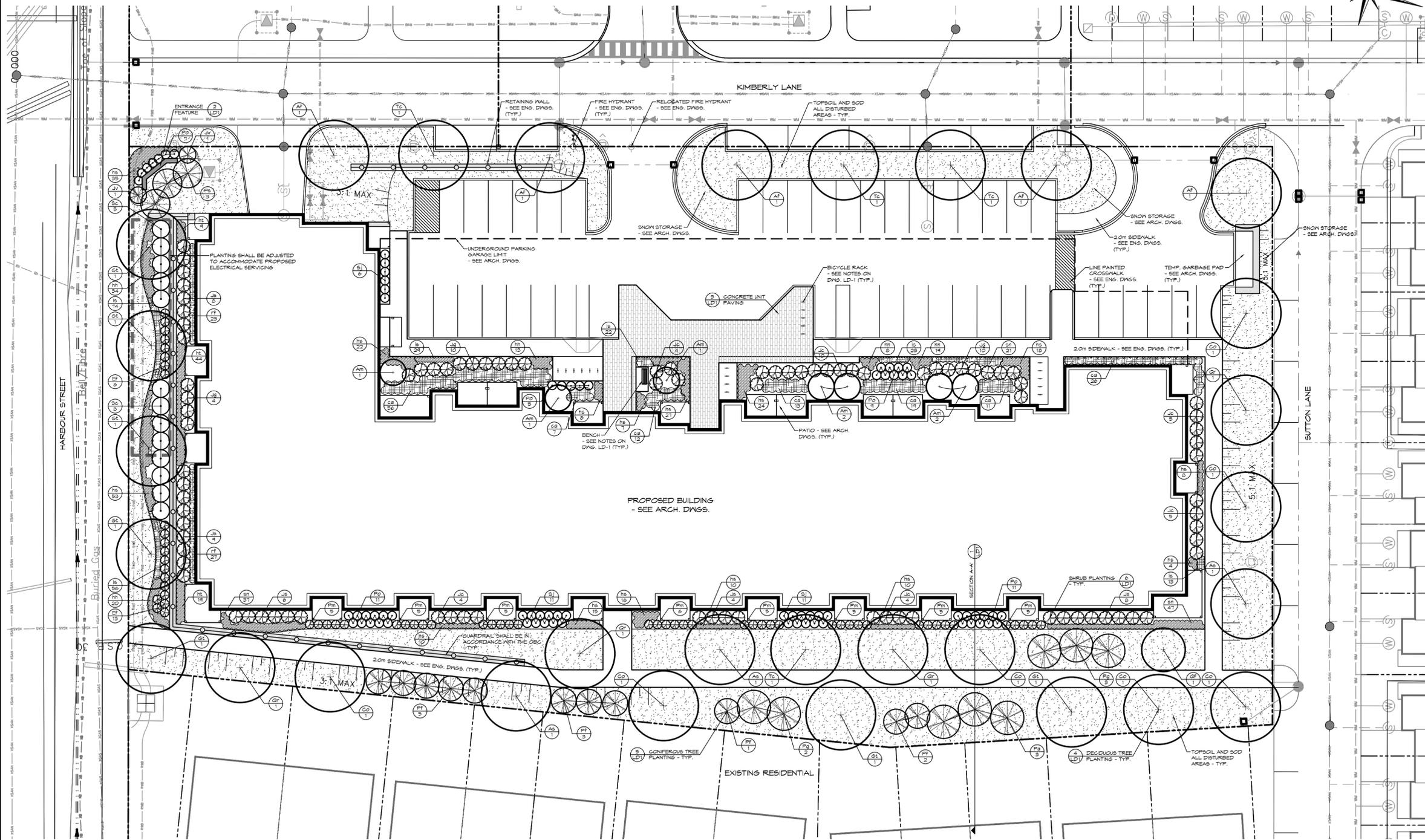
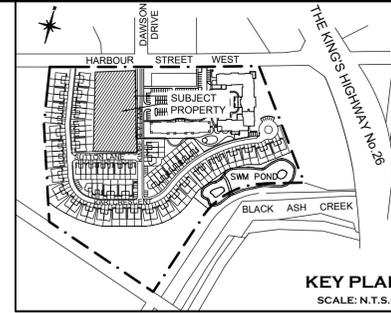
Drawn By: J.P. Design By: J.O. Project: 183-4877
Check By: G.C. Check By: K.M. Scale: NTS Drawing: C105

