

629 HURONTARIO STREET

TOWN OF
COLLINGWOOD
COUNTY OF SIMCOE



MUNICIPALITY

TOWN OF COLLINGWOOD
97 HURONTARIO STREET – P.O BOX 157
COLLINGWOOD, ONTARIO, L9Y 3Z5

DEVELOPER

DR. SUSAN O'TOOLE
6075 27/28 NOTTAWASAGA SIDEROAD
STAYNER, ONTARIO, L0M 1S0

ENGINEER/LANDSCAPE ARCHITECT

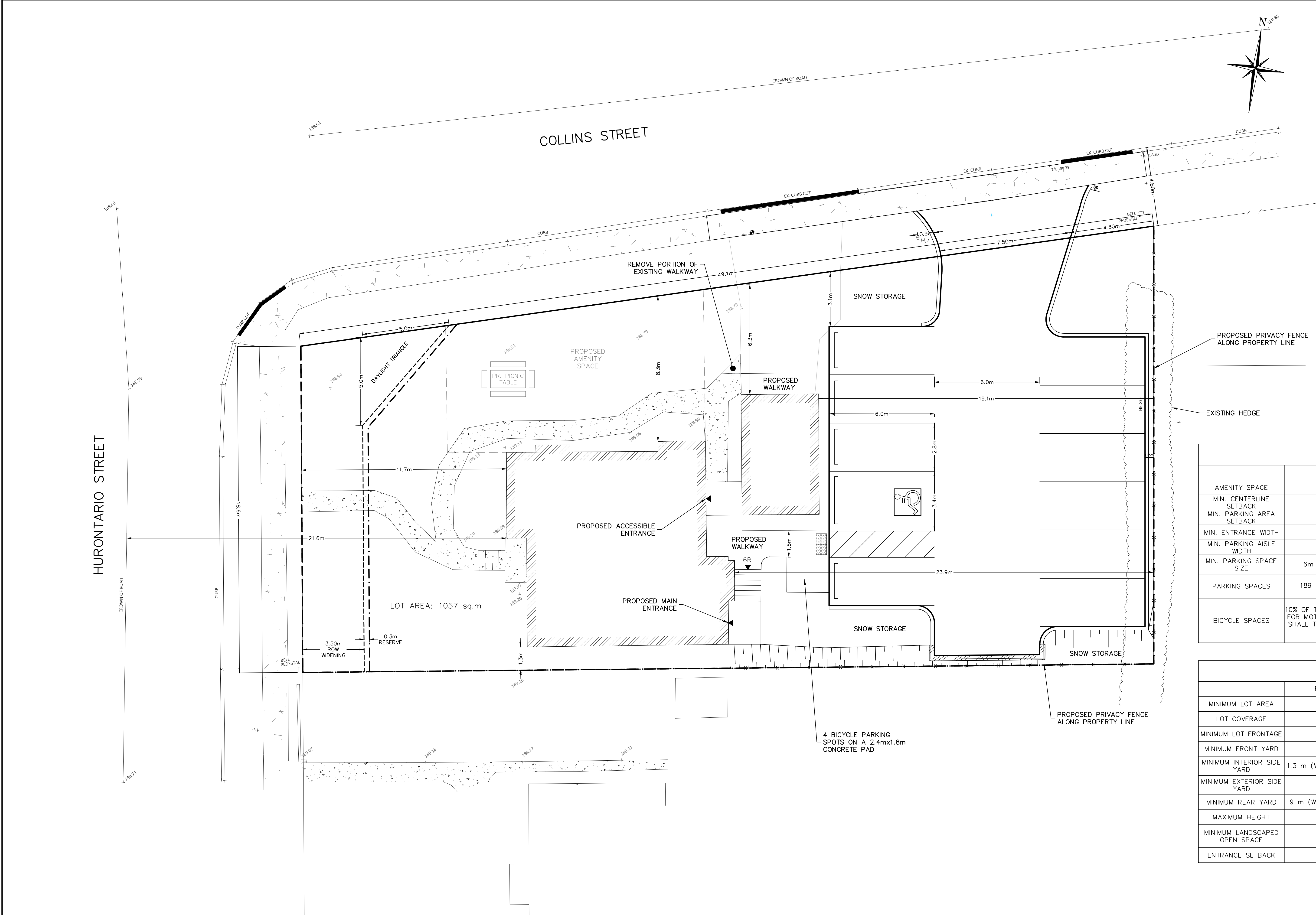


70 HURON STREET, SUITE 100
COLLINGWOOD, ON, L9Y 4L4
705-446-3510
WWW.CFCROZIER.CA

SHEET NUMBER	SHEET TITLE
C101	SITE PLAN
C102	REMOVALS AND EROSION & SEDIMENT CONTROL PLAN
C103	SERVICING PLAN
C104	GRADING PLAN
C105	STANDARD NOTES AND DETAILS
C106	STANDARD NOTES AND DETAILS
E100	SITE PLAN – PHOTOMETRIC
E101	SITE LIGHTING DETAILS
LP-1	LANDSCAPE PLAN
LD-1	LANDSCAPE DETAILS

