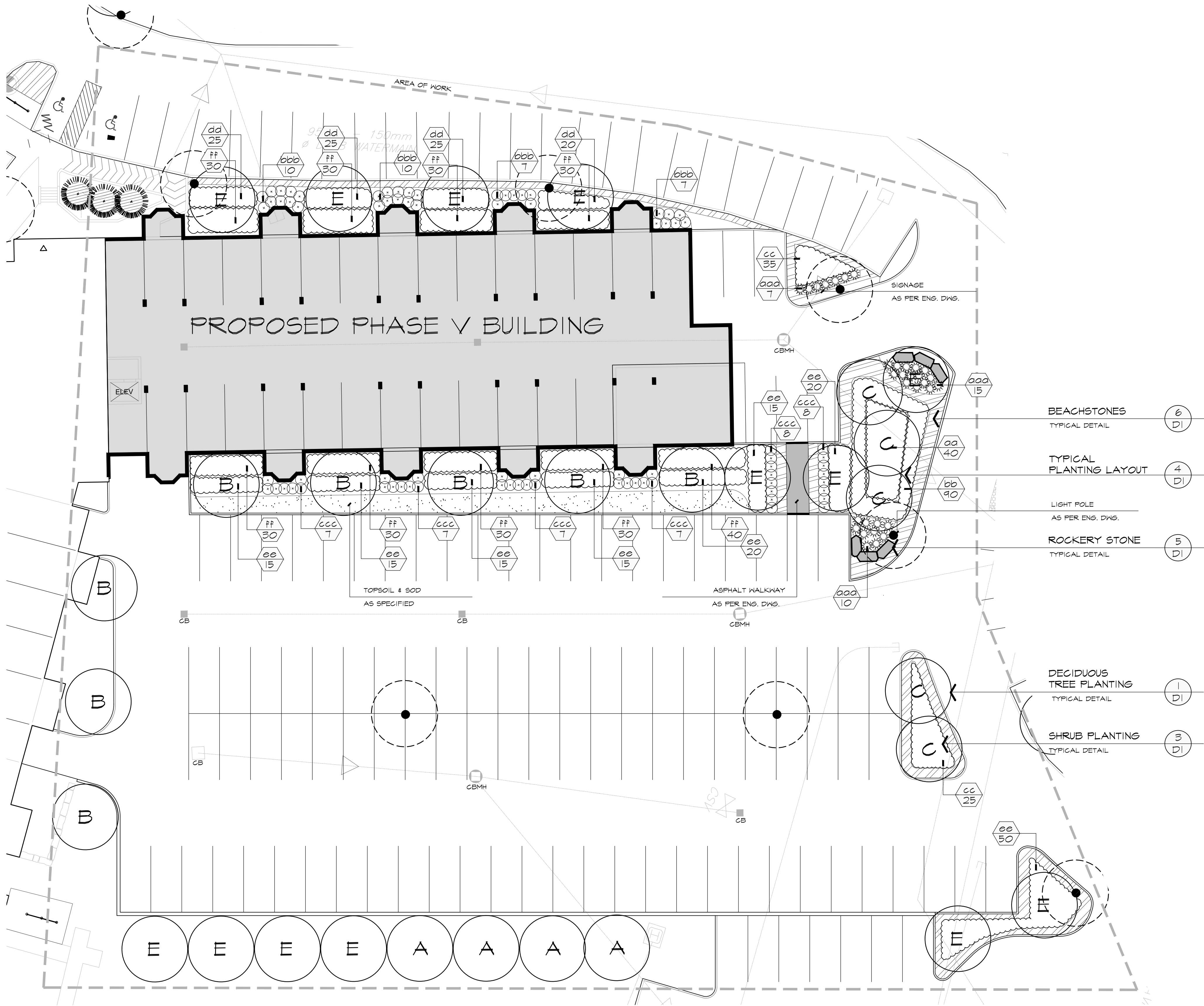




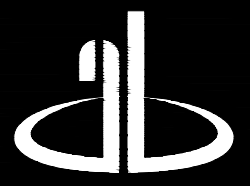
LEGEND

- EXISTING DECIDUOUS TREE TO REMAIN
- EXISTING CONIFEROUS TREE TO REMAIN
- DECIDUOUS TREE
- CONIFEROUS TREES
- SHRUB PLANTING
- ROCKERY STONE
- BEACH STONE
- AREA OF WORK

BASE INFORMATION OBTAINED ELECTRONICALLY FROM
TATHAM ENGINEERING (TEL: 705.716.5294)

1.	JUL 6 2026	ISSUED FOR SPA	AL/ RF/IR
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ALEXANDER BUDREVICS
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LANDSCAPE ARCHITECTS

885 Don Mills Road, Second Tower, Suite 212
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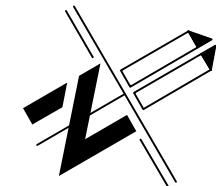
ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS
MEMBER

project

LIVING WATER RESORTS PH 5
9 HARBOUR STREET EAST
COLLINGWOOD, ONTARIO

drawing

LANDSCAPE PLAN

date	NOV 4, 2025	drawn	AL
scale*	1:200	file	3795 L1 V1-260706
direction			
project no.	3795		
sheet no.	L-1		

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (24"x36") SIZE SHEET

MASTER PLANT LIST

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS	SPACING
DECIDUOUS TREES									
A	17	ACER SACCHARUM	SUGAR MAPLE	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
B	8	TILIA CORDATA 'GLENLEVEN'	GLENLEVEN LINDEN	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
C	5	QUERCUS RUBRA	RED OAK	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
D	7	CELTIS OCCIDENTALIS	COMMON HACKBERRY	60mm	3500mm	1200mm	W.B.	EQUAL FORM	----
E	13	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY-LOCUST	60mm	3500mm	1200mm	W.B.	EQUAL FORM	----
F	4	BETULA ALLEGANIENSIS	YELLOW BIRCH	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
G	7	LIRIODENDRON TULIPIFERA 'EMERALD CITY'	EMERALD CITY TULIP TREE	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
H	4	OSTRYA VIRGINIANA	IRONWOOD	60mm	3500mm	1500mm	W.B.	EQUAL FORM	----
J	4	TILIA AMERICANA	BASSWOOD	60mm	3000mm	1500mm	W.B.	EQUAL FORM	----
K	6	SALIX ALBA 'TRISTIS'	KEEPING GOLDEN WILLOW	45mm	3000mm	1500mm	W.B.	EQUAL FORM	----

PROJECT NAME:
HARBOUR CASTLE HOTEL (ABAL 3745)

In the event of a discrepancy between the planting plan
and the plant list quantities, the planting plan shall govern.

KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT	REMARKS	SPACING
CONIFEROUS SHRUBS									
aa	40	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	----	----	600mm	POTTED	MIN. 15 CANDLES	800mm
ff	280	TAXUS X MEDIA 'FAIRVIEW'	FAIRVIEW YEW	----	----	600mm	POTTED	MIN. 15 CANDLES	800mm
DECIDUOUS SHRUBS									
bb	40	POTENTILLA FRUTICOSA 'CORONATION TRIUMPH'	CORONATION TRIUMPH CINQUEFOIL	----	500mm	----	POTTED	MIN. 10 STEMS	650mm
cc	60	SPIRAEA BIMALDA 'GOLDMOUND'	GOLDMOUND SPIREA	----	600mm	----	POTTED	MIN. 10 STEMS	650mm
dd	45	HYDRANGEA ABORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	----	500mm	----	POTTED	MIN. 10 STEMS	650mm
ee	165	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE DOGWOOD	----	800mm	----	POTTED	MIN. 10 STEMS	750mm
PERENNIALS, GROUND COVERS AND GRASSES									
aaa	32	CALAMAGROSTIS X ACUTIFLORA 'ELDORADO'	ELDORADO FEATHER REED GRASS	----	----	----	1 gal. POT	MIN. 2 YRS. 6TH.	650mm
bbb	34	HOSTA 'BRESSINGHAM BLUE'	BRESSINGHAM BLUE PLANTAIN LILY	----	----	----	1 gal. POT	MIN. 2 YRS. 6TH.	----
ccc	44	HOSTA 'SUN POKER'	SUN POKER PLANTAIN LILY	----	----	----	1 gal. POT	MIN. 2 YRS. 6TH.	----



LIGHTING NOTE:
ALL LIGHT STANDARDS TO BE PLACED
A MINIMUM OF 3M AWAY FROM
ADJACENT TREES, UNLESS DETERMINED
ON SITE THAT SUCH A CLEARANCE
MAY NOT BE ACHIEVED.
THEREFORE LIGHT STANDARDS TO BE
VERIFIED ON SITE PRIOR TO
INSTALLATION.

NOTE:
WHERE EXISTING AND PROPOSED
CANOPY AREAS OVERLAP, ONLY THE
EXISTING AREA HAS BEEN NOTED AND
THE PROPOSED CANOPY HAS NOT
BEEN COUNTED.

CANOPY CALCULATIONS:
TOTAL SITE AREA: 59,458 m²
EXISTING SITE CANOPY: 5,518m² (14%)
PROPOSED NEW CANOPY: 6,330m² (16%)
TOTAL COMBINED CANOPY: 11,828m² (30%)

NOTE:
IF REQUIRED TREE PROTECTION
HOARDING IS SET UP WITHIN THE TREE
PROTECTION ZONE, NO MATERIALS ARE
TO BE STORED IN THE VICINITY OF
TREE PROTECTION BARRIERS

REFERENCE
PLANT LIST

KEY	COMMON NAME
DECIDUOUS TREES	
A	SUGAR MAPLE
B	GLENLEVEN LINDEN
C	RED OAK
D	COMMON HACKBERRY
E	SKYLINE HONEY-LOCUST
F	YELLOW BIRCH
G	EMERALD CITY TULIP TREE
H	IRONWOOD
J	BASSWOOD
K	KEEPING GOLDEN WILLOW

*SEE SHEET L-1 FOR MASTER PLANT LIST

LEGEND

- PROJECTED 20 YEAR CANOPY
- EXISTING TREE & SHRUB PLANTING

BASE INFORMATION OBTAINED ELECTRONICALLY FROM
TATHAM ENGINEERING (TEL: 705-716-5294)

1.	JUL 6 2026	ISSUED FOR SPA	AL/ RF/IR
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project
LIVING WATER RESORTS PH 5
9 HARBOUR STREET EAST
COLLINGWOOD, ONTARIO

drawing
**PROJECT CANOPY
COVERAGE PLAN**

date	NOV 4, 2025	drawn	AL
scale*	1:500	file	3795_PC1_V1-260706
direction			
		project no.	3795
		sheet no.	PC-1

*NOTED SCALE IS APPLICABLE ONLY WHEN PRINTED ON ARCH D (24"x36") SIZE SHEET

SPECIFICATIONS

GENERAL

THESE SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH THE GENERAL CONDITIONS OF THE CONTRACT AS PREPARED BY AND AVAILABLE AT THE OFFICE OF ALEXANDER BUDREVICS & ASSOCIATES LTD.

PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL: 1. FAMILIARIZE HIMSELF WITH THE PLANS, DETAILS, AND SPECIFICATIONS OF THIS PROJECT. 2. VISIT THE SITE TO ASCERTAIN AND TAKE ACCOUNT OF EXISTING CONDITIONS AND ANY DEVIATIONS FROM THE PLANS IN WORK BY OTHERS AND 3. FINALIZE ALL DESIGN ALTERNATIVES IN CONSULTATION WITH THE LANDSCAPE ARCHITECT.

PRIOR TO EXCAVATING, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES. IN THE EVENT OF A CONFLICT BETWEEN A PROPOSED TREE LOCATION AND AN UNDERGROUND SERVICE, THE EXACT LOCATION OF THE TREE SHALL BE DETERMINED ON SITE BY THE LANDSCAPE ARCHITECT.

THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, FACILITIES, ETC. DONE IN THE PERFORMANCE OF HIS WORK.

