

ISSUED DATE:.

DEC.18.24

The Georgian Triangle
Humane Society

REGIONAL CENTRE FOR
PETS & PEOPLE

PROJECT ADDRESS:
135 Sanford Fleming Dr,
Collingwood, ON
L9Y 5A6



CIVIL	
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ESC01	EROSION & SEDIMENT CONTROL PLAN
GS01	GENERAL SERVICING PLAN
SG01	SITE GRADING PLAN
WM01	WATERMAIN PLAN & PROFILE
LANDSCAPE	
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L2	LAYOUT PLAN
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A-203	BUILDING ELEVATIONS - ENLARGED
A-901	RENDERINGS

ARCHITECT:

Unity Design Studio Inc.
138 Simcoe Street, Peterborough, Ontario, K9H 2H5
P.705.743.3311 info@unitydesignstudio.ca

STRUCTURAL ENGINEER

Tatham Engineering
115 Sanford Fleming Drive, Collingwood, Ontario, L9Y 5A6
P.705. 444.2565 lvint@tathameng.com

MECHANICAL ENGINEER

Tatham Engineering
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ELECTRICAL ENGINEER

Tatham Engineering
115 Sanford Fleming Drive, Collingwood, Ontario, L9Y 5A6
P.705. 444.2565 staylor@tathameng.com

CIVIL ENGINEER

Tatham Engineering
115 Sanford Fleming Drive, Collingwood, Ontario, L9Y 5A6
P.705. 444.2565 aschoof@tathameng.com

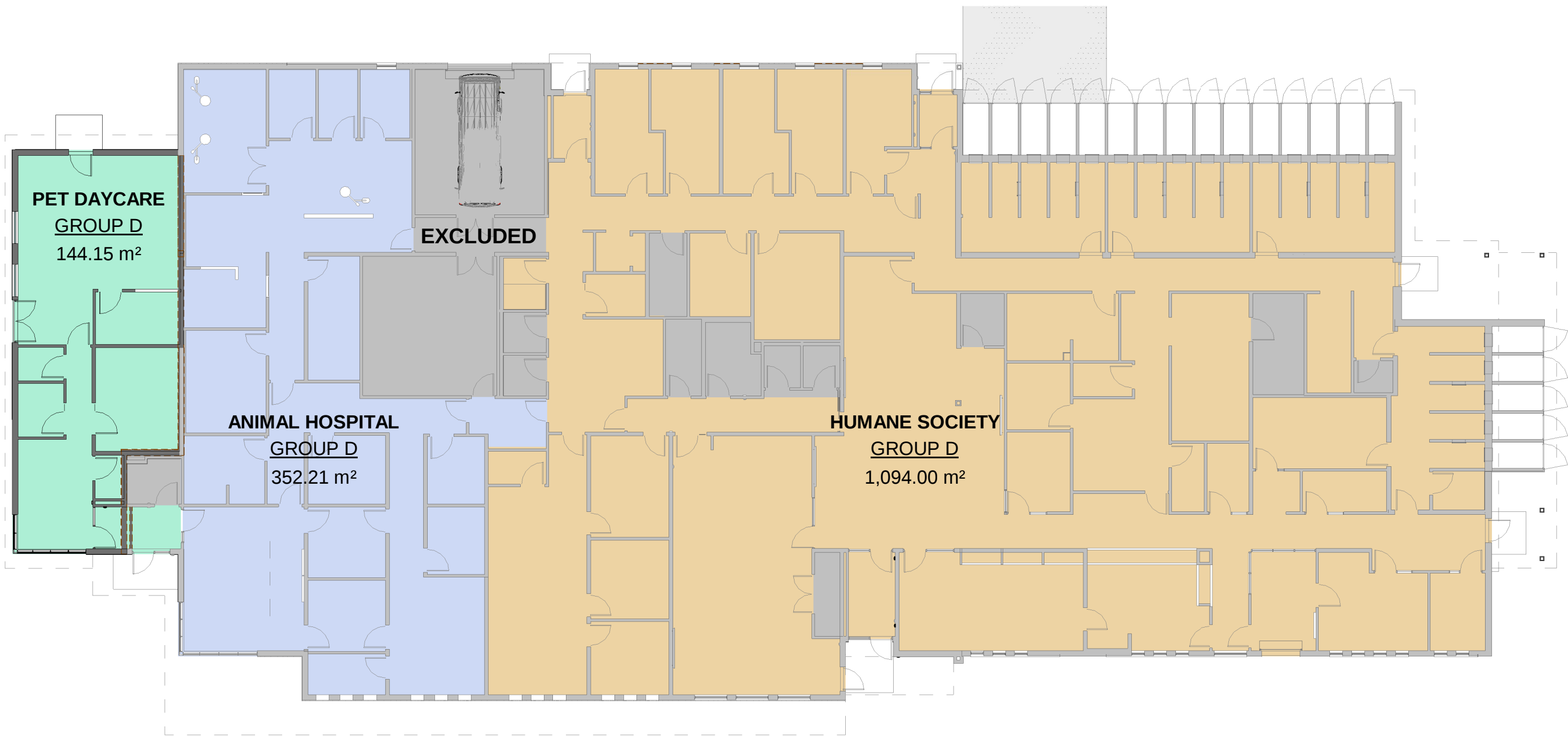
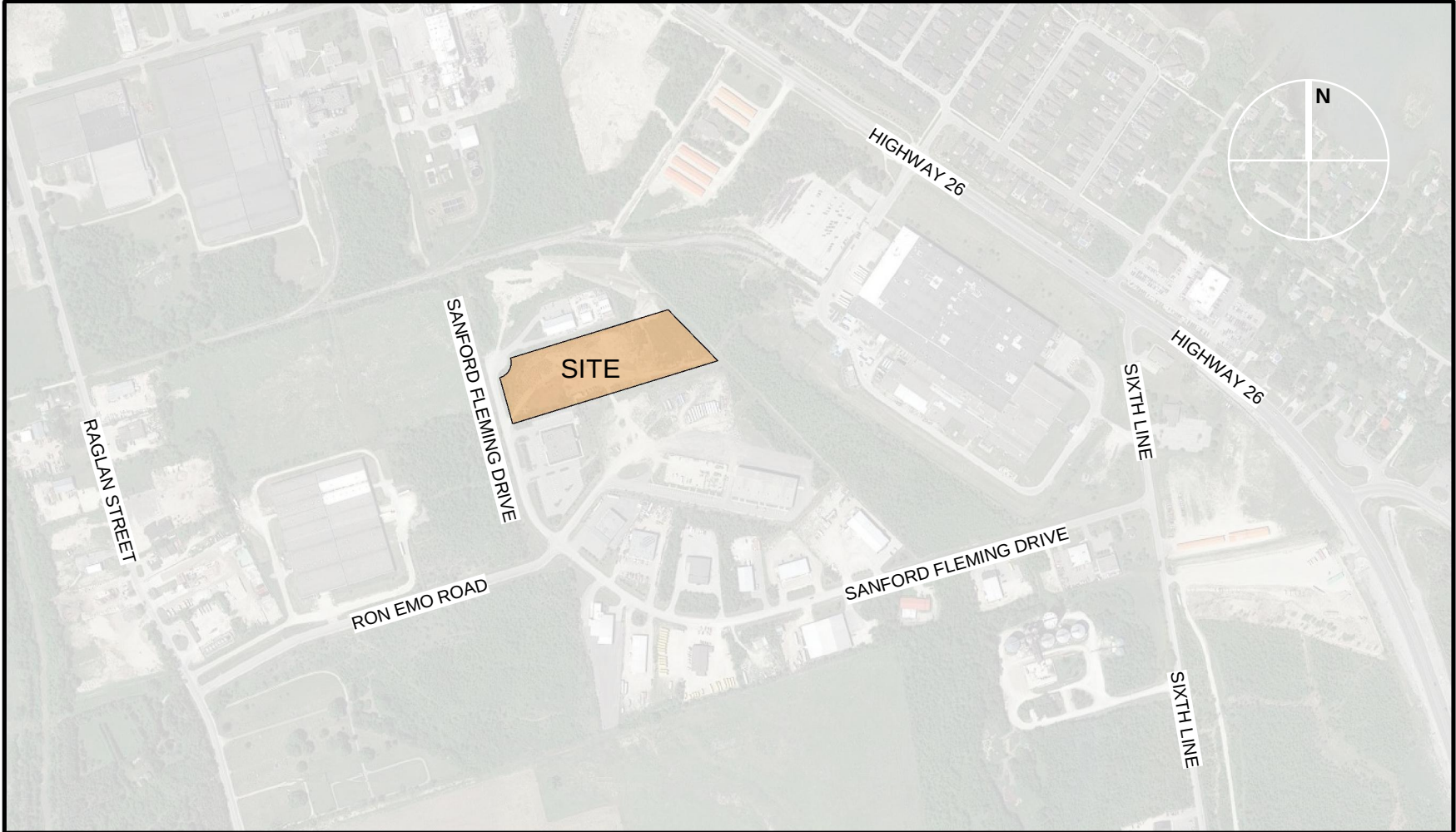
LANDSCAPE ARCHITECT:

Basterfield & Associates
416 Chambers Street, Peterborough, Ontario, K9H 3V1
P.705. 745.3623 kim@basterfield.ca

RE-ISSUED FOR SPA #3



LOCATION PLAN



GROSS FLOOR AREA

- ANIMAL HOSPITAL
- EXCLUDED
- HUMANE SOCIETY
- PET DAYCARE

GROSS FLOOR AREA			
NAME	OBC CLASSIFICATION	AREA	AREA ft2
PET DAYCARE	GROUP D	144.15 m²	1551.62 SF
ANIMAL HOSPITAL	GROUP D	352.21 m²	3791.14 SF
HUMANE SOCIETY	GROUP D	1,094.00 m²	11775.7 SF
		1,590.36 m²	17118.46 SF