MASTER LEGEND	
EXISTING FEATURES (EX.)	
	EX. PROPERTY LIMITS
	EX. CONTOUR
	EX. GRADE
	EX. TREELINE
	EX. WATERCOURSE
	EX. DITCH
	EX. WATERMAIN
	EX. WATER SERVICE
	EX. FIRE HYDRANT & VALVE
	EX. SANITARY SEWER & MANHOLE
	EX. SANITARY FORCEMAIN
	EX. SANITARY SERVICE
	EX. STORM SEWER & MANHOLE
	EX. STORM CATCHBASIN
	EX. STORM DOUBLE CATCHBASIN
	EX. STORM CATCHBASIN MANHOLE
	EX. STORM DOUBLE CATCHBASIN MANHOLE
	EX. GAS MAIN
	EX. BELL LINE
	EX. BELL PEDESTAL
	EX. CABLE TELEVISION PEDESTAL
	EX. HYDRO POLE
	EX. LIGHT STANDARD
	EX. SIGN
	EX. BUILDING
	EX. BENCHMARK NUMBER & LOCATION
	EX. BOREHOLE NUMBER & LOCATION
	EX. CONCRETE WALKWAY
	EX. CONCRETE SIDEWALK
	EX. SANITARY SERVICE LATERAL
	EX. WATER SERVICE LATERAL
	EX. CATCHBASIN
	EX. STORM SEWER
PROPOSED FEATURES (PR.)	
	PR. PROPERTY LIMITS
	PR. ELEVATION
	PR. ELEVATION (MATCH EX. ELEVATION)
	PR. SWALE & SLOPE
	PR. TOP OF CURB
	PR. BOTTOM OF CURB
	PR. DITCH DRAINAGE
	PR. WATERMAIN & VALVE
	PR. WATER SERVICE
	PR. FIRE HYDRANT & VALVE
	PR. WATER VALVE CHAMBER
	PR. WATER QUALITY TESTING STATION
	PR. SANITARY SEWER & MANHOLE
	PR. SANITARY FORCEMAIN
	PR. SANITARY SERVICE
	PR. SANITARY CATCHMENT
	PR. CATCHMENT AREA ID
	PR. AREA (ha)
	PR. POPULATION (3.5 p.p.u.)
	PR. STORM SEWER & MANHOLE
	PR. CATCHBASIN
	PR. DOUBLE CATCHBASIN
	PR. CATCHBASIN MANHOLE
	PR. DOUBLE CATCHBASIN MANHOLE
	PR. STORM CATCHMENT
	PR. CATCHMENT AREA ID
	PR. RUNOFF COEFFICIENT
	PR. DRAINAGE AREA (ha)
	PR. CURB CUT
	PR. CANADA POST COMMUNITY MAIL BOX
	PR. TRANSFORMER
	PR. STOP SIGN
	PR. NAME SIGN
	PR. NO PARKING SIGN
	PR. ACCESSIBLE PARKING RB-93
	PR. FENCE
	PR. BUILDING ENVELOPE
	PR. LIGHT DUTY SILT FENCE
	PR. HEAVY DUTY SILT FENCE
	PR. STRAW BALE CHECK FLOW
	PR. ROCK CHECK DAM
	PR. SLOPE (3:1 MAX.)
	PR. TREE PRESERVATION AREA
	PR. TOPSOIL STOCKPILE LOCATION
	PR. WALKWAY
	PR. BICYCLE PARKING
	PR. ACCESSIBLE PARKING
	PR. TACTILE PLATE

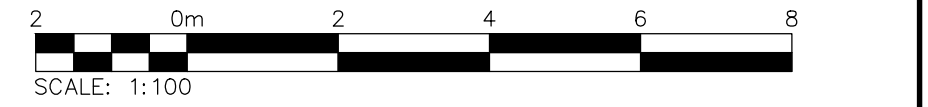
PROJECT No.: 2361-7140
3RD SPA SUBMISSION



LEGEND	
---	PROPERTY LIMITS
--- X --- X ---	EX. BOARD FENCE
---	AMENITY SPACE
o	EX. HYDRO POLE
[Hatched Box]	EX. DECK
[Stippled Box]	EX. CONCRETE WALKWAY
[Patterned Box]	EX. CONCRETE SIDEWALK
[Patterned Box]	PR. WALKWAY
--- X --- X ---	PR. PRIVACY FENCE

SITE STATISTICS		
	REQUIRED (C4 Zone)	PROVIDED
AMENITY SPACE	16 m ²	118 m ²
MIN. CENTERLINE SETBACK	15m	21.6m
MIN. PARKING AREA SETBACK	3m	3.1m
MIN. ENTRANCE WIDTH	7.5m	7.5m
MIN. PARKING AISLE WIDTH	6m	6m
MIN. PARKING SPACE SIZE	6m (LENGTH) x 2.8m (WIDTH)	6m (LENGTH) x 2.8m (WIDTH)
PARKING SPACES	189 sqm OF GFA = 10 SPACES	11 SPACES, INCLUDING 1 BARRIER FREE SPACE
BICYCLE SPACES	10% OF THE REQUIRED PARKING SPACES FOR MOTOR VEHICLES BUT IN NO CASE SHALL THE REQUIRED BICYCLE SPACES BE LESS THAN 4	4 SPACES

SITE STATISTICS		
	REQUIRED (C4-6 Zone)	PROVIDED
MINIMUM LOT AREA	1000 m ²	1057 m ²
LOT COVERAGE	MAX. 423 m ² (40%)	158 m ²
MINIMUM LOT FRONTAGE	18 m	18.6 m
MINIMUM FRONT YARD	6 m	11.7 m
MINIMUM INTERIOR SIDE YARD	1.3 m (WITH 0.5 m FOR LANDSCAPING)	1.3 m
MINIMUM EXTERIOR SIDE YARD	6 m	6.3 m
MINIMUM REAR YARD	9 m (WITH 0.5 m FOR LANDSCAPING)	19.1 m
MAXIMUM HEIGHT	15 m	1.5 STOREYS
MINIMUM LANDSCAPED OPEN SPACE	10%	45.50%
ENTRANCE SETBACK	4.8 m	4.8 m



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- DO NOT SCALE DRAWINGS.