LEGEND

	PROPERTY BOUNDARY		CONCRETE UNIT PAVING		DECIDUOUS SHRUBS
	UNDERGROUND PARKING GARAGE LIMIT		BICYCLE RACK		CONIFEROUS SHRUBS
	FIRE HYDRANT - SEE ENG. DWGS.		BENCH		PERENNIALS & GROUNDCOVERS
	WATER VALVE - SEE ENG. DWGS.		DECIDUOUS TREE		PLANT REFERENCE
	MANHOLE - SEE ENG. DWGS.		CONIFEROUS TREE		TOPSOIL AND SOD
	UNDERGROUND SERVICES - SEE ENG. DWGS.				
	ENTRANCE FEATURE				
	RETAINING WALL - SEE ENG. DWGS.				
	2.0m SIDEWALK - SEE ENG. DWGS.				

NOTES

1. FOR PLANTING NOTES SEE DRAWING LD-1.



PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	COND.	SPACING	QTY
DECIDUOUS TREES						
As	<i>Acer saccharum</i> 'Legacy'	Legacy Sugar Maple	50mm cal.	W.B.		3
Af	<i>Acer x freemanii</i> 'Jeffersred'	Autumn Blaze Maple	50mm cal.	W.B.		5
Am	<i>Amelanchier laevis</i> (Multi-stem)	Multi-stem Allegheny Serviceberry	200cm	W.B.		7
Co	<i>Celtis occidentalis</i>	Common Hackberry	50mm cal.	W.B.		7
St	<i>Gleditsia triacanthos</i> var. <i>Inermis</i> 'Shademaster'	Shademaster Honeylocust	50mm cal.	W.B.		7
Qr	<i>Quercus robur</i> 'Fastigiata'	Pyramidal English Oak	50mm cal.	W.B.		1
Qr	<i>Quercus rubra</i>	Red Oak	50mm cal.	W.B.		4
Tc	<i>Tilia cordata</i> 'Greenspire'	Greenspire Linden	50mm cal.	W.B.		4
CONIFEROUS TREES						
Jv	<i>Juniperus virginiana</i>	Eastern Red Cedar	200cm	W.B.		2
Pa	<i>Picea abies</i>	Norway Spruce	200cm	W.B.		3
Pg	<i>Picea glauca</i>	White Spruce	200cm	W.B.		5
Pf	<i>Pinus strobus</i>	Eastern White Pine	200cm	W.B.		3
Pf	<i>Pinus strobus</i> 'Fastigiata'	Columnar Eastern White Pine	200cm	W.B.		11
DECIDUOUS SHRUBS						
Po	<i>Physocarpus opulifolius</i> 'Tiny Wine Gold'	Tiny Wine Gold Ninebark	50cm	3 gal.	1.0m o.c.	43
Sj	<i>Spiraea japonica</i> 'Flaming Mound'	Flaming Mound Spirea	50cm	3 gal.	1.0m o.c.	28
Sc	<i>Shepherdia canadensis</i>	Canada Buffaloberry	50cm	3 gal.	2.0m o.c.	13
CONIFEROUS SHRUBS						
Ef	<i>Euonymus fortunei</i> 'Barcoxie'	Barcoxie Euonymus	50cm	3 gal.	1.0m o.c.	21
Jc	<i>Juniperus chinensis</i> 'sargentii Viridis'	Green Sargent Juniper	50cm	3 gal.	1.5m o.c.	32
Js	<i>Juniperus sabina</i> 'Monna'	Calgary Carpet Juniper	50cm	3 gal.	1.0m o.c.	35
Jg	<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper	50cm	3 gal.	1.5m o.c.	24
Pm	<i>Pinus mugo</i> 'Bloumound'	Bloumound Mugo Pine	50cm	3 gal.	1.0m o.c.	41
PERENNIALS & GROUNDCOVERS						
ca	<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass		1 gal.	0.75m o.c.	144
ht	<i>Heucherella</i> x 'Sweet Tea'	Sweet Tea Foamy Bells		1 gal.	0.5m o.c.	72
hs	<i>Hemerocallis</i> 'Stella D'Oro'	Stella D'Oro Daylily		1 gal.	0.5m o.c.	265
hh	<i>Hosta</i> 'High Society'	High Society Hosta		1 gal.	0.5m o.c.	94
ls	<i>Leucanthemum x superbum</i> 'Snowcap'	Snowcap Shasta Daisy		1 gal.	0.5m o.c.	130
is	<i>Iris pumila</i> 'Banbury Ruffles'	Banbury Ruffles Standard Dwarf Bearded Iris		1 gal.	0.3m o.c.	87
rf	<i>Rudbeckia fulgida</i> 'Goldsturm'	Black-Eyed Susan		1 gal.	0.5m o.c.	50
sn	<i>Salvia nemorosa</i> 'May Night'	May Night Meadow Sage		1 gal.	0.5m o.c.	105