NAME OF PRACTICE: Unity Design Studio Inc., 138 Simcoe St. Peterborough ON, K9H 2H5				NAME OF PROJECT: Georgian Triangle Humane Society		
				PROJECT LOCATION: 135 Sanford Fleming Dr. LOCATION, ONTARIO		
O.B.C. MATRIX						
ITEM	2012 ONTARIO BUILDING CODE DATA MATRIX - PARTS 3 AND 9				OBC REFERENCE	
					REFERENCES ARE TO DIVISION B UNLESS NOTED (A) FOR DIVISION A OR (G) FOR DIVISION C	
01	PROJECT DESCRIPTION: SEE ITEM 25		☒ NEW ☐ ADDITION ☐ ALTERATION	☐ CHANGE OF USE ☐ PART 11 11.1 TO 11.4	☒ PART 3 1.1.2[A]	☐ PART 9
02	MAJOR OCCUPANCY(S): GROUP D				3.1.2.1. (1) APPENDIX "A"	
03	BUILDING AREA (m²):	EXISTING: 0 m²	NEW: 1,792.12 m²	TOTAL: 1,792.12 m²	1.4.1.2[A]	
04	GROSS FLOOR AREA (m²):	EXISTING: 0 m²	NEW: 1,792.12 m²	TOTAL: 1,792.12 m²	1.4.1.2[A]	
05	MEZZANINE(S) AREA (m²):	EXISTING: 0 m²	NEW: 0 m²	TOTAL: 0 m²	3.2.1.1. (3) thru (8)	
	MEZZANINE 10% OR LESS ENCLOSED AREA (m²):		0 m²			
	MEZZANINE 40% OR MORE UNCLOSED AREA (m²):		0 m²			
06	NUMBER OF STOREYS: ABOVE GRADE: 1		BELOW GRADE:		1.4.1.2[A], 3.2.1.1.	
07	BUILDING HEIGHT (m):		9.5 m		MEASURED BETWEEN AVERAGE GRADE AND HIGHEST FIN. FLOOR LEVEL, EXCLUDING SERVICE SPACE LEVELS AS PER 3.2.1.1.(1)	
08	NUMBER OF STREETS / FIRE FIGHTER ACCESS: 1				3.2.2.10. & 3.2.5.	
09	BUILDING CLASSIFICATION:		GROUP D, up to 3 Storeys, Not Sprinklered		3.2.2.53	
10	SPRINKLER SYSTEM PROPOSED:		☐ ENTIRE BUILDING ☐ SELECTED COMPARTMENTS ☐ SELECTED FLOOR AREAS ☐ BASEMENT ONLY ☐ IN LIEU OF ROOF RATING ☒ NOT REQUIRED		3.2.2.53 3.2.1.5. 3.2.2.17. INDEX INDEX	
11	STANDPIPE SYSTEM REQUIRED:		☐ YES ☒ NO		3.2.9.	
	HOSE CABINET LOCATION:		30.0M MAX. + 3.0M HOSE STREAM		3.2.4.4 3.4.3.4.(a)	
12	FIRE ALARM REQUIRED:		☐ YES ☒ NO		3.2.4.	
13	WATER SERVICE/SUPPLY IS ADEQUATE:		☒ YES ☐ NO		3.2.5.7.	
14	HIGH BUILDING:		☐ YES ☒ NO		3.2.6. # YES, REFER TO HIGH BUILDING REQUIREMENTS CHART	
15	CONSTRUCTION RESTRICTIONS:		REQUIRED: ☐ COMBUSTIBLE PERMITTED ☐ NON-COMBUSTIBLE PROVIDED: ☐ COMBUSTIBLE ☐ NON-COMBUSTIBLE		3.2.2.53	
			☒ BOTH ☒ BOTH			
16	HAZARDOUS SUBSTANCES:		☐ YES ☒ NO			
17	BARRIER-FREE DESIGN:		☒ YES ☐ NO (EXPLAIN):		3.8.	
18	BARRIER-FREE ENTRANCES:		No. OF ENTRANCES REQ'D TO BE BARRIER FREE: 4		3.8.1.2. 3.8.3.3.	
	POWER DOOR OPERATORS REQ'D:		☒ YES ☐ NO			
19	REQUIRED FIRE RESISTANCE RATINGS:	HORIZONTAL ASSEMBLIES FIRE RESISTANCE RATINGS (F.R.R.)		LISTED DESIGN NO. (ULC) OR ASSEMBLY DESCRIPTION (SB-2)		
		FLOOR: N/A (SLAB ON GRADE)		FLOOR: N/A		
		ROOF: 45 MIN		ROOF: SB-2		
		MEZZANINE: 45 MIN		MEZZANINE: N/A		
		FIRE RESISTANCE RATINGS OF SUPPORTING MEMBERS (F.R.R.)		LISTED DESIGN NO. (ULC) OR ASSEMBLY DESCRIPTION (SB-2)		
		FLOOR: N/A (SLAB ON GRADE)		FLOOR: N/A		
		ROOF: 45 MIN		ROOF: SB-2		
		MEZZANINE: N/A		MEZZANINE: N/A		
20	REQUIRED SEPARATION FIRE RESISTANCE RATINGS:	SPACE NAME:		REQUIRED RATING:		
		SUITES		-		
		PUBLIC CORRIDORS		1HR		
		JANITOR ROOMS		1HR		
		SERVICE ROOMS		1HR		
		VERTICAL SERVICE SPACES		N/A		
		ELEVATOR - HOISTWAY		N/A		
		ELEVATOR - MACHINE ROOM		N/A		
		EXITS - STAIR TOWERS		N/A		
		EXITS - CORRIDORS		-		
		LOBBY SEPARATION TO OTHER EXITS		-		
21	EXITS:	MAX. TRAVEL DISTANCE:		45 m		
22	EXPOSED BUILDING FACE & SPATIAL SEPARATION: REFER TO TABLE 22 - SPATIAL SEPARATION & EXPOSURE PROTECTION					3.4.2.5.(1)(b) 3.2.3.1.
23	OCCUPANT LOAD: (REFER TO OCCUPANT LOAD CHART FOR SPECIFICS)				3.1.17.	
	OCCUPANT LOAD BASED ON:		☒ sq.m./PERSON ☐ DESIGN OF BUILDING			
	OCCUPANCY:		LOAD:		PERSONS:	
	BASEMENT:				0	
	LEVEL 01:	GROUP D	14 SQ/M PER PERSON	113		
	LEVEL 02:			0		
	LEVEL 03:			0		
	TOTAL OCCUPANT LOAD: 113 PEOPLE					
24	WASHROOM REQUIREMENTS: (REFER TO WASHROOM AND HEALTH REQUIREMENTS CHART)					3.7.5.
25	OTHER: THE GEORGIAN TRIANGLE HUMANE SOCIETY IS LOCATED AT 135 SANFORD FLEMING DRIVE IN THE INDUSTRIAL AREA OF COLLINGWOOD. THE ONLY BUILDING ON THE SITE WILL BE THE FACILITY, WHICH IS A GROUP D CLASSIFICATION BUILDING UNDER THE BUSINESS AND PERSONAL SERVICES DESCRIPTION. THIS SINGLE STOREY BUILDING IT IS TO BE BUILT WITH STRUCTURAL FOOTINGS/FOUNDATIONS, STRUCTURAL STEEL COLUMNS AND BEAMS, WITH CMU AND STEEL STUD WALL SYSTEMS, AN ENGINEERED WOOD TRUSS SLOPED ROOFING SYSTEM AND BUILT UP FLAT ROOF SYSTEM. THE SITE WILL CONTAIN TWO SEPERATE ANIMAL PARKS AND DOG RUN FOR THE DAYCARE FACILITY. THIS OBC MATRIX SHOULD BE CONSIDERED TO COVER THE CONSTRUCTION OF THE BUILDING AS A WHOLE, ALTHOUGH PHASING OF THE CONSTRUCTION MAY BE CONSIDERED IN FUTURE REVISIONS OF THE PROJECT.					



Unity Design Studio Inc.

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Collingwood, ON L9Y 2L7

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ISSUE / REVISIONS

3	FOR SITE PLAN APPROVAL	DEC.19.23
5	ISSUED FOR COST ESTIMATE	MAY.3.24
6	RE-ISSUED FOR SPA	MAY.29.24
7	RE-ISSUED FOR SPA #2	SEP.27.24
8	RE-ISSUED FOR SPA #3	DEC.18.24

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CONSTRUCTION DOCUMENTS

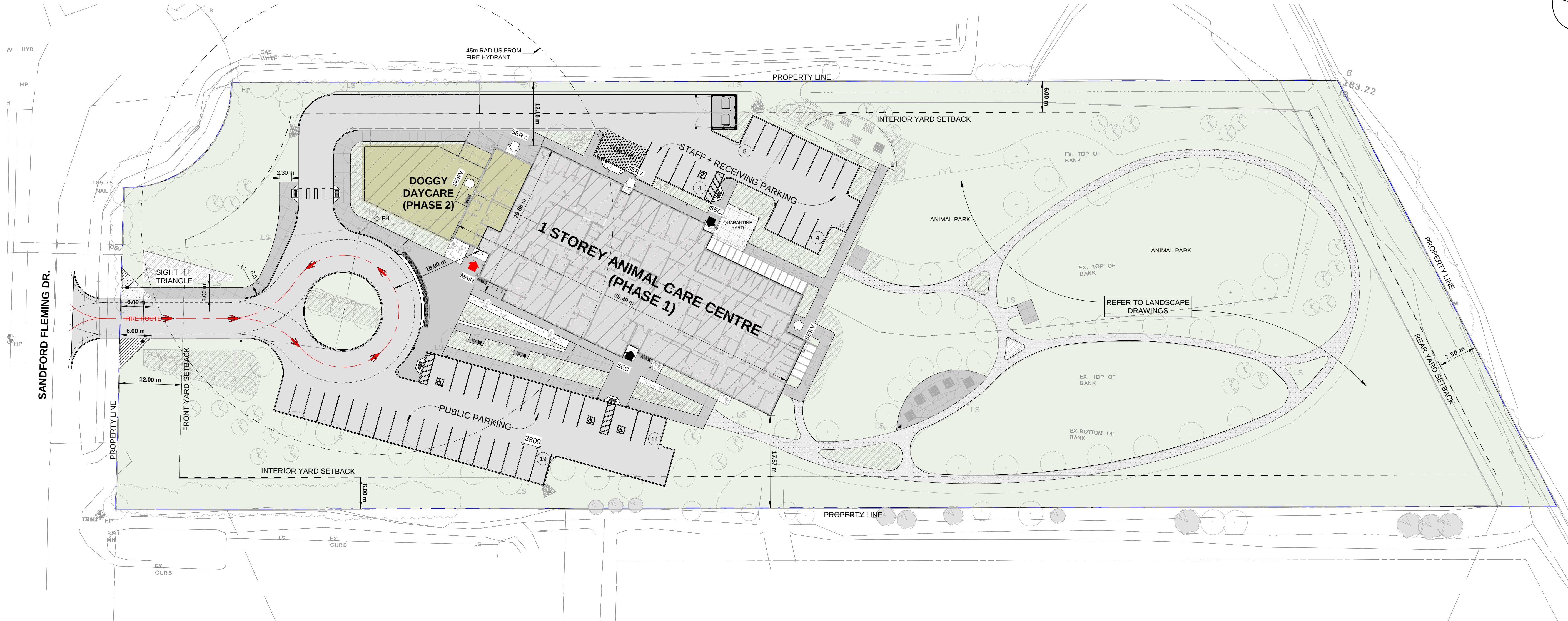
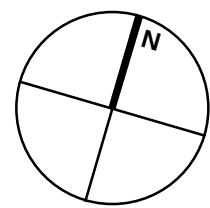
PROJECT No. 22-100
START DATE FEB 2022

The Georgian Triangle
Humane Society
REGIONAL CENTRE
FOR PETS & PEOPLE

135 Sandford Fleming Dr.
Collingwood, ON
L9Y 5A6

BUILDING
INFORMATION SHEET

G-001



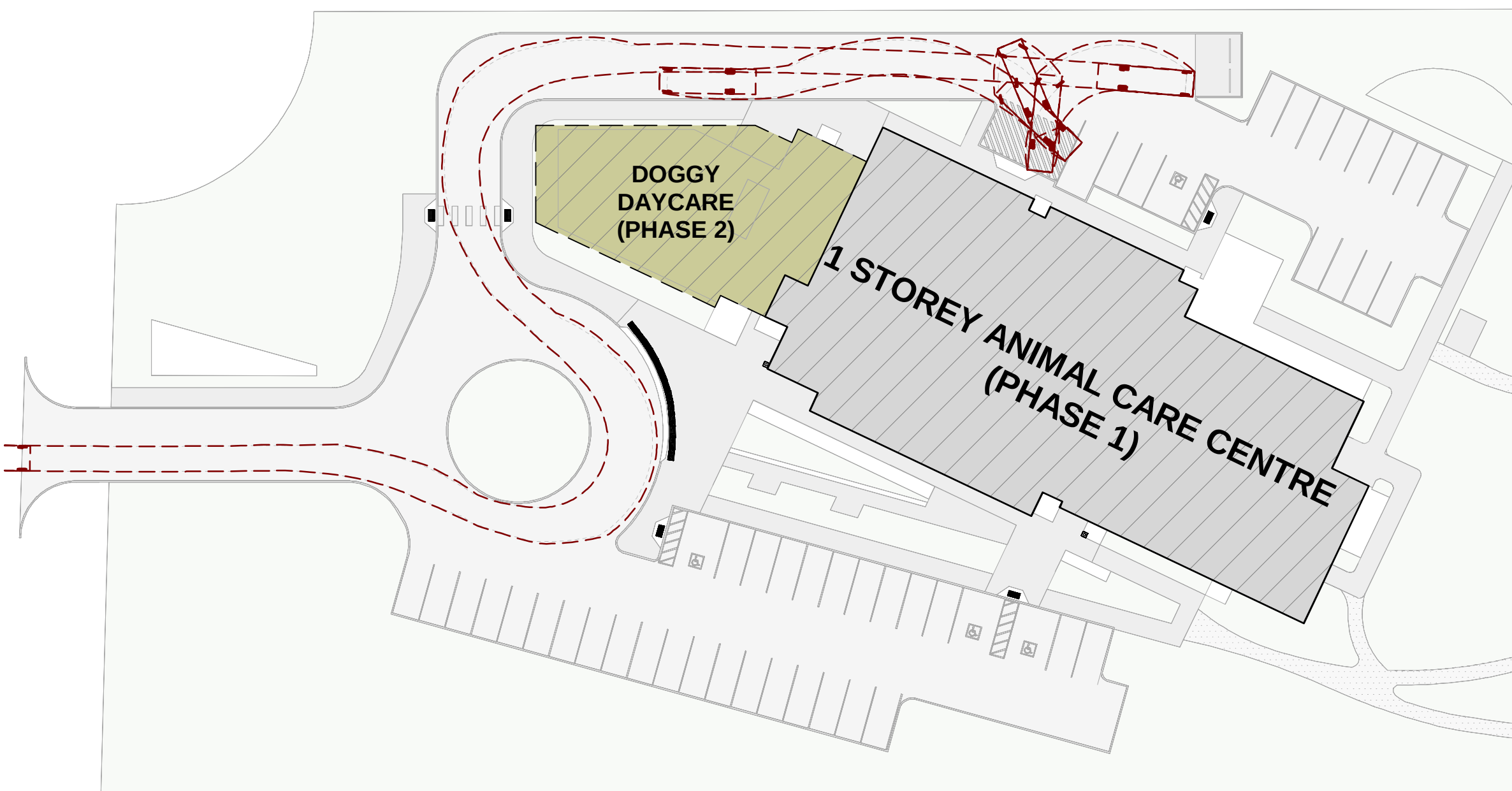
ISSUE / REVISIONS		
1	FOR ZONE BY-LAW AMENDMENT	JUL.13.23
2	FOR CLASS B ESTIMATE	SEP.29.23
3	FOR SITE PLAN APPROVAL	DEC.19.23
4	ISSUED FOR COST ESTIMATE	MAY.03.24
5	RE-ISSUED FOR SPA	MAY.29.24
6	RE-ISSUED FOR SPA #2	SEP.27.24
7	RE-ISSUED FOR SPA #3	DEC.18.24

NOTICE:
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The revisions to these contract documents, reflecting the significant changes in the Work made during construction, are based on data furnished by the contractor to the architect. The architect shall not be held responsible for the accuracy or completeness of the information provided by the contractor.