TEMPORARY BENCHMARKS
TBM#1-CUT CROSS IN SIDEWALK ELEVATION (188.74m)
SURVEY BY VAN HARTEN SURVEYING INC. (DECEMBER 2022)

Town

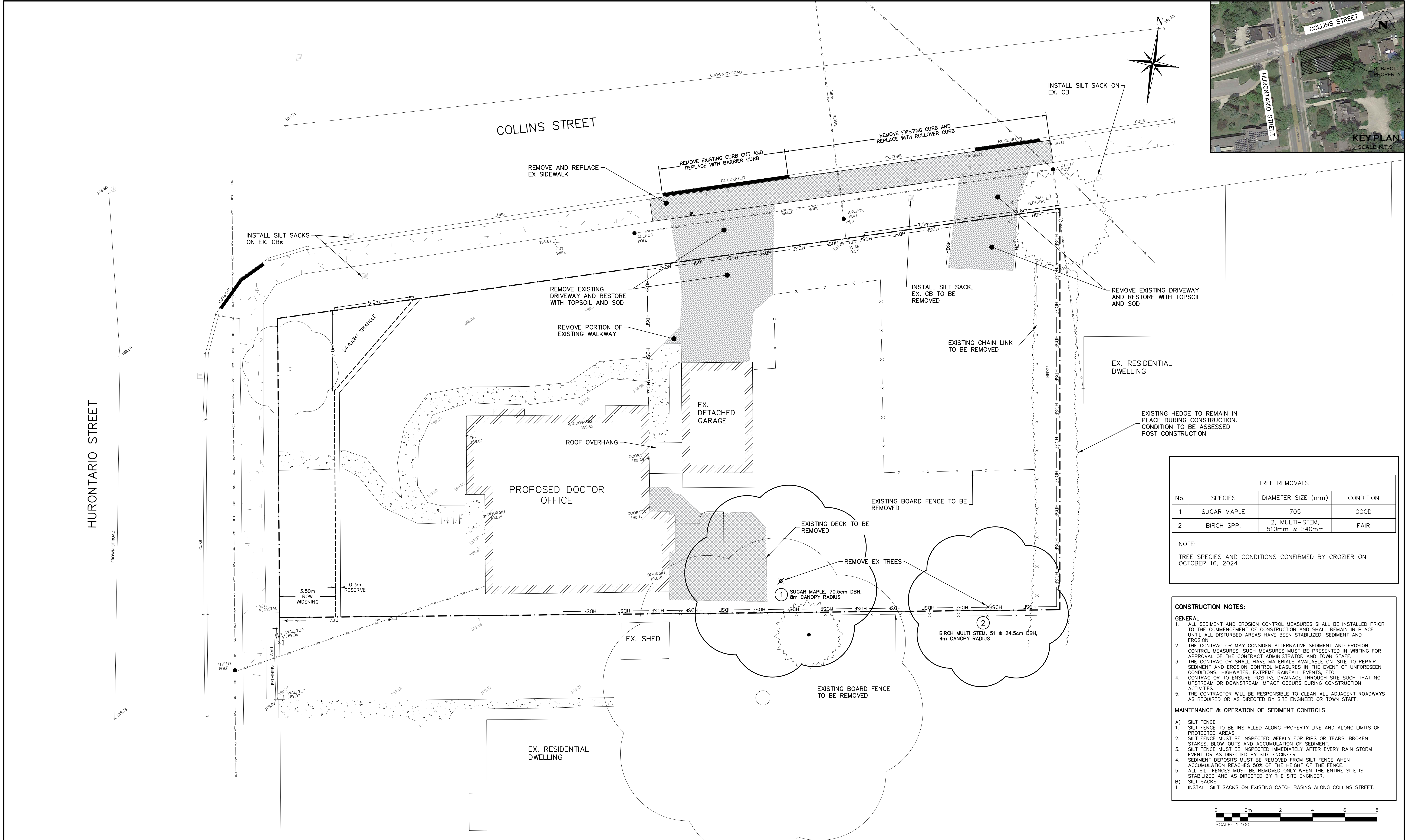
No.	ISSUE	DATE: YYYY/MM/DD
0	ISSUED FOR 1ST SUBMISSION (OPA/ZBA)	2023/08/23
1	ISSUED FOR 1ST SUBMISSION (SPA)	2024/07/26
2	ISSUED FOR 2ND SUBMISSION (SPA)	2024/10/18
3	ISSUED FOR 3RD SUBMISSION (SPA)	2025/01/07
4	RE-ISSUED FOR 3RD SUBMISSION (SPA)	2025/01/22
5	ISSUED FOR 4TH SUBMISSION (SPA)	2025/02/11

FOR APPROVAL
NOT TO BE USED FOR CONSTRUCTION

Project: 629 HURONTARIO STREET
TOWN OF COLLINGWOOD
Drawing: SITE PLAN

**CROZIER**
CONSULTING ENGINEERS

Drawn By: D.K. Design By: D.K./G.C. Project: 2361-7140
Check By: G.C. Drawing: C101



TREE REMOVALS			
No.	SPECIES	DIAMETER SIZE (mm)	CONDITION
1	SUGAR MAPLE	705	GOOD
2	BIRCH SPP.	2, MULTI-STEM, 510mm & 240mm	FAIR

NOTE:
TREE SPECIES AND CONDITIONS CONFIRMED BY CROZIER ON OCTOBER 16, 2024

- CONSTRUCTION NOTES:**
- GENERAL**
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED. SEDIMENT AND EROSION.
 - THE CONTRACTOR MAY CONSIDER ALTERNATIVE SEDIMENT AND EROSION CONTROL MEASURES. SUCH MEASURES MUST BE PRESENTED IN WRITING FOR APPROVAL OF THE CONTRACT ADMINISTRATOR AND TOWN STAFF.
 - THE CONTRACTOR SHALL HAVE MATERIALS AVAILABLE ON-SITE TO REPAIR SEDIMENT AND EROSION CONTROL MEASURES IN THE EVENT OF UNFORESEEN CONDITIONS: HIGHWATER, EXTREME RAINFALL EVENTS, ETC.
 - CONTRACTOR TO ENSURE POSITIVE DRAINAGE THROUGH SITE SUCH THAT NO UPSTREAM OR DOWNSTREAM IMPACT OCCURS DURING CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR WILL BE RESPONSIBLE TO CLEAN ALL ADJACENT ROADWAYS AS REQUIRED OR AS DIRECTED BY SITE ENGINEER OR TOWN STAFF.
- MAINTENANCE & OPERATION OF SEDIMENT CONTROLS**
- A) SILT FENCE**
- SILT FENCE TO BE INSTALLED ALONG PROPERTY LINE AND ALONG LIMITS OF PROTECTED AREAS.
 - SILT FENCE MUST BE INSPECTED WEEKLY FOR RIPS OR TEARS, BROKEN STAKES, BLOW-OUTS AND ACCUMULATION OF SEDIMENT.
 - SILT FENCE MUST BE INSPECTED IMMEDIATELY AFTER EVERY RAIN STORM EVENT OR AS DIRECTED BY SITE ENGINEER.
 - SEDIMENT DEPOSITS MUST BE REMOVED FROM SILT FENCE WHEN ACCUMULATION REACHES 50% OF THE HEIGHT OF THE FENCE.
 - ALL SILT FENCES MUST BE REMOVED ONLY WHEN THE ENTIRE SITE IS STABILIZED AND AS DIRECTED BY THE SITE ENGINEER.
- B) SILT SACKS**
- INSTALL SILT SACKS ON EXISTING CATCH BASINS ALONG COLLINS STREET.