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2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.

3. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT.

4. DO NOT SCALE THE DRAWINGS.

5. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

No.	ISSUE	DATE: MM/DD/YYYY
1	ISSUED FOR 1st SUBMISSION	01/08/2020

Town

Landscape Architect

Landscape Architect

Project

ROYAL WINDSOR AT BALMORAL VILLAGE
TOWN OF COLLINGWOOD

Drawing

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

LANDSCAPE PLAN

THE HARBOUREDGE BUILDING,
40 HURON STREET, SUITE 301,
COLLINGWOOD, ON L9Y 4R3
705 446-3510 T
705 446-3520 F
WWW.CFCROZIER.CA
INFO@CFCROZIER.CA

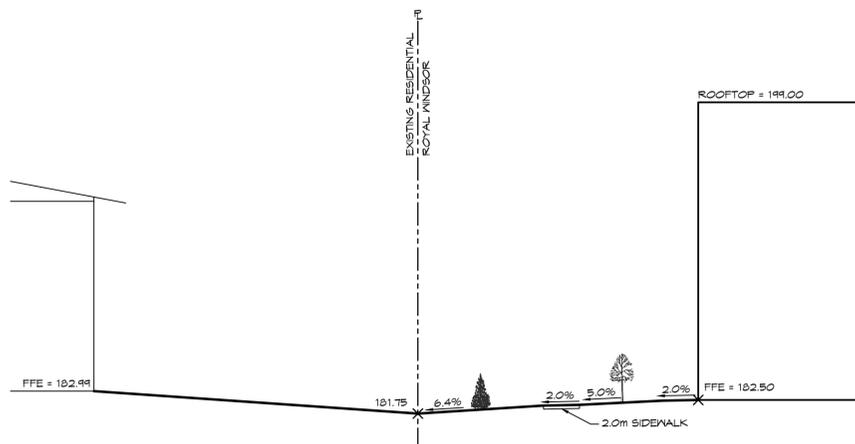
Drawn By: K.J.N. Design By: K.J.N. Project: 183-4877
Check By: K.J.N. Check By: M.H. Scale: 1:200 Drawing: LP-1

GENERAL NOTES:

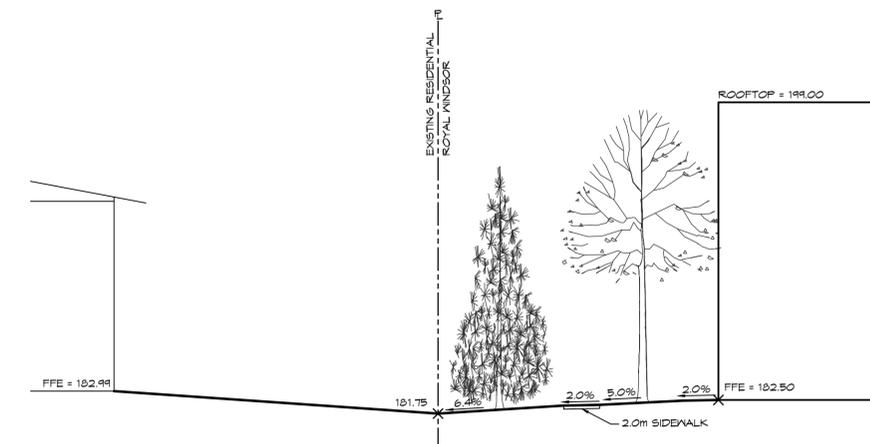
- 1.0 SITE FURNITURE
 1. THE FOLLOWING SITE FURNITURE SHALL BE SUPPLIED AND INSTALLED BY PARIS MANUFACTURING LTD., P.O. BOX 10, 21 SCOTT AVENUE, PARIS, ONTARIO, TEL.: 1.800.397.6319 (MARK HICKS).