1 OVERALL SITE PLAN

AS-101 REF: Scale: 1 : 400



2 GARBAGE TRUCK MOVEMENT

AS-101 REF: Scale: 1 : 500

SITE STATISTICS

LEGAL DESCRIPTION

PLAN OF SURVEY OF
PART OF LOT 41
CONCESSION 7
TOWN OF COLLINGWOOD
COUNTY OF SIMCOE

MUNICIPAL ADDRESS

135 SANDFORD FLEMING DRIVE, COLLINGWOOD, ON.

GEOTECHNICAL INVESTIGATIONS

CONDUCTED BY:
CAMBIUM INC.
74 CEDAR POINTE DRIVE, UNIT 1009,
BARRIE ON, L4N 5R7
1 866.217.7900 1 705.742.7907 www.cambium-inc.ca

GENERAL NOTES

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048

SURVEY INFORMATION TAKEN FROM TOPOGRAPHICAL PLAN PREPARED BY YOUNG & YOUNG SURVEYING INC., ONTARIO LAND SURVEYORS.
DATED : OCT.12, 2011

THE CONSULTANT ACCEPTS NO RESPONSIBILITY FOR ERRORS OR OMISSIONS RESULTING FROM INFORMATION TAKEN FROM THESE DRAWINGS.

- ALL EXISTING ELEVATIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAKE GOOD ANY DAMAGE TO EXISTING PAVED AREAS, CURBS, WALKWAYS AND OTHER SITE FEATURES DISTURBED OR DAMAGED BY THE WORK.
- HIS DRAWING TO BE READ IN CONJUNCTION WITH ALL OTHER PLANS RELATING TO SITE PLANS.

BUILDING ENTRANCE LEGEND

- MAIN ENTRANCE
- SECONDARY ENTRANCE
- SERVICE ENTRANCE

ZONING STATISTICS

M5 ZONE PROVISIONS	PROPOSED DEVELOPMENT
MIN. LOT AREA	2,000 m2
MIN. LOT FRONTAGE	30 m
MIN. FRONT YARD SETBACK	12.0 m
MIN. EXT. SIDE YARD SETBACK	12.0 m
MIN. INTERIOR SIDE YARD SETBACK (NORTH)	6.0 m
MIN. INTERIOR SIDE YARD SETBACK (SOUTH)	6.0 m
MIN. REAR YARD SETBACK	7.5 m
MAX HEIGHT	15 m
MAX LOT COVERAGE	50%
MIN. LANDSCAPE/OPEN SPACE	15%
OFF STREET PARKING	47 SPACES
BARRIER-FREE PARKING	3 SPACES
BICYCLE PARKING	5 SPACES

PARKING STATISTICS

PER THE 'COLLINGWOOD ZONING BY-LAW' UNDER SECTION 5 - PARKING AND LOADING PROVISIONS

- ALL PARKING STALLS ARE 2.8m WIDE X 6m
- DRIVE AISLE WIDTH 6.4m
- ALL ACCESSIBLE PARKING STALLS ARE 4.5m WIDE X 6m
- DELIVERY SPACE 3.5m WIDE X 7.5m
- VEHICULAR CIRCULATION COMES OFF OF SANDFORD FLEMING DRIVE INTO THE SITE GOING EAST-WEST.

PARKING CALCULATIONS HAVE BEEN DETERMINED IN ACCORDANCE TO SECTION 5 OF THE 'COLLINGWOOD ZONING BY-LAW'

- 2 SPACES PER 100m² GFA - PET DAY CARE CENTRE
- 3 SPACES PER 100m² GFA - OTHER COMMERCIAL USE
- MIN. 3 ACCESSIBLE SPACES WITH 51 TO 75 SPACES IN ACCORDANCE TO SECTION 5.11.

PET DAYCARE = (136.87 m² / 100 m²) x 2 = 2.74 (ROUNDED TO 3)
OTHER COMMERCIAL USE = (1,439.97 m² / 100 m²) x 3 = 43.19 (ROUNDED TO 44)

TOTAL REQUIRED PARKING SPACES, INCLUDING ACCESSIBLE PARKING SPACES = 47 SPACES
TOTAL PROVIDED = 48 SPACES + 1 DELIVERY SPACE
TOTAL REQUIRED ACCESSIBLE PARKING SPACES = 3 SPACES
TOTAL PROVIDED = 4 SPACES

BICYCLE SPACES REQUIRED DETERMINED IN ACCORDANCE TO TABLE 5.13.1.1 WHERE FOR ALL OTHER NO RESIDENTIAL BUILDINGS THE NUMBER SPACES REQUIRED IS 10% OF THE REQUIRED SPACES FOR THE MOTOR VEHICLES

TOTAL REQUIRED BICYCLE SPACES = 47 x 0.1 = 4.7 (ROUNDED TO 5)
TOTAL PROVIDED = 16 SPACES (10 EXTERIOR & 6 INTERIOR)

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DESIGN DEVELOPMENT

PROJECT No. 22-100
START DATE FEB 01, 2022

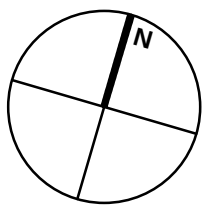
The Georgian Triangle
Humane Society

REGIONAL CENTRE
FOR PETS & PEOPLE

135 Sandford Fleming Dr.,
Collingwood, ON

OVERALL SITE PLAN &
SITE STATISTICS

AS-101



ISSUE / REVISIONS

1	FOR ZONE BY-LAW AMENDMENT	JUL.13.23
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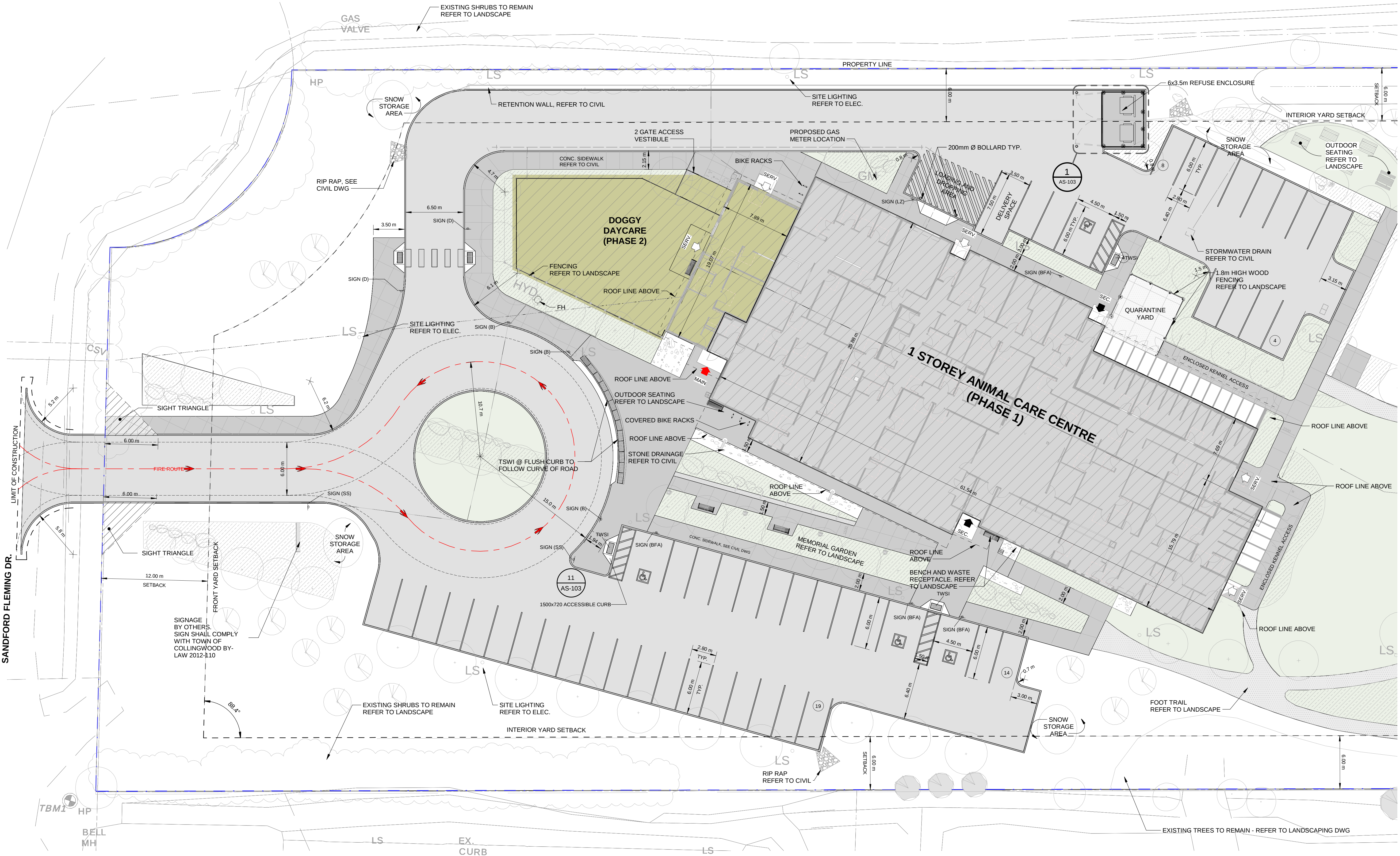
The Georgian Triangle
Humane Society