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4. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

5. DO NOT SCALE DRAWINGS.

TEMPORARY BENCHMARKS

TBM#1-CUT CROSS IN SIDEWALK - ELEV. 188.74m

LEGAL AND TOPOGRAPHIC SURVEY BY VAN HARTEN SURVEYING INC. (DECEMBER 5, 2022)

Town

No.	ISSUE	DATE: YYYY/MM/DD
1	ISSUED FOR 1st SUBMISSION (SPA)	2024/07/26
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Engineer

Engineer

Project

629 HURONTARIO STREET
TOWN OF COLLINGWOOD

Drawing

REMOVALS AND EROSION & SEDIMENT CONTROL
PLAN

Drawn By

M.R./D.K.

Design By

D.K./G.C.

Project

2361-7140

Check By

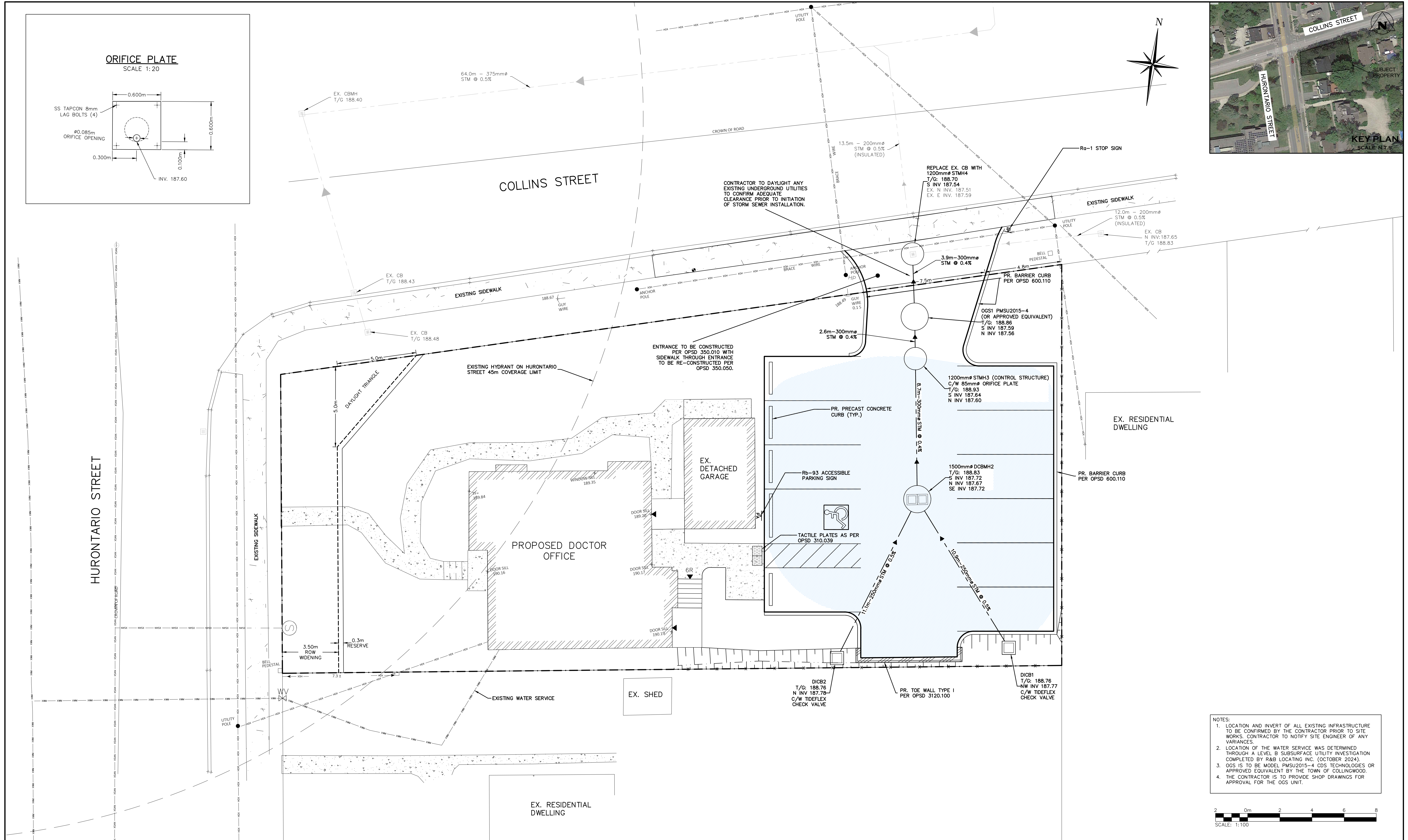
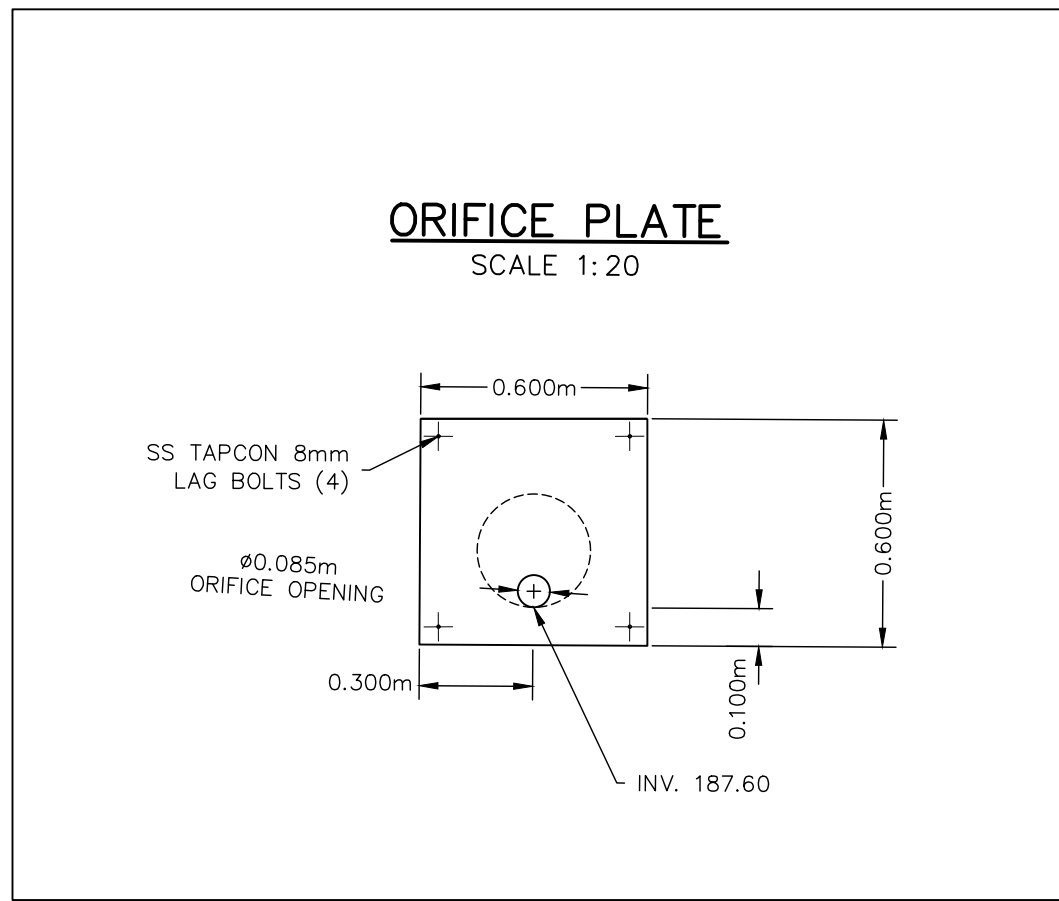
G.C.