ALL SITE WORK SHALL CONFORM TO THE CANADIAN NATIONAL MASTER CONSTRUCTION SPECIFICATIONS. A COPY OF WHICH CAN BE OBTAINED FROM CONSTRUCTION SPECIFICATIONS CANADA, 100 LORRAINE ST., SUITE 200, TORONTO, ONTARIO M5C 1H5 TEL: (416) 771-2180 FAX: (416) 771-2171. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BE THOROUGHLY FAMILIAR WITH THESE SPECIFICATIONS, AND THEIR IMPLICATIONS FOR THIS PROJECT.

SOFT LANDSCAPING

PLANT MATERIALS

ALL PLANTS SHALL BE INSTALLED TRUE TO SPECIFIED NAMES, SIZES, GRACES, ETC. AND SHALL CONFORM TO THE STANDARDS OF THE CANADIAN NURSERY TRADE ASSOCIATION.

ALL PLANTS SHALL BE NURSERY GROWN.

IN THE EVENT OF A DISCREPANCY IN PLANT QUANTITY BETWEEN THE PLANTING PLAN AND THE PLANT LIST, THE PLANTING PLAN SHALL GOVERN.

THE CONTRACTOR SHALL MAKE PLANTS AVAILABLE FOR INSPECTION BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. MATERIAL NOT CONFORMING TO THE SPECIFICATIONS SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

PLANT SUBSTITUTIONS MUST BE APPROVED IN WRITING BY THE OWNER OR THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY OF THE MATERIAL ON SITE.

THE LANDSCAPE ARCHITECT MAY, UPON COMPLETION OF THE WORK AND NOTWITHSTANDING PRIOR APPROVAL AT SOURCE, REJECT PLANT MATERIAL NOT CONFORMING TO THE SPECIFICATIONS.

THE CONTRACTOR SHALL USE STANDARD INDUSTRY METHODS FOR PLANTING TREES. TREES SHALL BE TURNED TO GIVE THE BEST APPEARANCE. THEY SHALL ALSO BE GUYED AND STAKED IMMEDIATELY AFTER PLANTING AND AS DETAILED ON THE DRAWINGS.

BED PREPARATION

THE CONTRACTOR SHALL BACKFILL TREE PITS AND PLANTING BEDS TO SPECIFIED DEPTHS WITH EITHER PRE-MIXED TOPSOIL (VIZ., "TRIPLE-MIX") OR A MIXTURE COMPOSED OF:

- 6 PARTS SANDY LOAM,
- 1 PART FINELY PULVERIZED CANADIAN PEAT MOSS,
- 1 PART HELL-ROTTED FARM MANURE WITH AGRIFORM® 20-10-5 TABLETS (OR APPROVED EQUIV.) NOTED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.

THE CONTRACTOR SHALL CONSTRUCT TREE PITS AND SHRUB BEDS WITH SOIL SANGERS, MULCH, AND SUBSURFACE DRAINAGE AS DETAILED.

THE CONTRACTOR SHALL CONSTRUCT SHRUB BEDS IN CONTINUOUS FORMS. THE SHAPE OF WHICH SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND/OR OWNER. ON SLOPES, SHRUB BEDS SHALL BE FASHIONED TO ALLOW FOR PROPER DRAINAGE.

TOPSOIL & FINE GRADING

THE CONTRACTOR SHALL PLACE 50mm OF RICH TOPSOIL ON APPROVED SUBGRADE. TOPSOIL SHALL BE IMPROVED WHERE REQUIRED. 10-14% FERTILIZER SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS AT A RATE OF 125 kg/ha FOR SOOED AREAS, THE MIXTURE AND RATE OF APPLICATION SHALL BE ADJUSTED FOR SEEDS AREAS.

MINOR GRADE DEFICIENCIES AND IRREGULARITIES SHALL BE ELIMINATED PRIOR TO SOODING.

SOODING

THE CONTRACTOR SHALL SOO ALL AREAS SO INDICATED ON THE DRAWINGS. SOO SHALL BE FRESHLY CUT NO.1 GRADE NURSERY-GROWN TURF 50-75mm THICK.

SOO FOR SUNNY, EXPOSED AREAS SHALL BE SOO KENTUCKY BLUEGRASS AND SOO VERON BLUEGRASS. SOO FOR SHADED AREAS SHALL BE SOO NUGGET KENTUCKY BLUEGRASS AND SOO CREEPING RED FESCUE.

SOO SHALL BE PLACED ON PREPARED TOPSOIL WITH JOINTS STAGGERED AND SECTIONS BUTTED TIGHTLY. IMMEDIATELY AFTER LAYING, IRRIGATION SUFFICIENT TO ENSURE MOISTURE PENETRATION TO A DEPTH OF 100mm SHALL BE APPLIED.

SOO SHALL BE MACHINE ROLLED TO ENSURE UNIFORM CONTACT WITH TOPSOIL. SOO ON ALL SLOPES SHALL BE PEGGED WHERE REQUIRED.

HARD LANDSCAPING

POURED-IN-PLACE CONCRETE WORK

THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL OF FORMWORK PRIOR TO POURING CONCRETE. ALL CONCRETE, STEEL REINFORCING, AND FORMWORK SHALL BE AS DETAILED AND SPECIFIED ON THE DRAWINGS.

THE STYLE, COLOUR, AND FINISH OF CONCRETE ELEMENTS SHALL BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONCRETE WORK.

ALL STRUCTURAL CONCRETE WORK SHALL CONFORM TO LOCAL BUILDING CODES AND REGULATIONS.

BRICKWORK, STONEWORK & CONCRETE UNIT PAVING

WHERE APPLICABLE, THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT OF ALL STRUCTURAL CONCRETE WORK BEFORE COMMENCING BRICKWORK, STONEWORK, OR PAVING WORK.

ALL BRICKWORK, STONEWORK, AND CONCRETE UNIT PAVING SHALL BE AS DETAILED AND SPECIFIED ON THE DRAWINGS, VALUED BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER APPROVE SUBSTITUTIONS IN WRITING.

PRIOR TO STARTING THIS PORTION OF WORK, THE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL PROPOSED BRICKWORK, STONEWORK, AND CONCRETE UNIT PAVING FOR APPROVAL BY THE LANDSCAPE ARCHITECT AND/OR THE OWNER WITHIN THE GUARANTEE PERIOD. THE CONTRACTOR MAY ALSO BE ASKED TO SUBMIT SAMPLES OF ALTERNATIVES TO THE MATERIALS SPECIFIED ON THE DRAWINGS.