REGIONAL CENTRE
FOR PETS & PEOPLE

135 Sandford Fleming Dr.,
Collingwood, ON

PARTIAL SITE PLAN
WEST

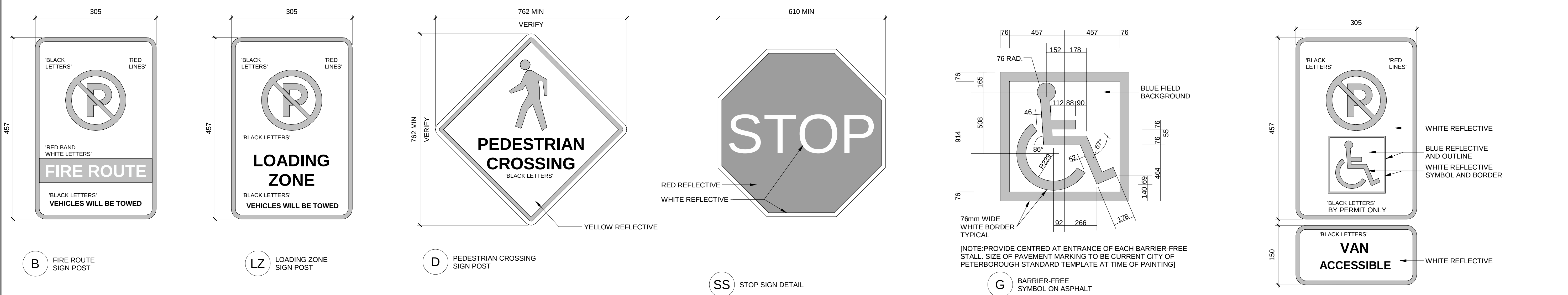
AS-102



1 PARTIAL SITE PLAN WEST

AS-102 REF: Scale: 1 : 200

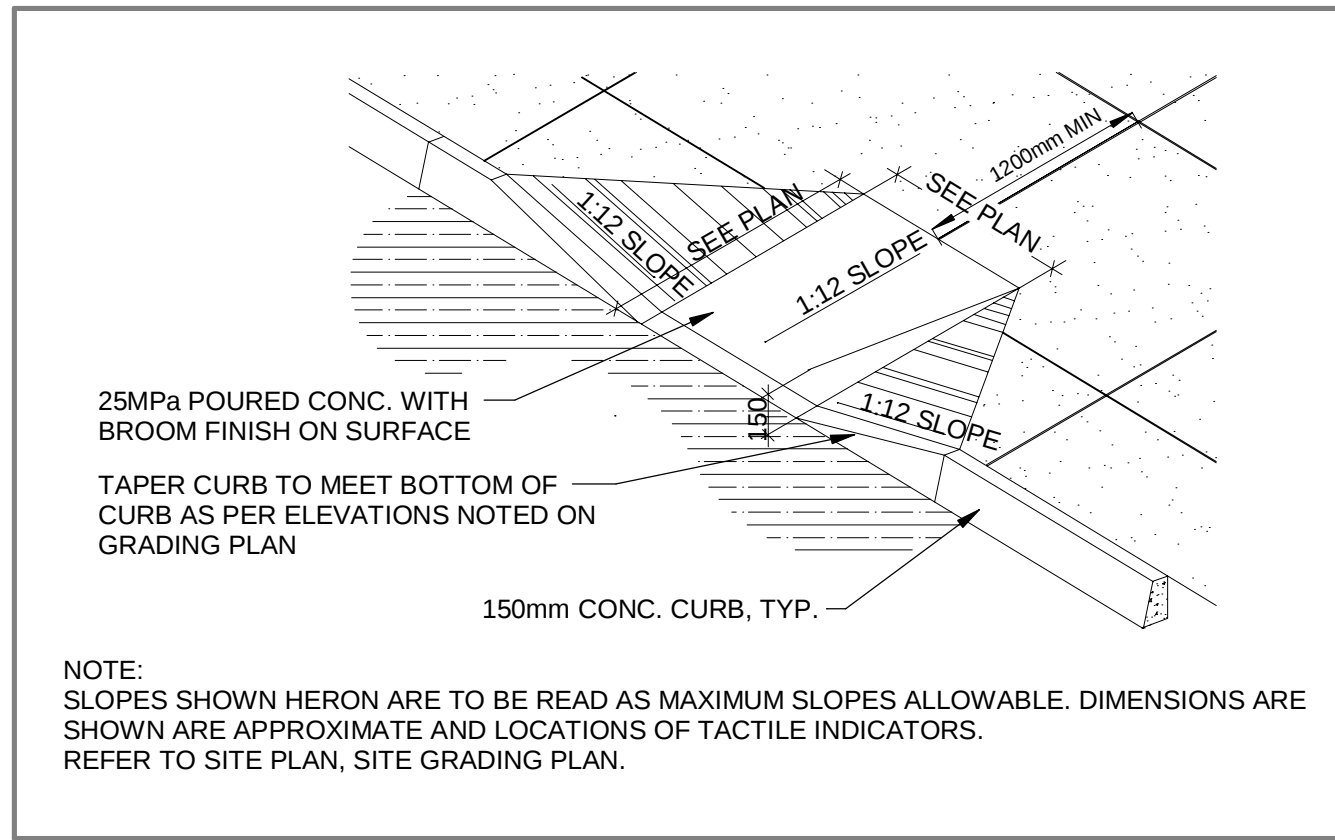
*TWSI = TACTILE WARNING SURFACE INDICATOR



NOTE:
1. ALL DIMENSIONS ARE IN MILLIMETERS.
2. SIGNS TO BE PER LOCAL JURISDICTION REQUIREMENTS.
3. ALL SIGNS TO BE HEAVY GAUGE ALUMINUM C/W WHITE REFLECTIVE BACKGROUND.
UNLESS OTHERWISE NOTED IN THE L.J. REQUIREMENTS.
4. REFER TO DRAWINGS AND FOR LOCATIONS.
5. ON-SITE VEHICULAR SIGNAGE TO BE MOUNTED ON GALVANIZED HEAVY GAUGE PERFORATED U-CHANNEL OR SQUARE PROFILE SIGN POST. BOTTOM OF SIGN MOUNTED NO LESS THAN 2100MM ABOVE GRADE. POST DRIVEN NO LESS THAN 1200MM BELOW GRADE. SIGNPOST PLACEMENT SHOULD MAINTAIN A CLEARANCE OF 1500MM FROM BUILDING FACE TO BACK OF SIGN.