Check By

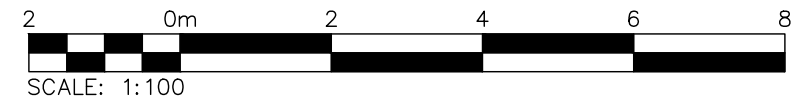
J.K.

Drawing

C102



- NOTES:
1. LOCATION AND INVERT OF ALL EXISTING INFRASTRUCTURE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO SITE WORKS. CONTRACTOR TO NOTIFY SITE ENGINEER OF ANY VARIANCES.
 2. LOCATION OF THE WATER SERVICE WAS DETERMINED THROUGH A LEVEL B SUBSURFACE UTILITY INVESTIGATION COMPLETED BY R&B LOCATING INC. (OCTOBER 2024).
 3. OGS IS TO BE MODEL PMSU2015-4 CDS TECHNOLOGIES OR APPROVED EQUIVALENT BY THE TOWN OF COLLINGWOOD.
 4. THE CONTRACTOR IS TO PROVIDE SHOP DRAWINGS FOR APPROVAL FOR THE OGS UNIT.

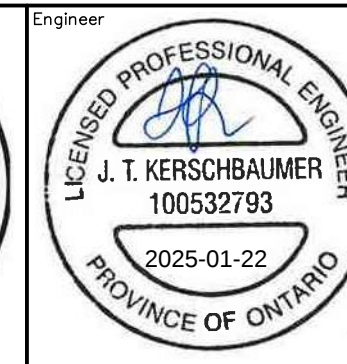
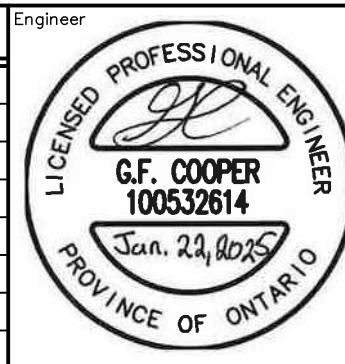


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TEMPORARY BENCHMARKS
TBM#1-CUT CROSS IN SIDEWALK - ELEV. 188.74m
LEGAL AND TOPOGRAPHIC SURVEY BY VAN HARTEN SURVEYING INC. (DECEMBER 5, 2022)