BICYCLE RACK
MODEL NO.: FMBR-SF
METAL FINISH: POWDER COATED JET BLACK GLOSS
FOOTING/ ATTACHMENTS: SECURED TO CONCRETE PAVING WITH STAINLESS STEEL FASTENERS

BENCH
MODEL NO.: RSPAS6
METAL FINISH: POWDER COATED JET BLACK GLOSS
FOOTING/ ATTACHMENTS: SECURED TO CONCRETE PAVING WITH STAINLESS STEEL FASTENERS
- 2.0 PLANTING
 1. ALL WORKMANSHIP TO THE STANDARDS OF THE LANDSCAPE ONTARIO HORTICULTURAL TRADES ASSOCIATION AND THE CANADIAN LANDSCAPE STANDARDS.
 2. TREE LOCATIONS SHALL BE STAKED ON SITE BY THE LANDSCAPE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
 3. BACKFILL IS TO CONSIST OF SOIL NATIVE TO THE SITE OR GENERAL SOIL TYPE/CLASS NATIVE TO THE SITE. SOIL AMENDMENT MAY BE REQUIRED BASED ON SOURCE OF IMPORTED OR EXISTING SITE QUALITY OF TOPSOIL. PROVIDE NUTRIENT ANALYSIS OF TOPSOIL TO BE USED FOR LANDSCAPE PURPOSES IN ORDER TO DETERMINE SOIL AMENDMENT REQUIREMENTS.
 4. REPORT ALL DISCREPANCIES IN WRITING TO THE LANDSCAPE ARCHITECT.
 5. CONTRACTOR SHALL MAINTAIN ALL LANDSCAPE AREAS UNTIL OWNER'S ACCEPTANCE OF PROJECT.
 6. UNLESS OTHERWISE STATED, ALL WORK SHALL CONFORM TO THE LANDSCAPE ONTARIO SPECIFICATION STANDARDS.
- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES.
- PLANTING MAY BE ADJUSTED TO SUIT LOCATIONS OF UTILITY STRUCTURES/ SERVICES AND DRIVEWAYS.
- TREE PITS OR PLANTING BEDS LOCATED WITHIN 1 METER OF UNDERGROUND UTILITIES ARE TO BE HAND DUG.
- SUBMIT WRITTEN GUARANTEE TO THE EFFECT THAT ALL PLANTS ACCEPTED DURING THE PERIOD OF JANUARY 1st TO JULY 15th SHALL BE GUARANTEED UNTIL JULY 15th THE SECOND FOLLOWING YEAR. PLANTS ACCEPTED DURING THE PERIOD OF JULY 15th TO DECEMBER 31st SHALL BE GUARANTEED FOR TWO YEARS FROM THE DATE OF ACCEPTANCE. THE GUARANTEE PERIOD LISTED ABOVE SHALL APPLY TO ALL "NURSERY GROWN" PLANTS AS PER TOWN OF COLLINGWOOD'S TWO YEAR MAINTENANCE REQUIREMENTS.
- ALL MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- SOD ANY AREAS MARKED WITH NURSERY SOD ON 150mm CLEAN TOPSOIL. FINE GRADE AND SOD ALL BOULEVARD AREAS TO MUNICIPAL SPECIFICATIONS AND REPAIR DAMAGE TO ADJACENT PROPERTIES AS REQUIRED.
- FINAL INSPECTION AND ACCEPTANCE OF PLANTING WORK SHALL COINCIDE WITH THE FINAL INSPECTION AND ACCEPTANCE OF ALL WORK INCLUDED IN THE CONTRACT.
- AT THE TIME OF FINAL INSPECTION, ALL PLANTS SHALL BE IN A HEALTHY, VIGOROUS GROWING CONDITION AND PLANTED IN FULL ACCORDANCE WITH DRAWINGS AND CONDITIONS.