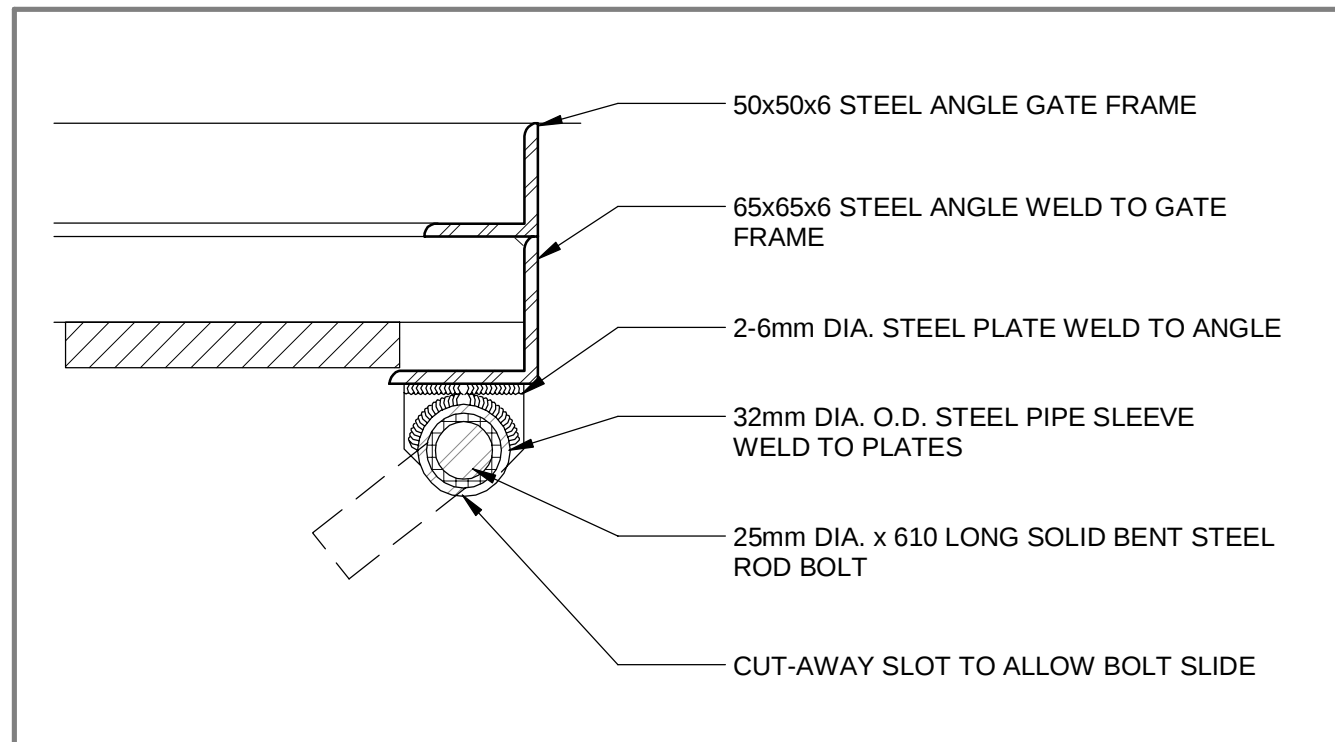
4 | DETAIL - SITE SIGN DESIGNATIONS

AS-103 | REF: Scale: 1 : 5



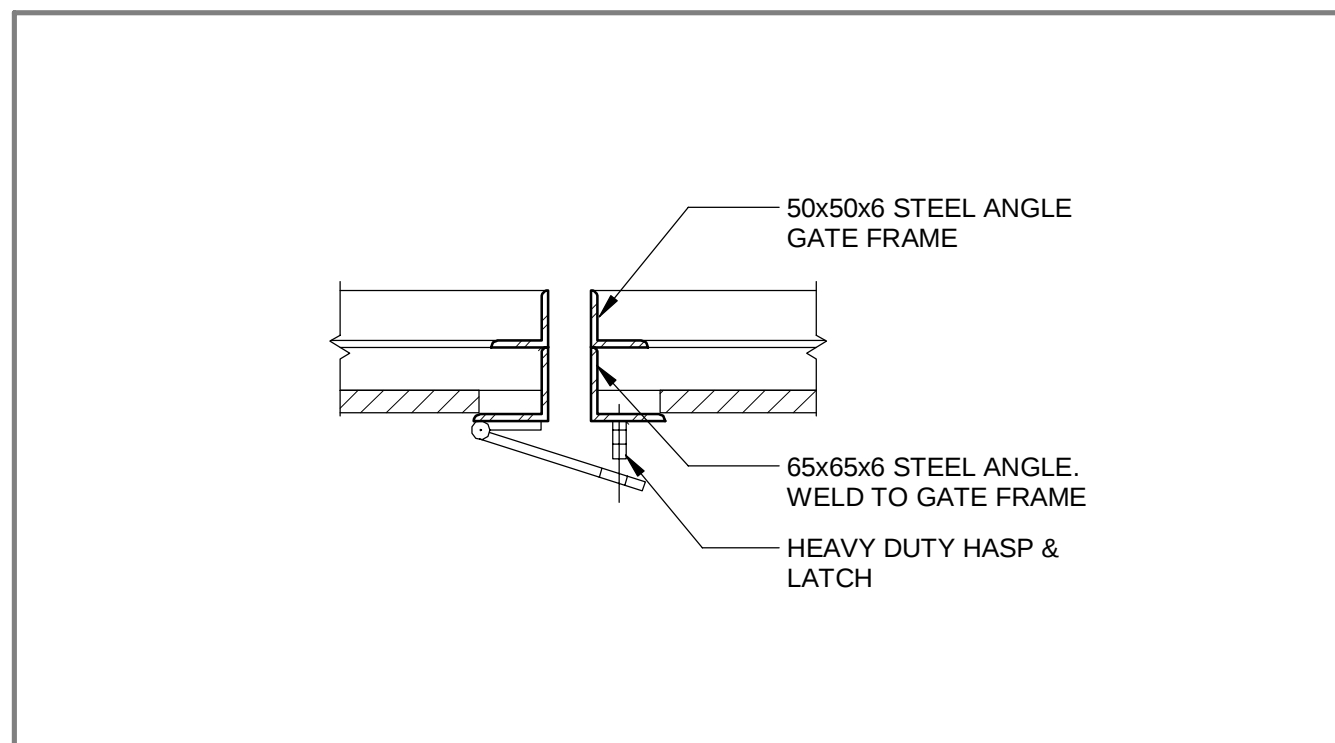
11 | DETAIL - DEPRESSED CURB

AS-103 | REF: Scale: 1 : 50



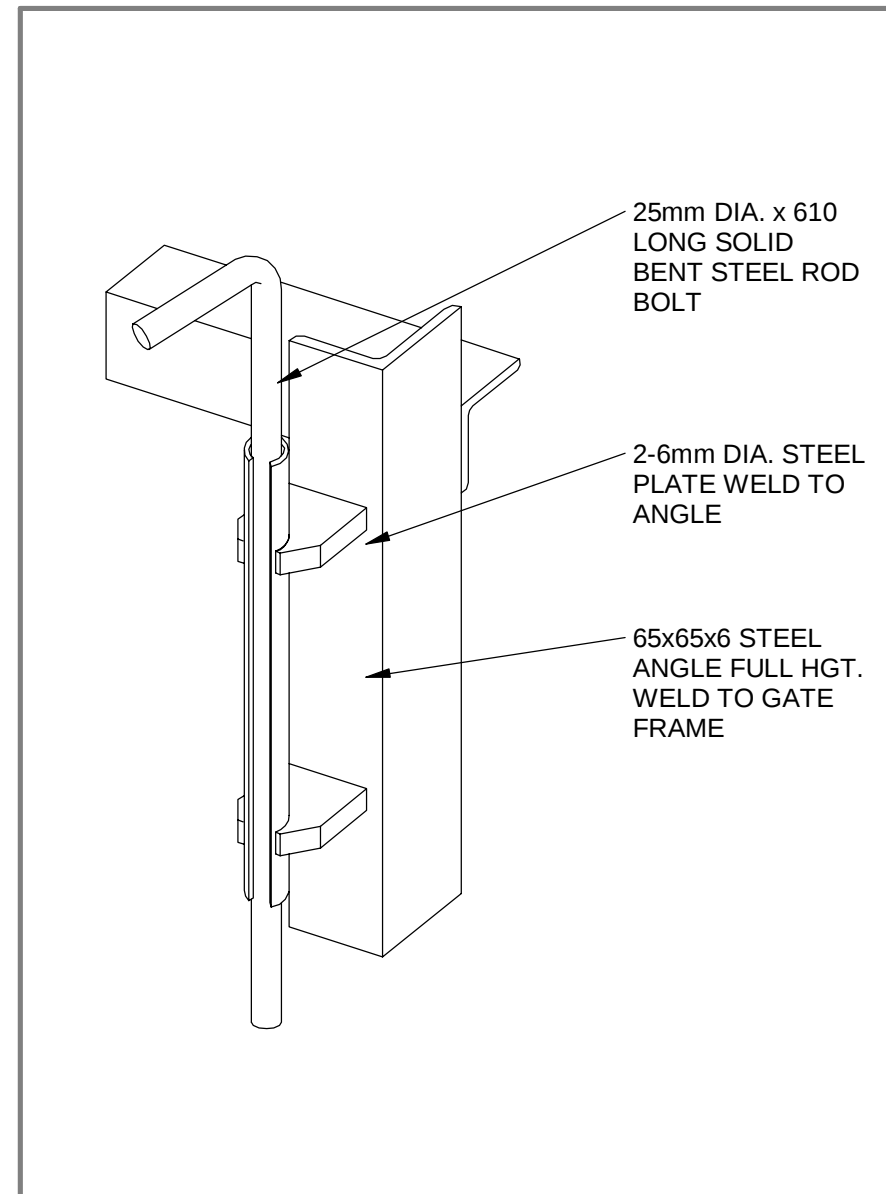
10 | PLAN DETAIL - CANE BOLT

AS-103 | REF: Scale: 1 : 25



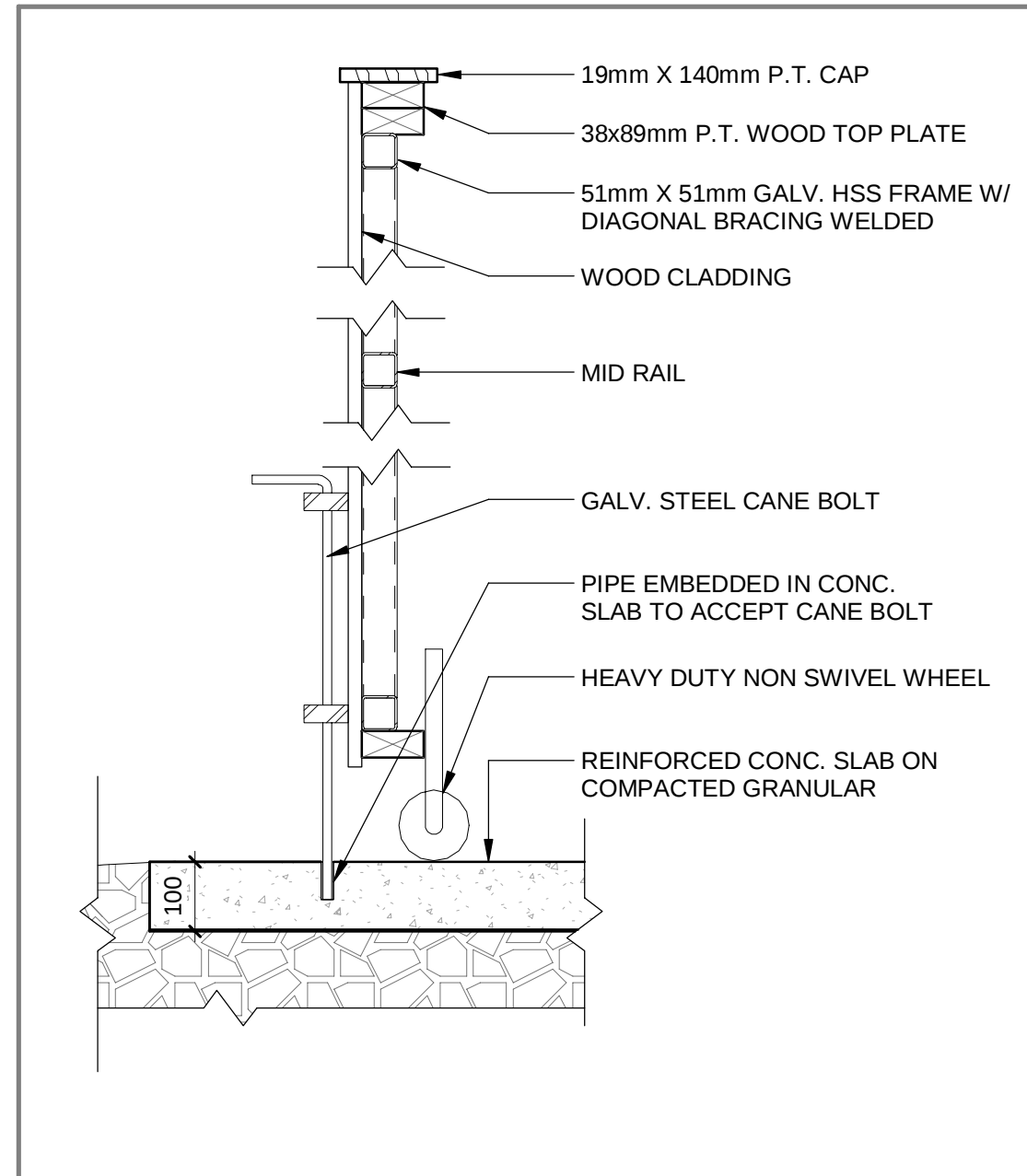
9 | PLAN DETAIL - HASP & LATCH

AS-103 | REF: Scale: 1 : 50



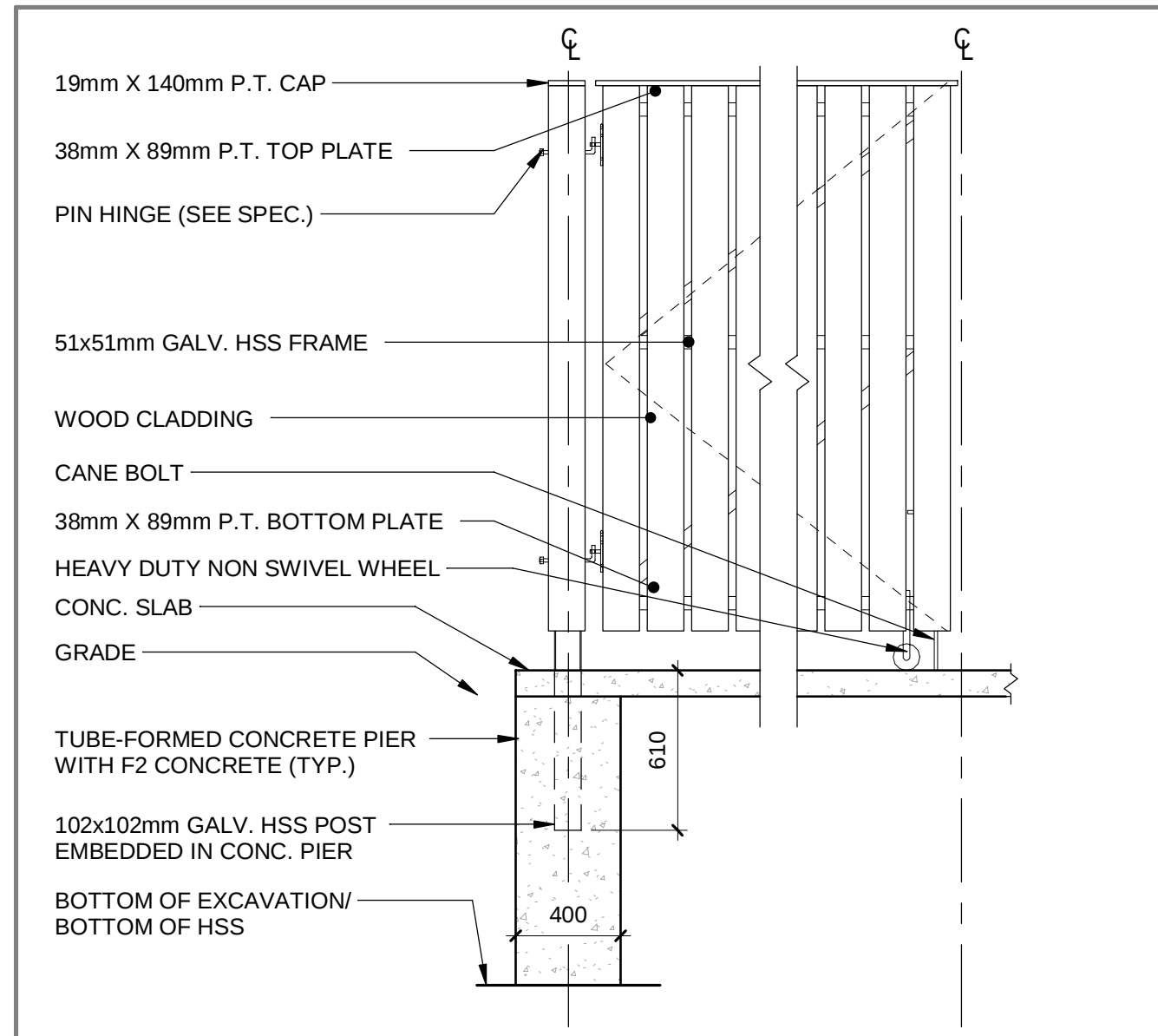
8 | ISOMETRIC DETAIL - CANE BOLT

AS-103 | REF: Scale: 1 : 25



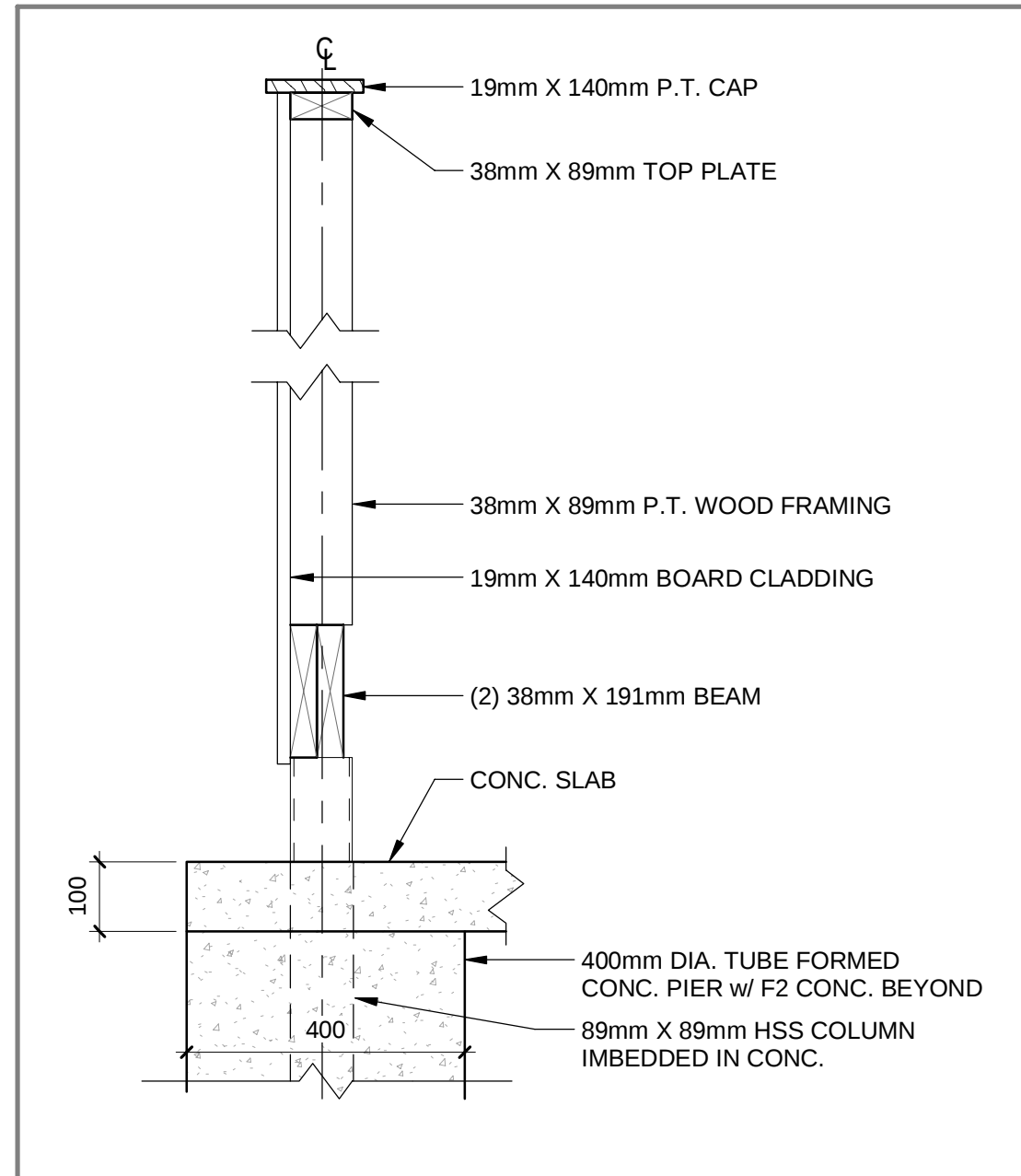
7 | SECTION DETAIL - GATE

AS-103 | REF: Scale: 1 : 10



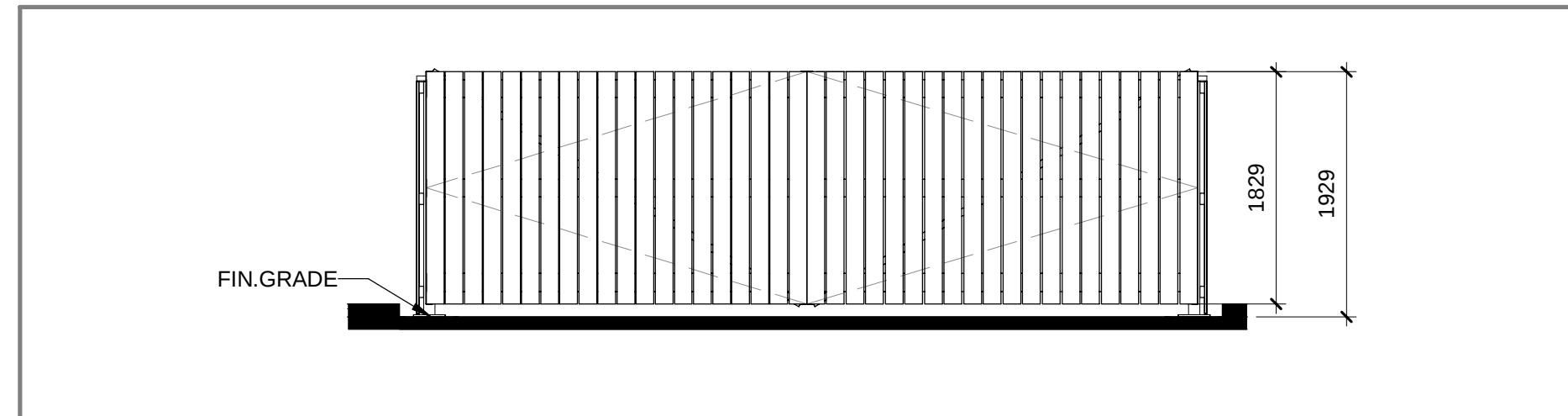
6 | ELEVATION DETAIL - GATE

AS-103 | REF: Scale: 1 : 25



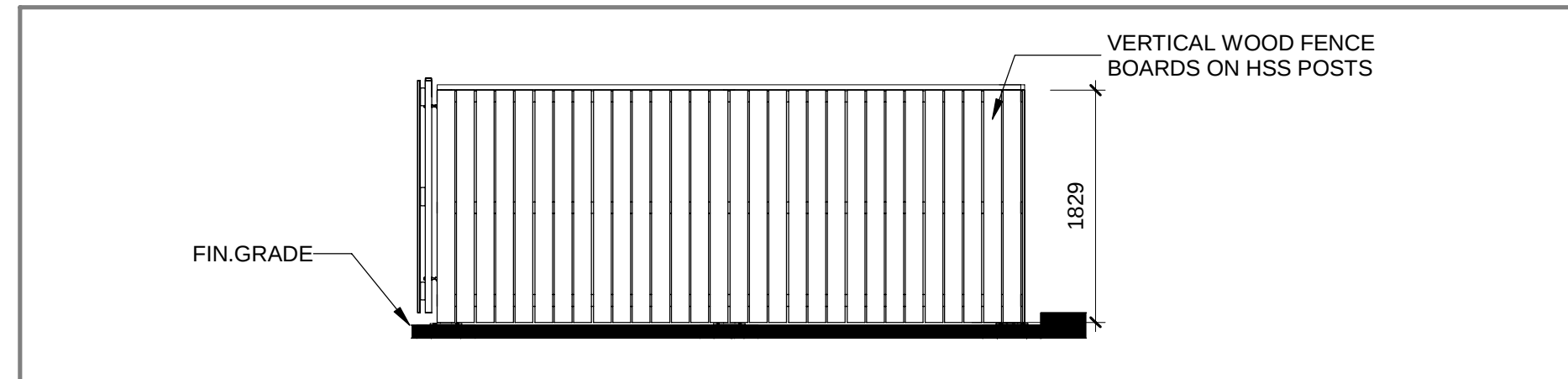
5 | SECTION DETAIL - FENCE

AS-103 | REF: Scale: 1 : 10



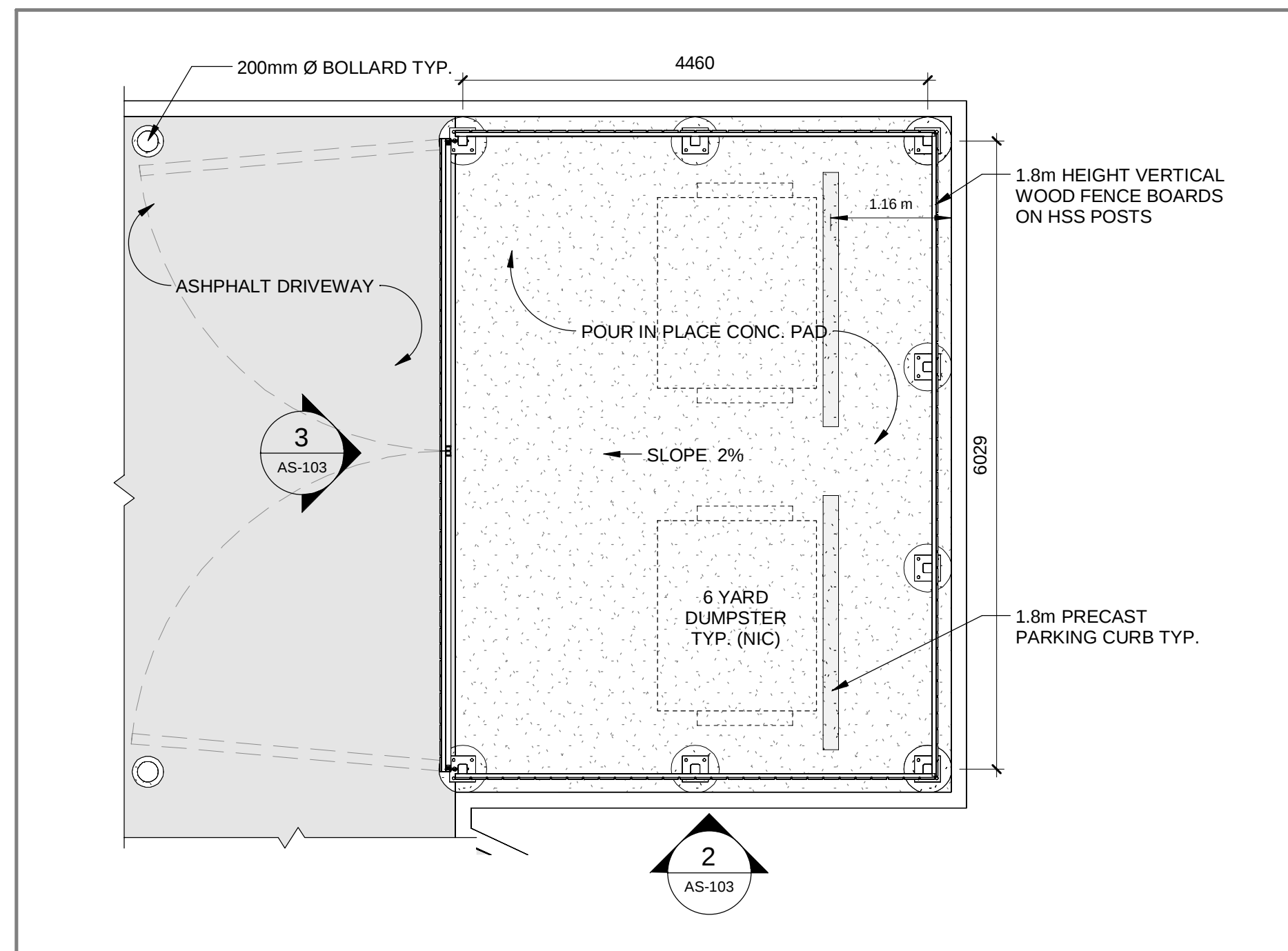