ALL BRICKWORK, STONEWORK, AND CONCRETE UNIT PAVING SHALL CONFORM TO LOCAL BUILDING CODES AND OTHER MUNICIPAL REQUIREMENTS.

MAINTENANCE

THE CONTRACTOR SHALL MAINTAIN ALL LANDSCAPED AREAS FOR A PERIOD OF FOUR (4) GROWING MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION.

MAINTENANCE SHALL INCLUDE:

- PROPER IRRIGATION TO ENSURE OPTIMUM GROWTH OF TREES, SHRUBS, AND SOO,
- GRASS MOWING TO MAINTAIN AN APPROXIMATE HEIGHT OF 50mm,
- THE CULTIVATION AND WEEDING OF TREE PITS AND PLANTING BEDS,
- INSEST AND DISEASE CONTROL.

AT THE END OF THE SPECIFIED MAINTENANCE PERIOD, PROVIDED ALL PLANT MATERIAL IS ALIVE AND IN A HEALTHY GROWING CONDITION, THE OWNER WILL ASSUME THE RESPONSIBILITY OF MAINTAINING THE LANDSCAPE WORK.

PERFORMANCE ACCEPTANCE (SUBSTANTIAL COMPLETION)

WRITTEN NOTICE OF PERFORMANCE ACCEPTANCE BY THE LANDSCAPE ARCHITECT FOR SUBSTANTIAL COMPLETION OF THE PROJECT LANDSCAPE WORKS SHALL MARK THE START OF THE GUARANTEE PERIOD.

SHOULD LOCAL LAW REQUIRE MUNICIPAL ACCEPTANCE, THE LANDSCAPE ARCHITECT WILL SUBMIT THE SUBSTANTIAL COMPLETION CERTIFICATE TO THE MUNICIPALITY SO THAT THEY MAY PROCEED TO INSPECT THE WORK, ISSUE THEIR PERFORMANCE ACCEPTANCE CERTIFICATE, AND REDUCE THE ANXIETY OF SECURITIES.

GUARANTEE

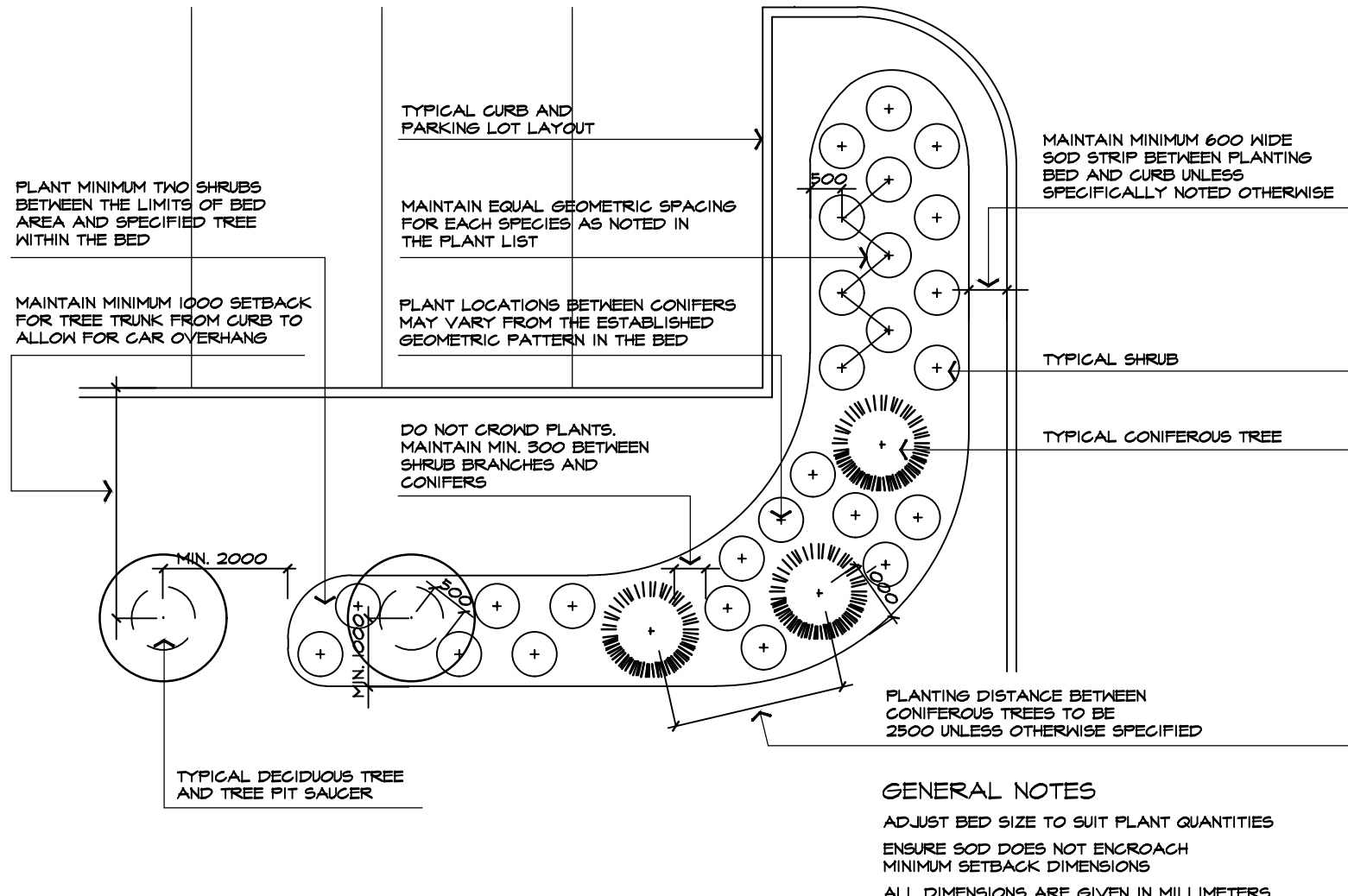
ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE (1) YEAR FROM THE DATE ON THE PERFORMANCE ACCEPTANCE CERTIFICATE ISSUED BY THE LANDSCAPE ARCHITECT. PLANTS THAT EXPIRE OR OTHERWISE FAIL TO THRIVE DURING THE GUARANTEE PERIOD SHALL BE REPLACED AT THE EXPENSE OF THE CONTRACTOR.