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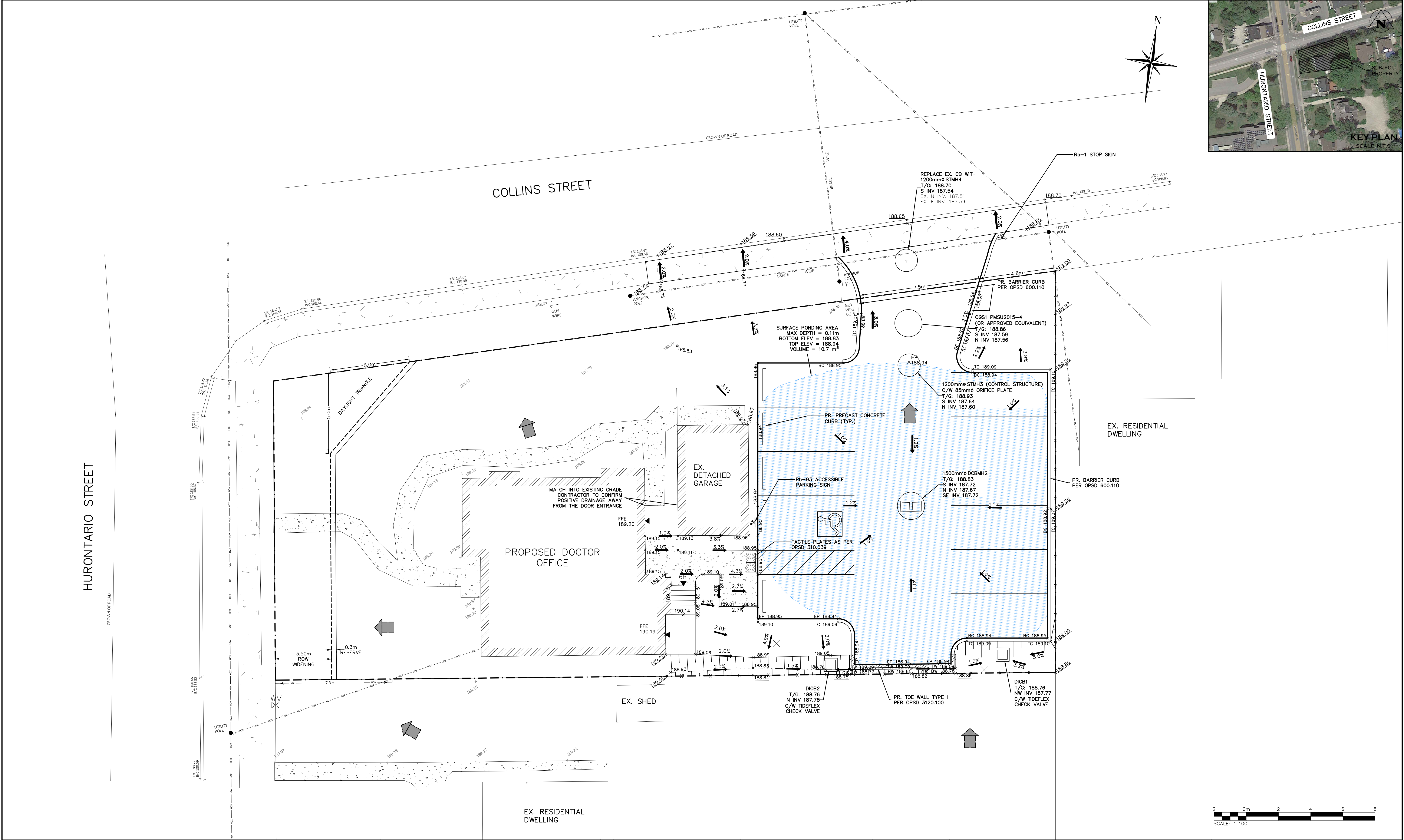
Project

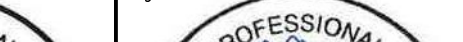
629 HURONTARIO STREET
TOWN OF COLLINGWOOD