3 | GATE VIEW - GARBAGE ENCLOSURE

AS-103 | REF: AS-103 Scale: 1 : 50



2 | SIDE VIEW - GARBAGE ENCLOSURE

AS-103 | REF: AS-103 Scale: 1 : 50



1 | ENLARGED PLAN - GARBAGE ENCLOSURE

AS-103 | REF: AS-102 Scale: 1 : 50

ISSUE / REVISIONS

1	FOR ZONE BY-LAW AMENDMENT	JUL.13.23
2	FOR CLASS B ESTIMATE	SEP.23.23
3	FOR SITE PLAN APPROVAL	DEC.19.23
4	ISSUED FOR COST ESTIMATE	MAY.03.24
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DESIGN DEVELOPMENT

PROJECT No. 22-100
START DATE FEB 01, 2022

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Humane Society

REGIONAL CENTRE
FOR PETS & PEOPLE

135 Sandford Fleming Dr.,
Collingwood, ON

SITE DETAILS

GENERAL NOTES:

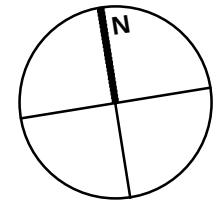
1. REFER TO A-100 FOR FLOOR SLOPES

SEPARATE PRICE No.1



1 GROUND FLOOR PLAN OVERALL

A-101 REF: A-201 Scale: 1 : 100



Unity

Unity Design Studio Inc.