SIMILARLY, ALL OTHER LANDSCAPE WORK PERFORMED UNDER THIS CONTRACT SHALL BE FULLY GUARANTEED FOR ONE (1) YEAR FROM THE DATE OF PERFORMANCE ACCEPTANCE BY THE LANDSCAPE ARCHITECT.

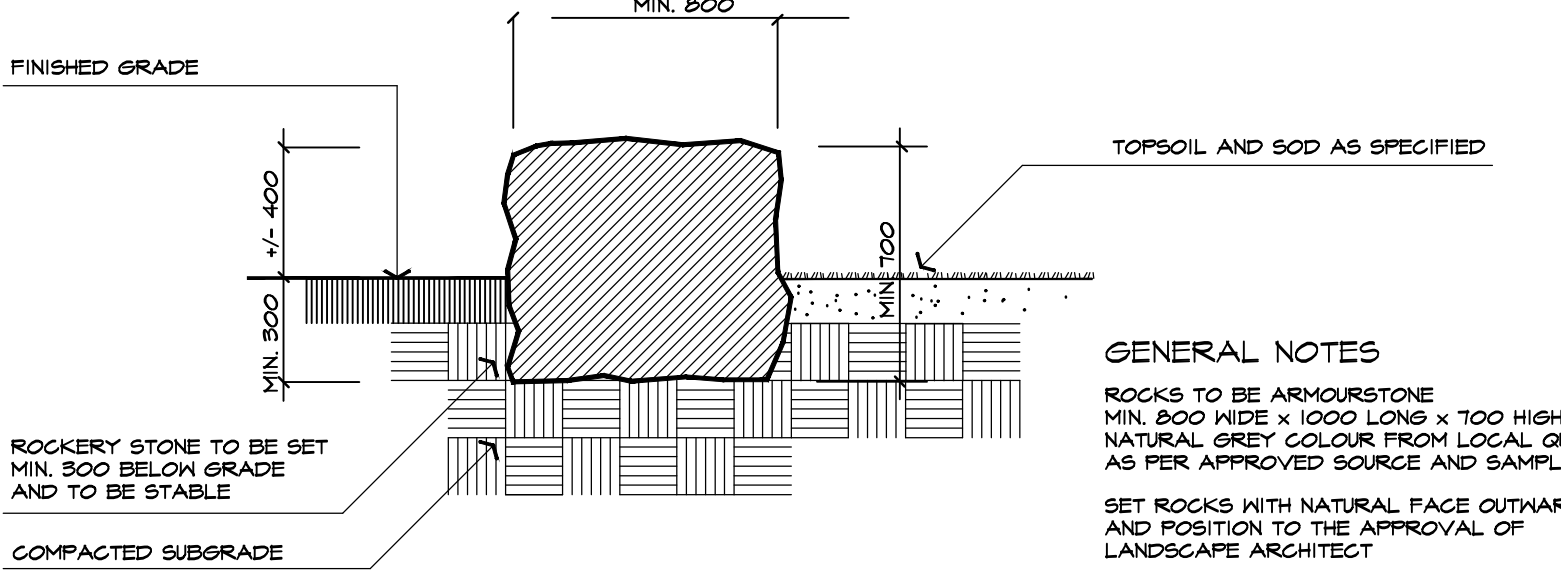
FINAL ACCEPTANCE

ALL WORK SHALL BE INSPECTED AT THE END OF THE GUARANTEE PERIOD BY THE LANDSCAPE ARCHITECT. ANY DEFICIENCIES SHALL BE RECTIFIED BY THE CONTRACTOR TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT, AND THE OWNER. THE LANDSCAPE ARCHITECT WILL THEN ISSUE A FINAL ACCEPTANCE CERTIFICATE.

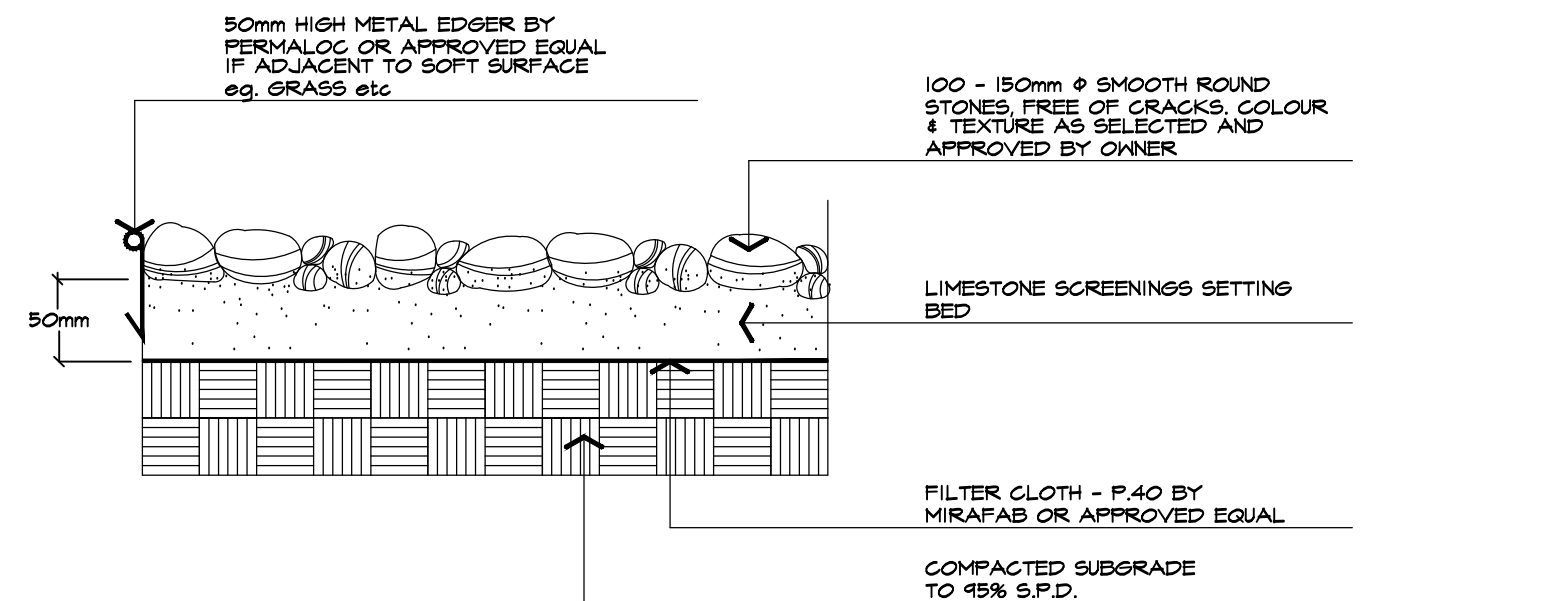
SHOULD LOCAL LAW REQUIRE MUNICIPAL ACCEPTANCE, THE LANDSCAPE ARCHITECT WILL SUBMIT THE FINAL ACCEPTANCE CERTIFICATE TO THE MUNICIPALITY SO THAT THEY MAY PROCEED TO INSPECT THE WORK, GIVE FINAL APPROVAL, AND RELEASE ALL OUTSTANDING LANDSCAPE SECURITIES.