LANDSCAPE AT PLANTING



LANDSCAPE AT MATURITY

1 SECTION A-A' LD1

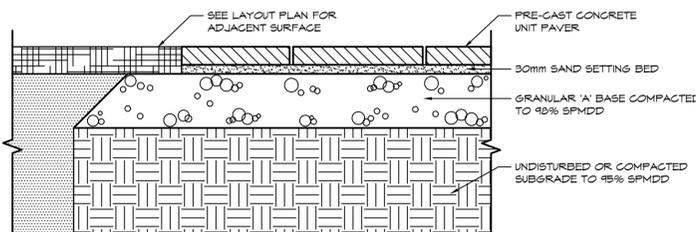
1:200



2 ENTRANCE FEATURE - DESIGN INTENT LD1

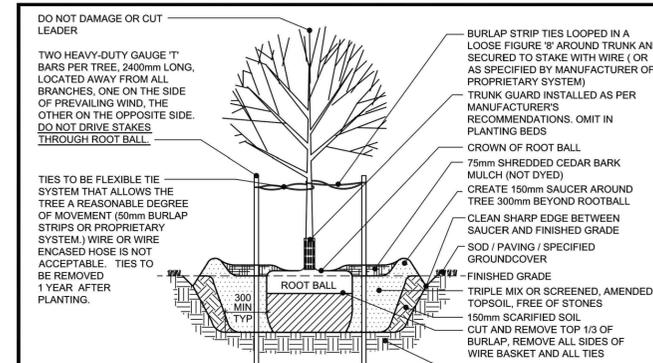
NTS

- NOTES:**
1. CONCRETE UNIT PAVING SHALL BE SPECIFIED BY OWNER.

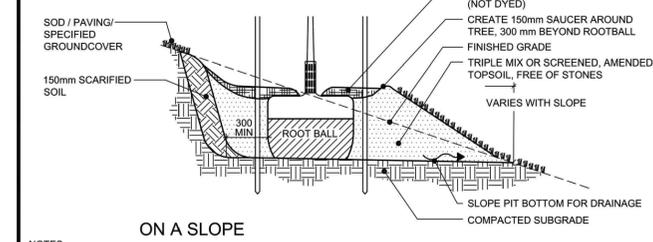


3 CONCRETE UNIT PAVING LD1

1:10



AT GRADE



ON A SLOPE

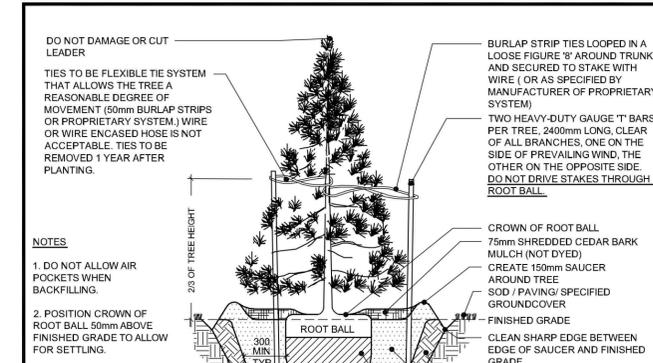
- NOTES:**
1. DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 2. POSITION CROWN OF ROOT BALL 50mm ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 3. DO CORRECTIVE PRUNING TO RETAIN NATURAL FORM OF TREE.
 4. FOR TREES PLANTED WITHIN PLANTING OR SHRUB BEDS, DELETE SAUCER AROUND BASE OF TREE.
 5. NO TREE PITS SHALL BE LEFT OPEN OVERNIGHT.
 6. ALL DIMENSIONS ARE IN MILLIMETRES.

NO.	REVISION	APRD	DATE
1	PLANTING METHODOLOGY	EN	JUL/04
2	PLANTING METHODOLOGY	DW	JUN/07

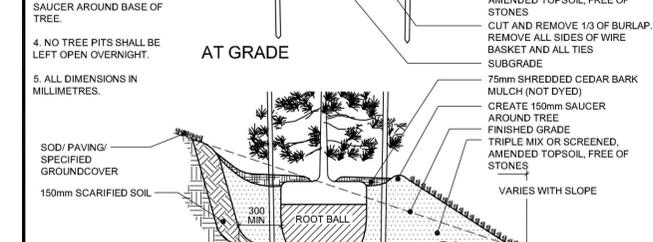
TOWN OF COLLINGWOOD		APRD: DW	DATE: JAN/03
DECIDUOUS TREE PLANTING		DRAWN: AB	SCALE: NTS
		STD. No.	1101