43A Hurontario Street
Collingwood, ON L9Y 2L7

705 743 3311
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ISSUE / REVISIONS

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5	ISSUED FOR COST ESTIMATE	MAY.3.24
6	RE-ISSUED FOR SPA	MAY.29.24
7	RE-ISSUED FOR SPA #2	SEP.27.24
8	RE-ISSUED FOR SPA #3	DEC.18.24

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CONSTRUCTION DOCUMENTS

PROJECT No. 22-100
START DATE FEB 2022

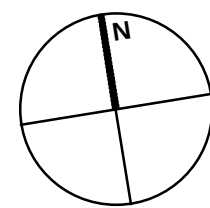
The Georgian Triangle
Humane Society

REGIONAL CENTRE
FOR PETS & PEOPLE

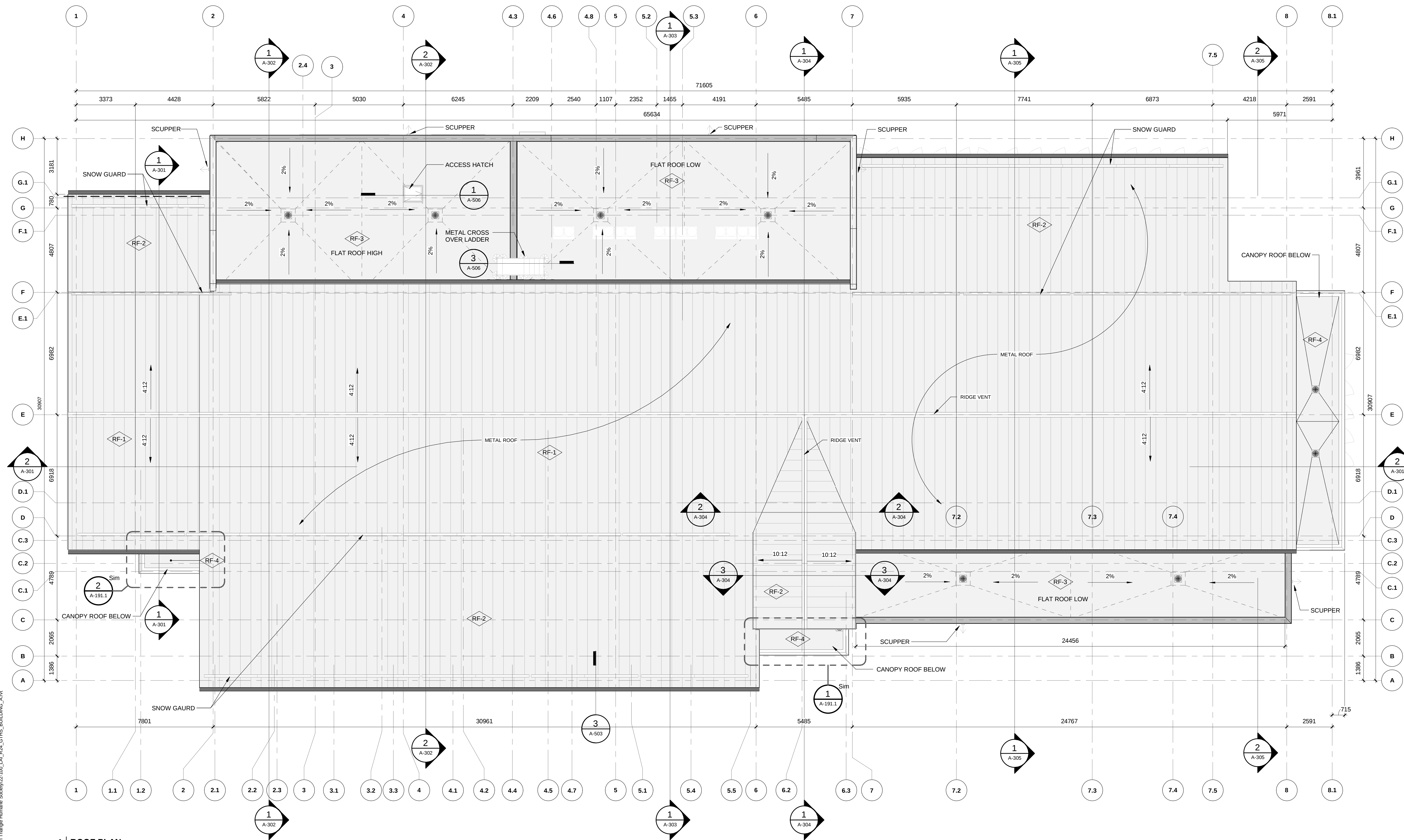
135 Sandford Fleming Dr.
Collingwood, ON
L9Y 5A6

GROUND FLOOR PLAN
OVERALL

A-101



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43A Hurontario Street
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info@unitydesignstudio.ca



ISSUE / REVISIONS		
1	FOR ZONE BY-LAW AMENDMENT	JULY.13.23
2	FOR CLASS B ESTIMATE	SEP.23.23
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ROOF PLAN

A-191

1 | ROOF PLAN
A-191 | REF: A-201 | Scale: 1 : 100

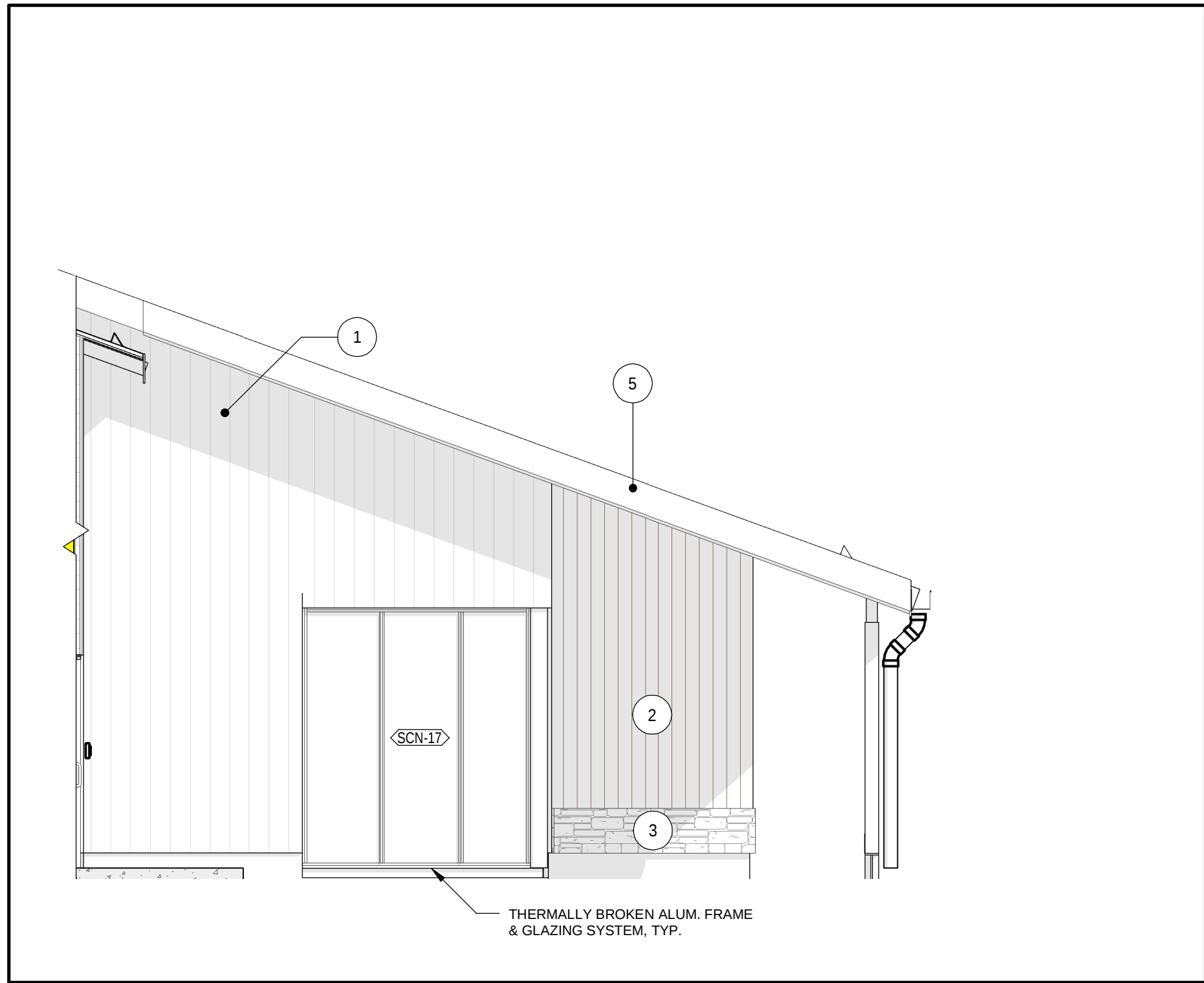


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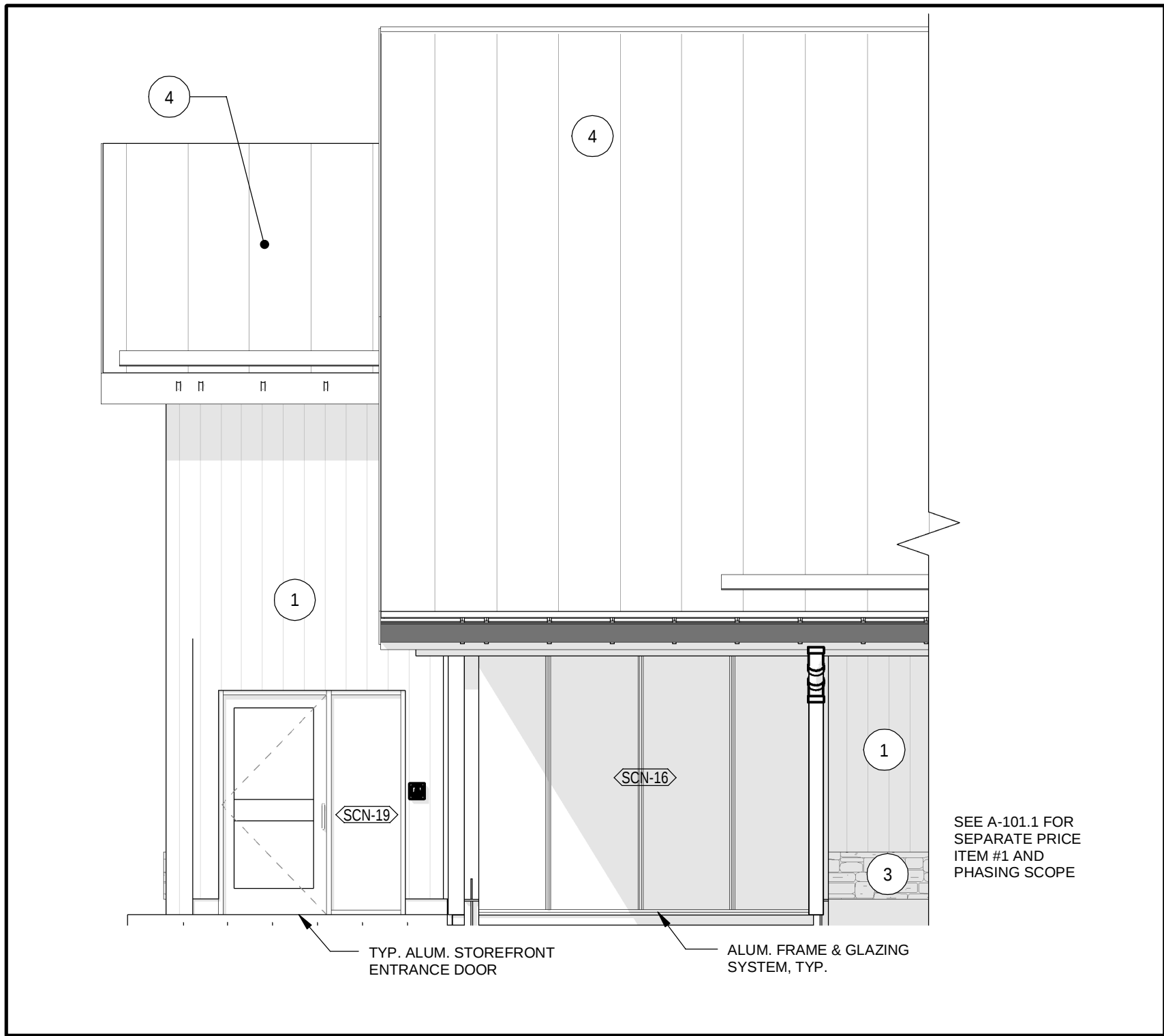
6 | SOUTH ELEVATION PHASE 2