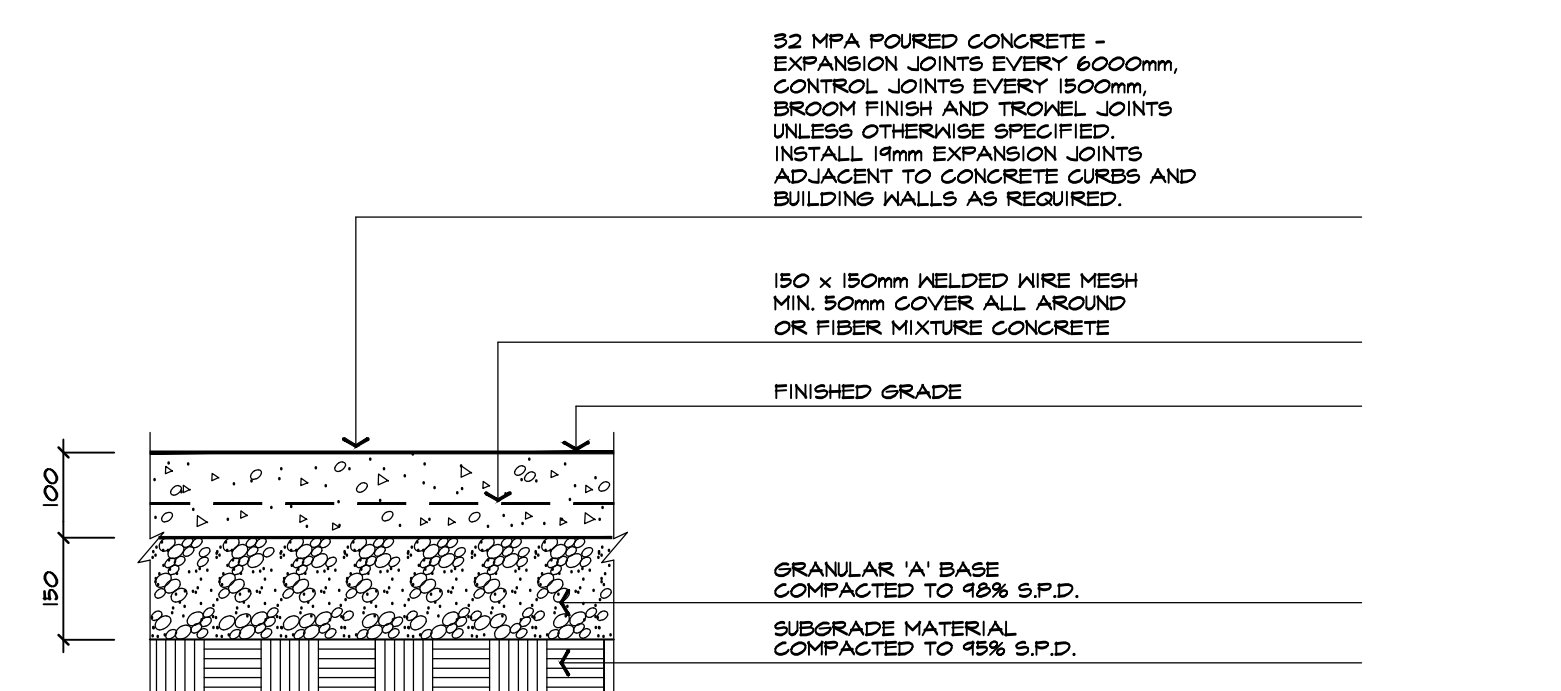
3 TYPICAL PLANTING LAYOUT
SYMBOLS REPRESENT INSTALLED PLANT SIZE
NTS
ABAL P401-440526