4 DECIDUOUS TREE PLANTING LD1

NTS



AT GRADE



ON A SLOPE

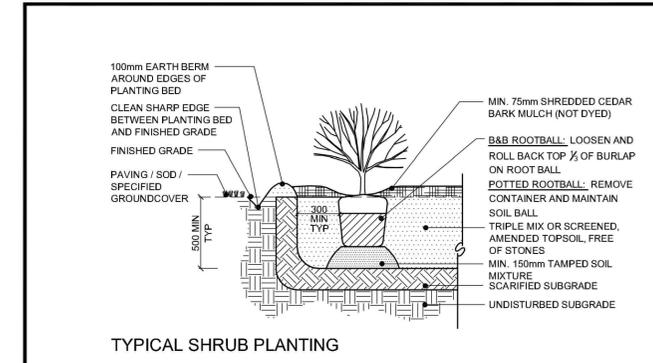
- NOTES:**
1. DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 2. POSITION CROWN OF ROOT BALL 50mm ABOVE FINISHED GRADE TO ALLOW FOR SETTLING.
 3. FOR TREES PLANTED WITHIN PLANTING OR SHRUB BEDS, DELETE SAUCER AROUND BASE OF TREE.
 4. NO TREE PITS SHALL BE LEFT OPEN OVERNIGHT.
 5. ALL DIMENSIONS IN MILLIMETRES.

NO.	REVISION	APRD	DATE
1	PLANTING METHODOLOGY	EN	JUL/04
2	PLANTING METHODOLOGY	DW	JUN/07

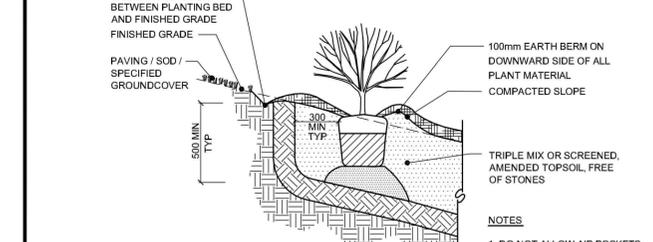
TOWN OF COLLINGWOOD		APRD: DW	DATE: JAN/03
CONIFEROUS TREE PLANTING		DRAWN: AB	SCALE: NTS
		STD. No.	1102

5 CONIFEROUS TREE PLANTING LD1

NTS



TYPICAL SHRUB PLANTING



PLANTING ON 3:1 SLOPE DETAIL

- NOTES:**
1. DO NOT ALLOW AIR POCKETS WHEN BACKFILLING.
 2. POSITION CROWN OF ROOT BALL 25mm ABOVE FINISH GRADE TO ALLOW FOR SETTLING.
 3. ALL DIMENSIONS IN MILLIMETRES.

NO.	REVISION	APRD	DATE
1	PLANTING METHODOLOGY	EN	JUL/04
2	PLANTING METHODOLOGY	DW	JUN/07

TOWN OF COLLINGWOOD		APRD: DW	DATE: JAN/03
SHRUB PLANTING		DRAWN: AB	SCALE: NTS
		STD. No.	1103

6 SHRUB PLANTING LD1

NTS

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2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.
3. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT.
4. DO NOT SCALE THE DRAWINGS.
5. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

Town	No.	ISSUE	DATE: MM/DD/YYYY
	1	ISSUED FOR 1st SUBMISSION	01/05/2020

Landscape Architect	Landscape Architect	Project
		ROYAL WINDSOR AT BALMORAL VILLAGE
		TOWN OF COLLINGWOOD
		Drawing

TOWN OF COLLINGWOOD		APRD: DW	DATE: JAN/03
DECIDUOUS TREE PLANTING		DRAWN: AB	SCALE: NTS
		STD. No.	1101

PRELIMINARY
NOT TO BE USED FOR CONSTRUCTION

TOWN OF COLLINGWOOD		APRD: DW	DATE: JAN/03
CONIFEROUS TREE PLANTING		DRAWN: AB	SCALE: NTS
		STD. No.	1102

CROZIER CONSULTING ENGINEERS

THE HARBOUREDGE BUILDING, 40 HURON STREET, SUITE 301, COLLINGWOOD, ON L9Y 4R3
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Drawn By: K.J.L. Design By: K.J.L. Project: 183-4877
Check By: K.J.L. Check By: M.H. Scale: AS SHOWN Drawing: LD-1