A-201 REF: A-101 Scale: 1 : 100



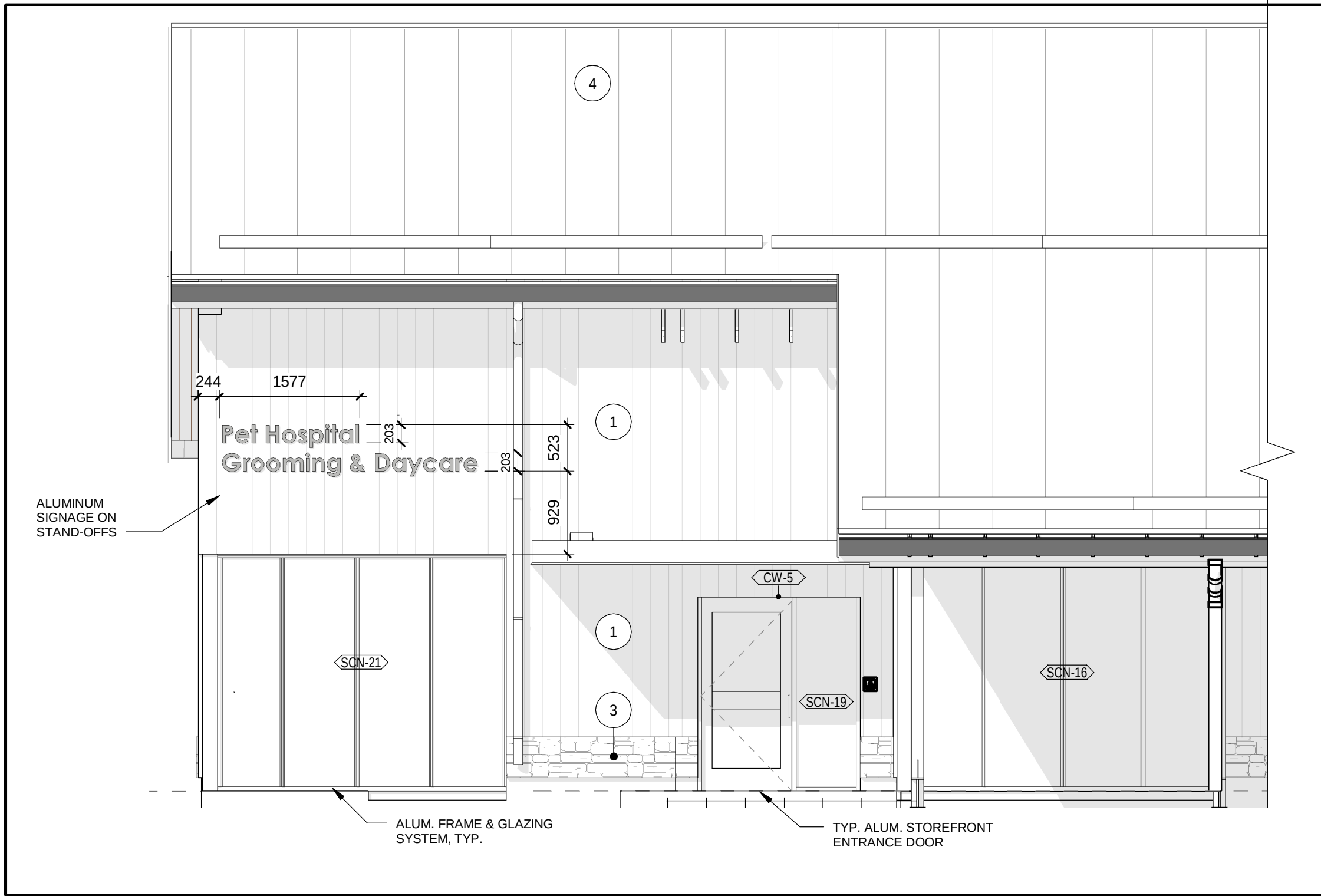
5 | SW CORNER

A-201 REF: A-101.1 Scale: 1 : 50



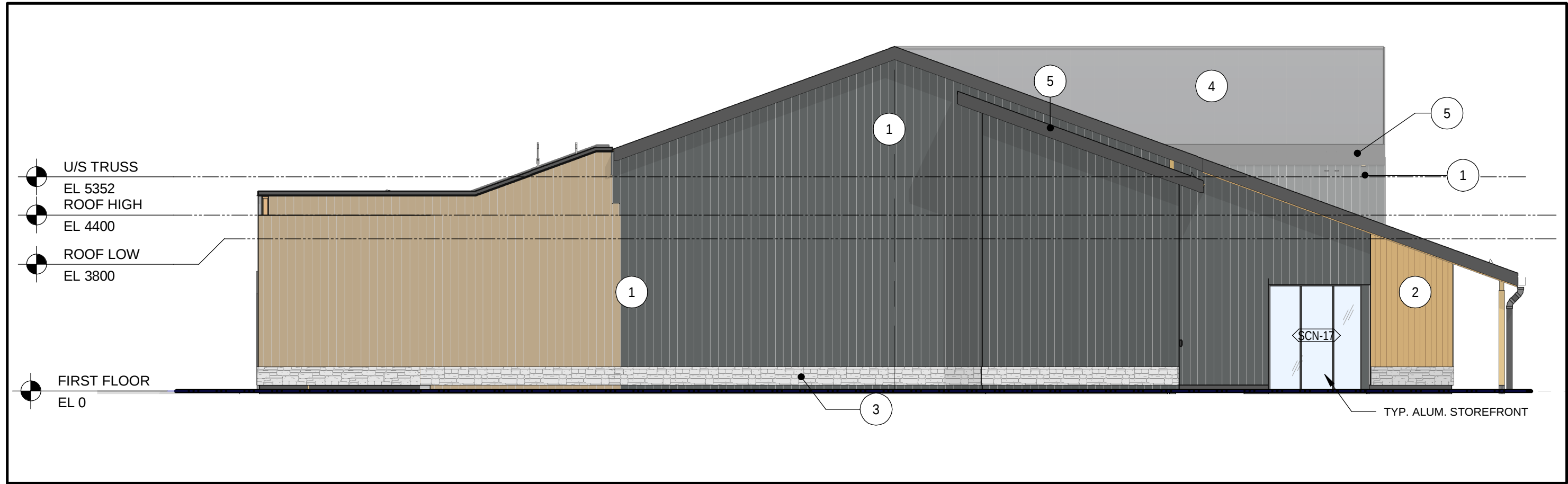
4 | SW CORNER PHASE 1

A-201 REF: A-101.1 Scale: 1 : 50



3 | SW CORNER PHASE 2

A-201 REF: A-101 Scale: 1 : 50



2 | WEST ELEVATION PHASE 1

A-201 REF: A-101.1 Scale: 1 : 100



1 | WEST ELEVATION PHASE 2

A-201 REF: Scale: 1 : 100

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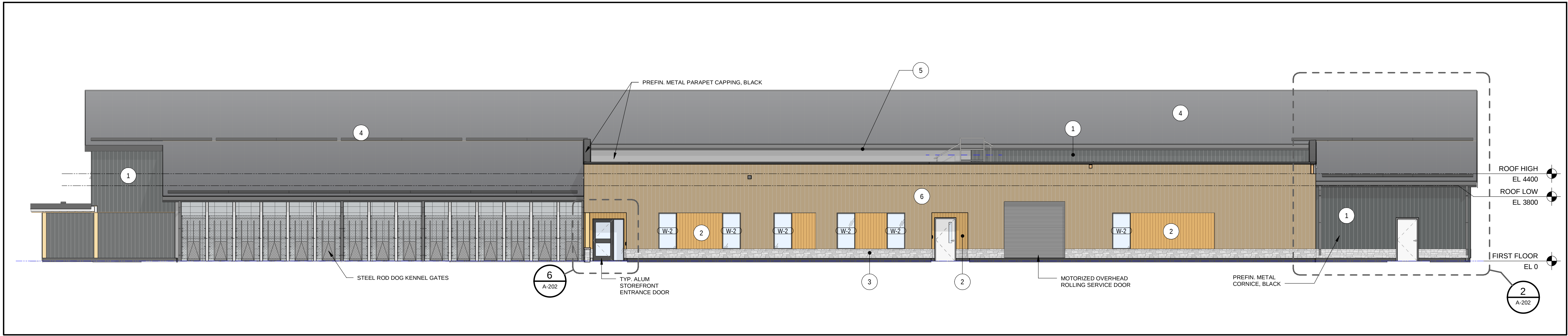
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Collingwood, ON
L9Y 5A6

BUILDING ELEVATIONS
SOUTH AND WEST

A-201





5 | PET HOSPITAL ENTRANCE PHASE 1
A-203 | REF: NTS



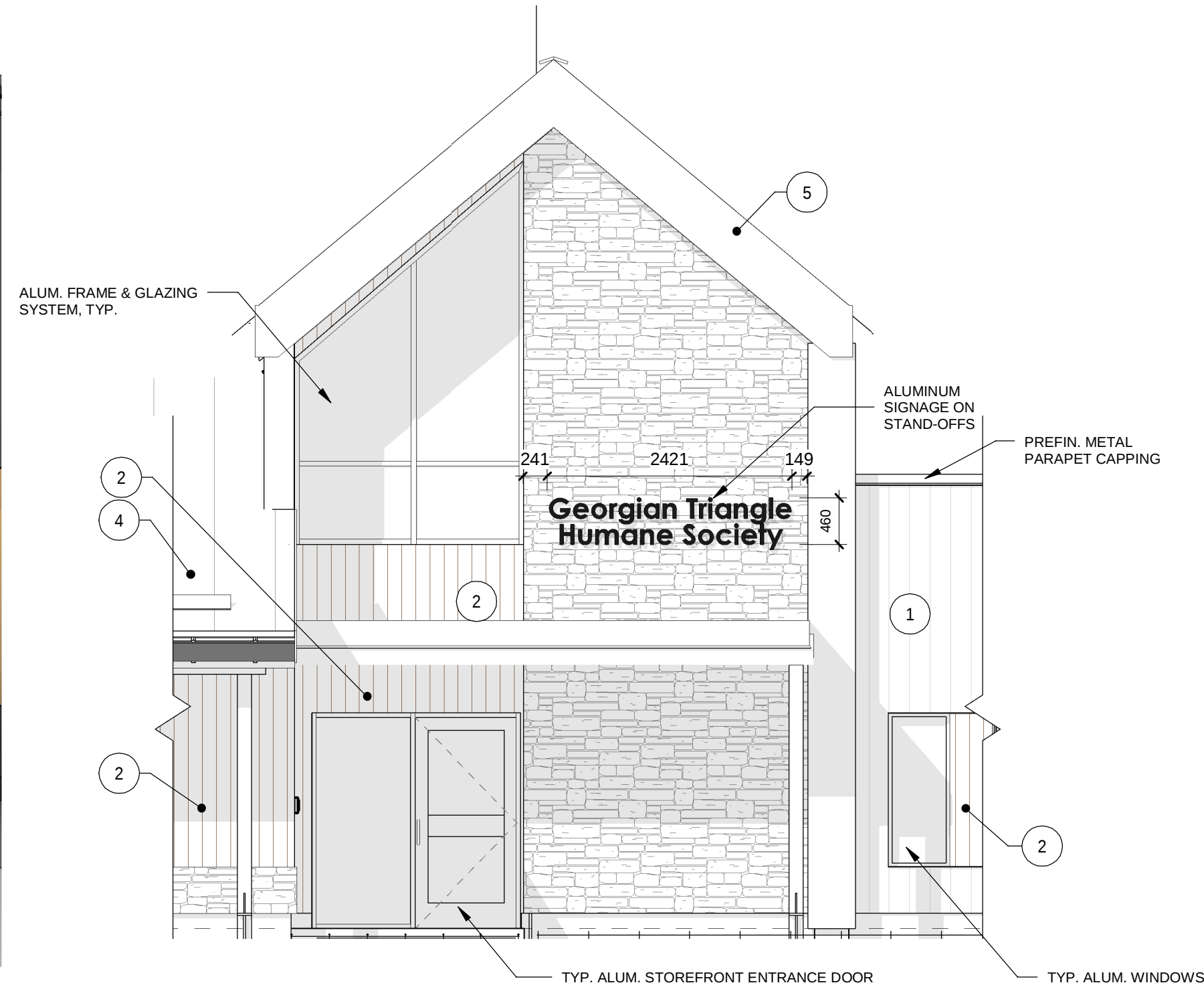
4 | 3D VIEW DORMER SE
A-203 | REF: Scale:



3 | PET HOSPITAL ENTRANCE PHASE 2
A-203 | REF: Scale:



2 | MAIN ENTRANCE
A-203 | REF: Scale:



1 | DORMER
A-203 | REF: A-201 Scale: 1 : 50

EXTERIOR MATERIALS	
1	VERT. METAL SIDING, 7/8" CORRUGATED PROFILE - EBONY
2	T&G VERTICAL WOOD PLANK, CEDAR #1 CLEAR - BUTTERNUT STAIN
3	THIN STONE VENEER, GLASGOW VALLEY
4	METAL STANDING SEAM ROOF, LEGACY PROFILE - DARK GREY
5	METAL STANDING SEAM TRIM- DARK GRAPHITE
6	VERT. METAL SIDING, 7/8" CORRUGATED PROFILE - TAN



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Humane Society
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135 Sandford Fleming Dr,
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L9Y 5A6

BUILDING ELEVATIONS
- ENLARGED

A-203



EXTERIOR RENDERING: SOUTH EAST FACADE



EXTERIOR RENDERING: SOUTH FACADE FROM PARKING LOT



EXTERIOR RENDERING: HUMANE SOCIETY ENTRANCE



EXTERIOR RENDERING: PET HOSPITAL AND DOGGY DAYCARE ENTRANCE

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RENDERINGS

A-901