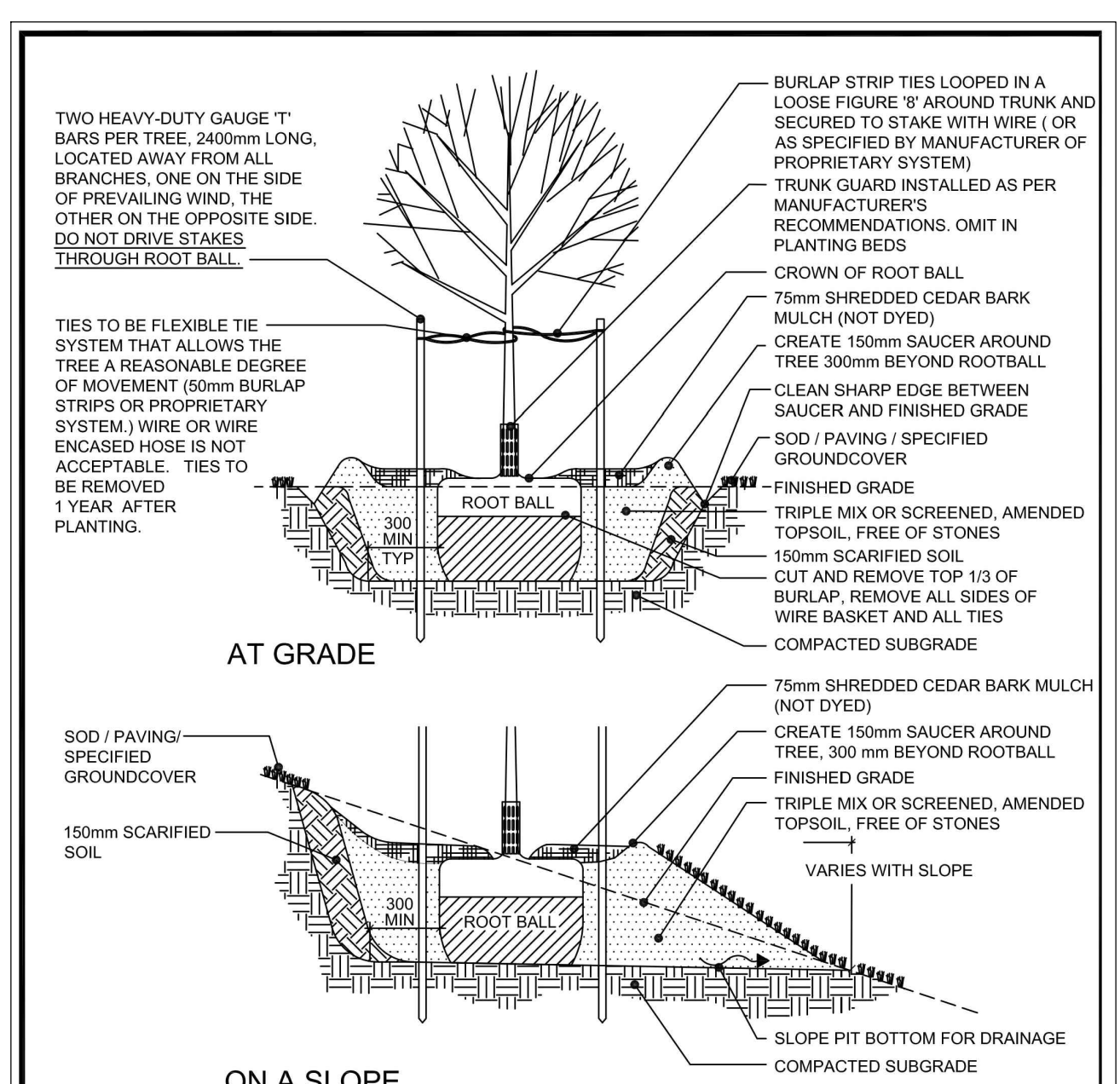
4 ROCKERY STONE DETAIL
TOTAL UNITS ON SITE: 21
NTS
ABAL R201-450517



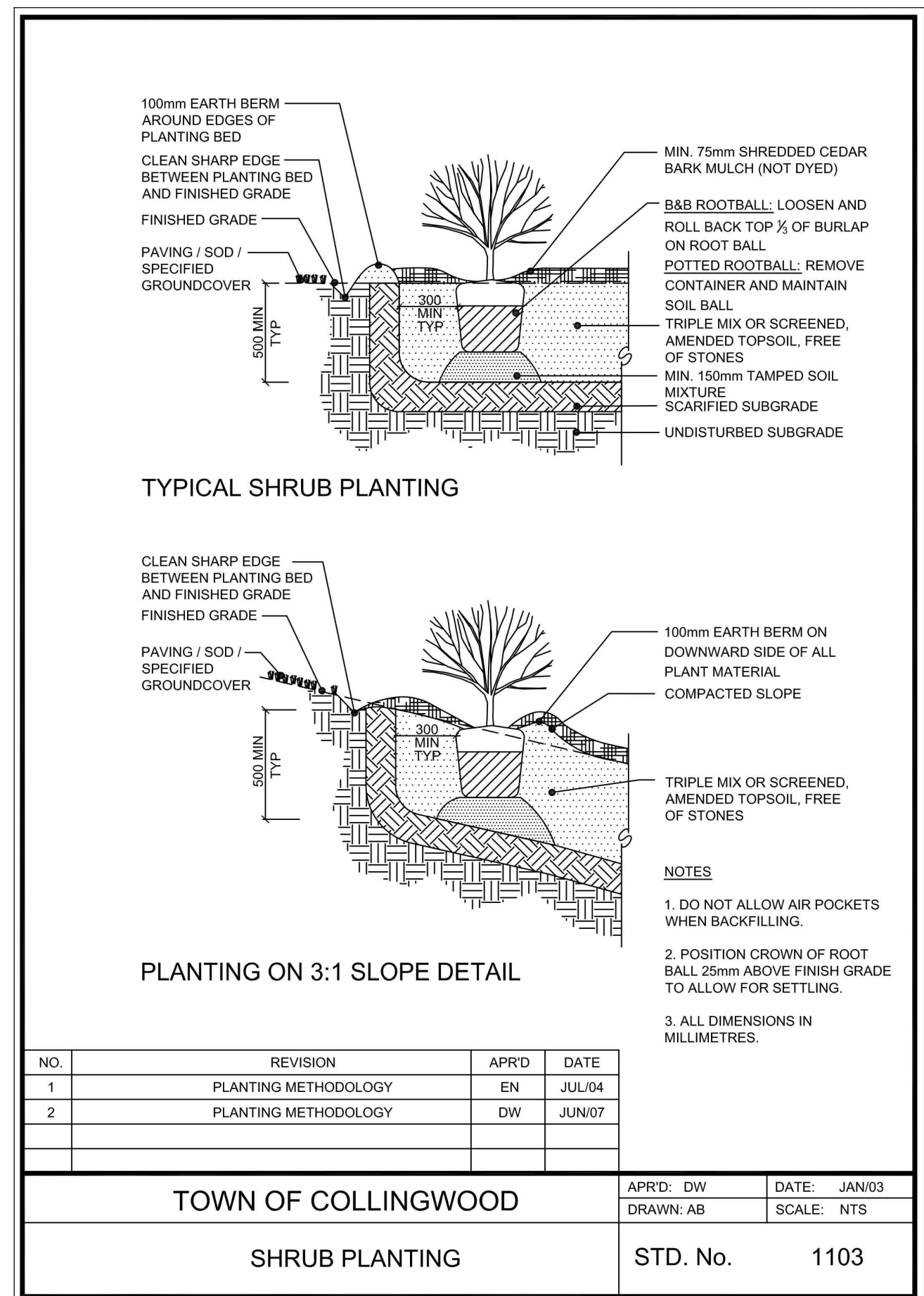
5 BEACHSTONES DETAIL
NTS
ABAL H601-450518