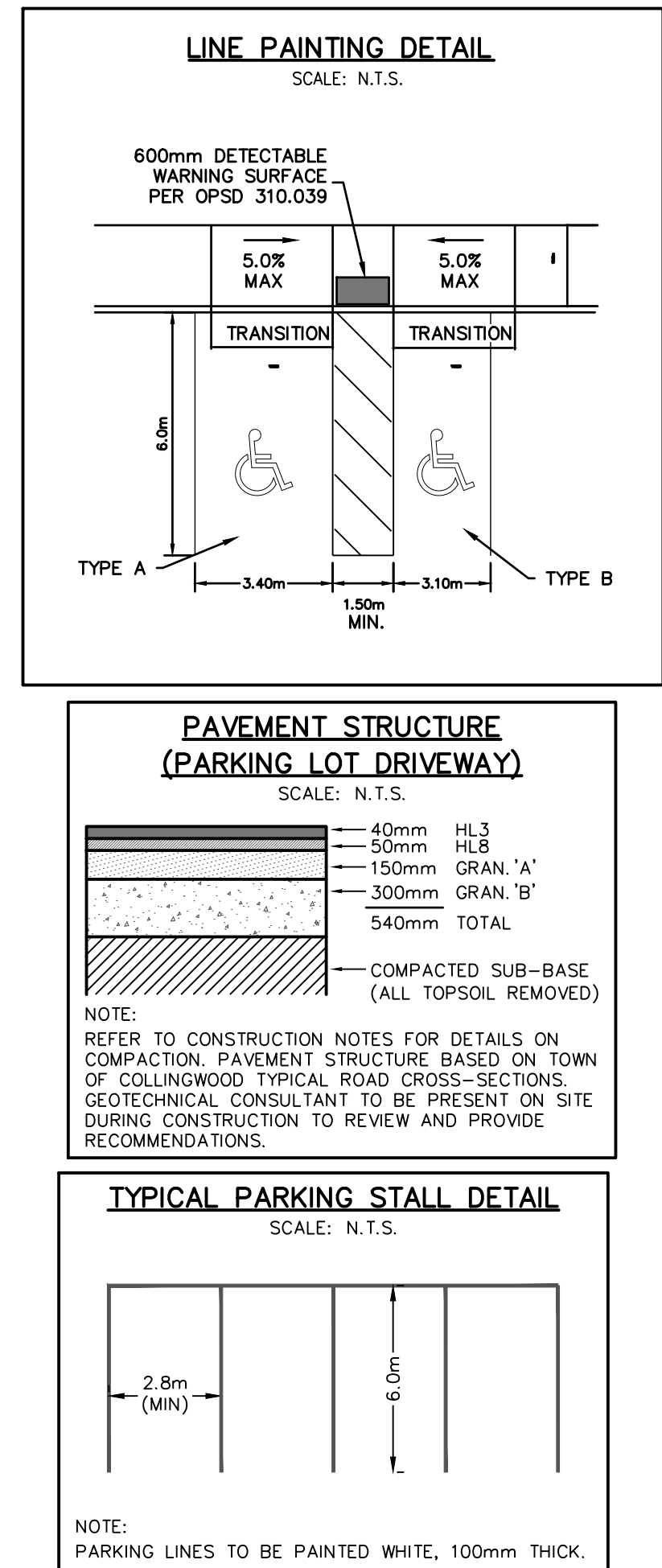
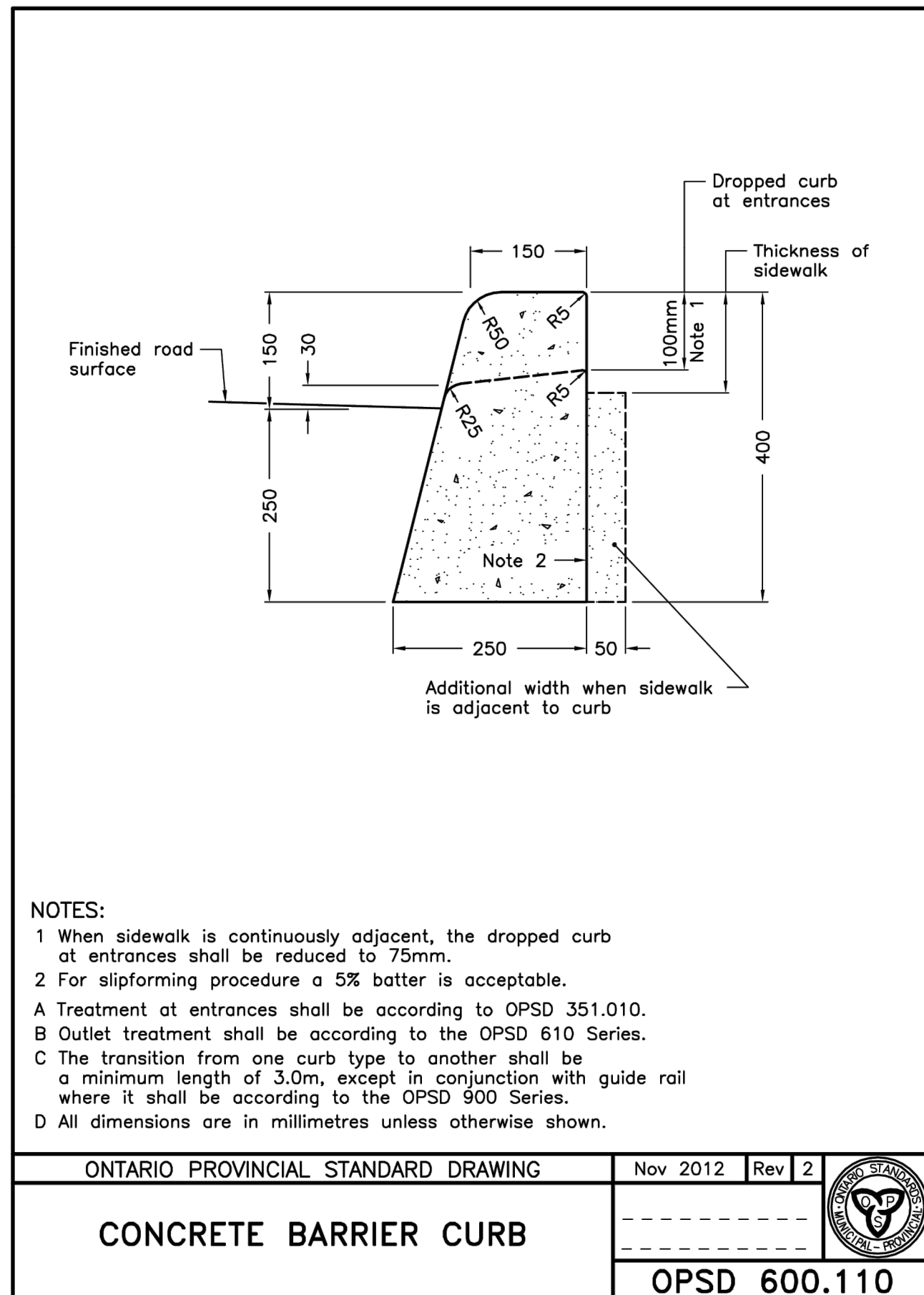