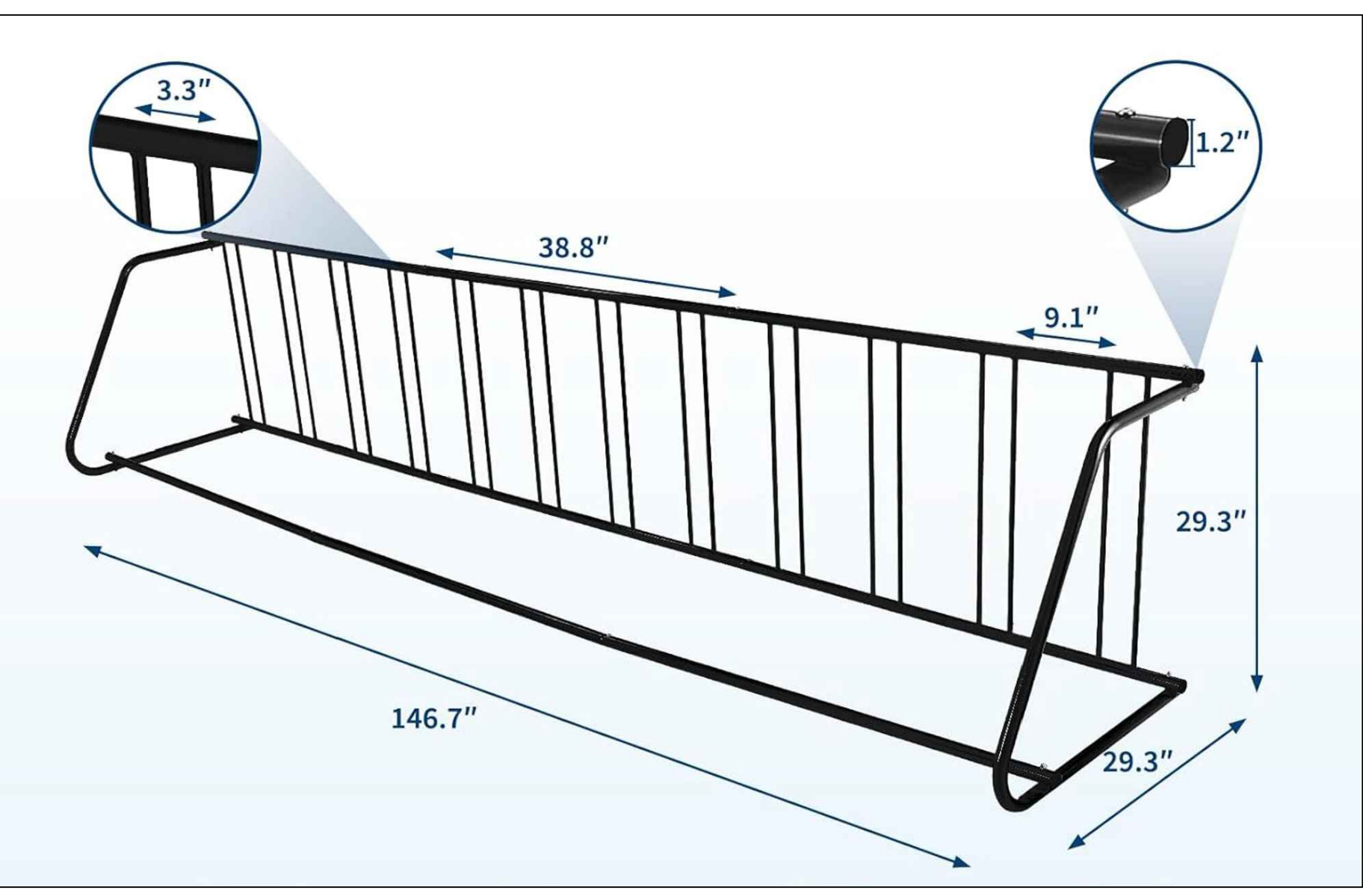
6 CONCRETE PAD DETAIL
TYPICAL INSTALLATION
NTS
ABAL H201-000524



1 DECIDUOUS TREE PLANTING DETAIL
TOWN OF COLLINGWOOD STANDARD DETAIL
NTS
TOWN OF COLLINGWOOD
DECIDUOUS TREE PLANTING
APRD: DW DATE: JAN03
DRAWN: AB SCALE: NTS
STD. No. 1101



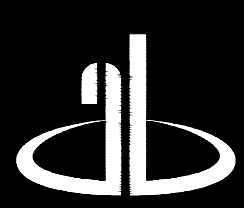
2 SHRUB PLANTING DETAIL
TOWN OF COLLINGWOOD STANDARD DETAIL
NTS
TOWN OF COLLINGWOOD
SHRUB PLANTING
APRD: DW DATE: JAN03
DRAWN: AB SCALE: NTS
STD. No. 1103



7 FREESTANDING 10-BIKE RACK
IMAGE FOR ILLUSTRATIVE PURPOSES ONLY. THE FINAL BIKE RACK SPECIFICATION WILL BE CONFIRMED BY THE PROPERTY OWNER.
5 IN THIS LOCATION
NTS

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ONTARIO ASSOCIATION OF LANDSCAPE ARCHITECTS
MEMBER
ERIKS & KALVINS

project	LIVING WATER RESORTS PH 5 9 HARBOUR STREET EAST COLLINGWOOD, ONTARIO
drawing	
date	NOV 4, 2025
scale*	AS SHOWN
direction	
drawn	AL
file	3795 D1 V1-260706
project no.	3795
sheet no.	D-1

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