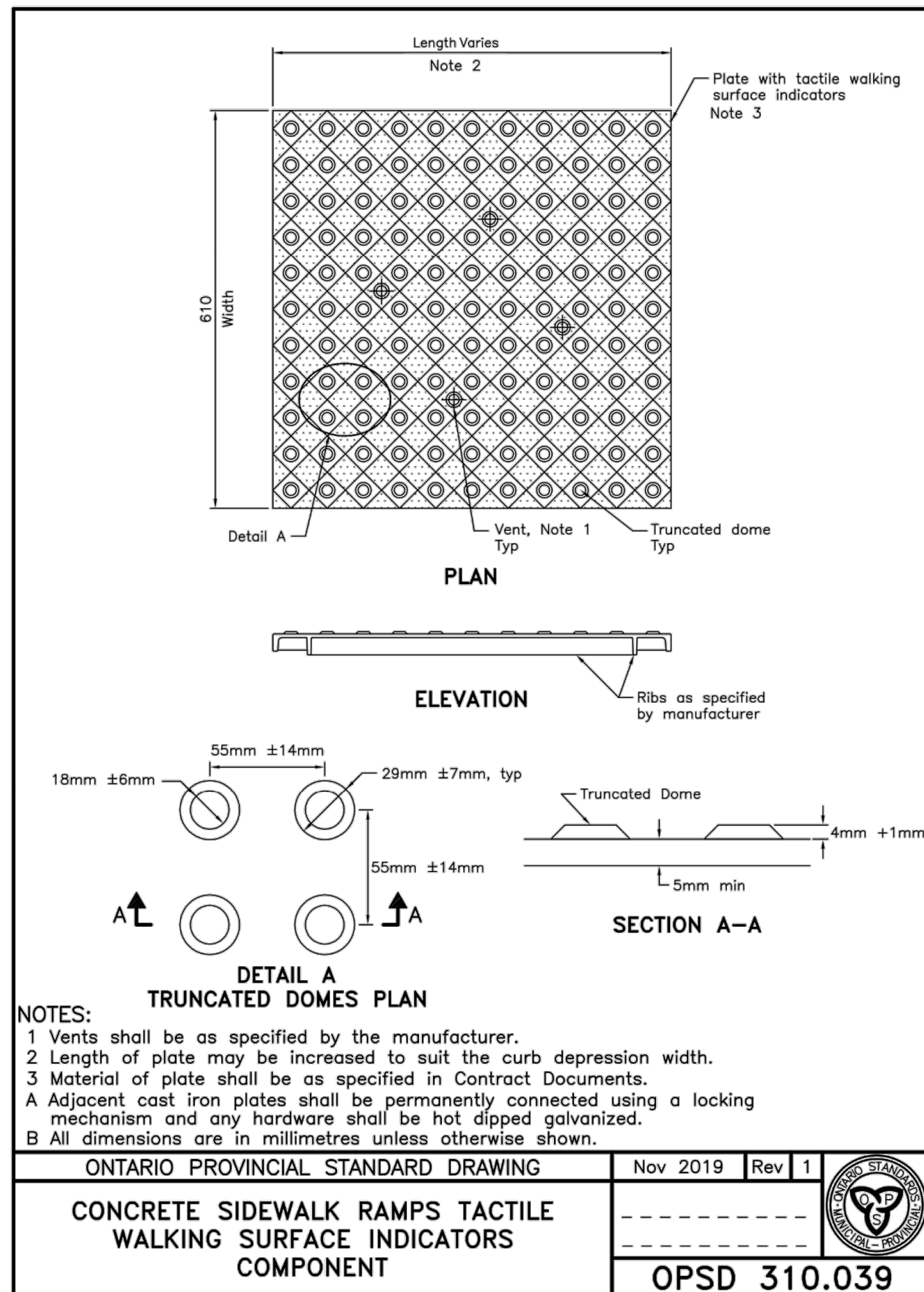
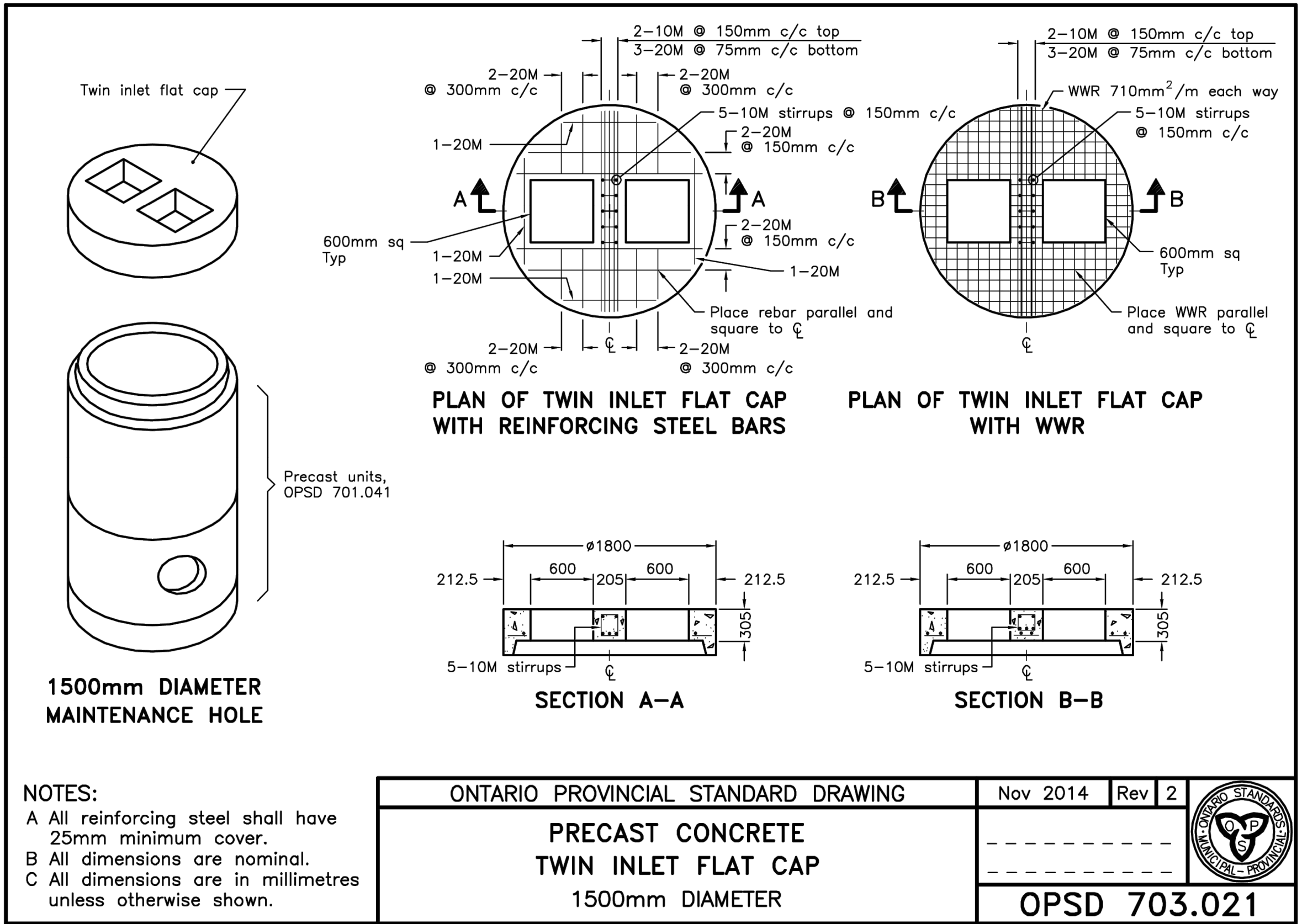
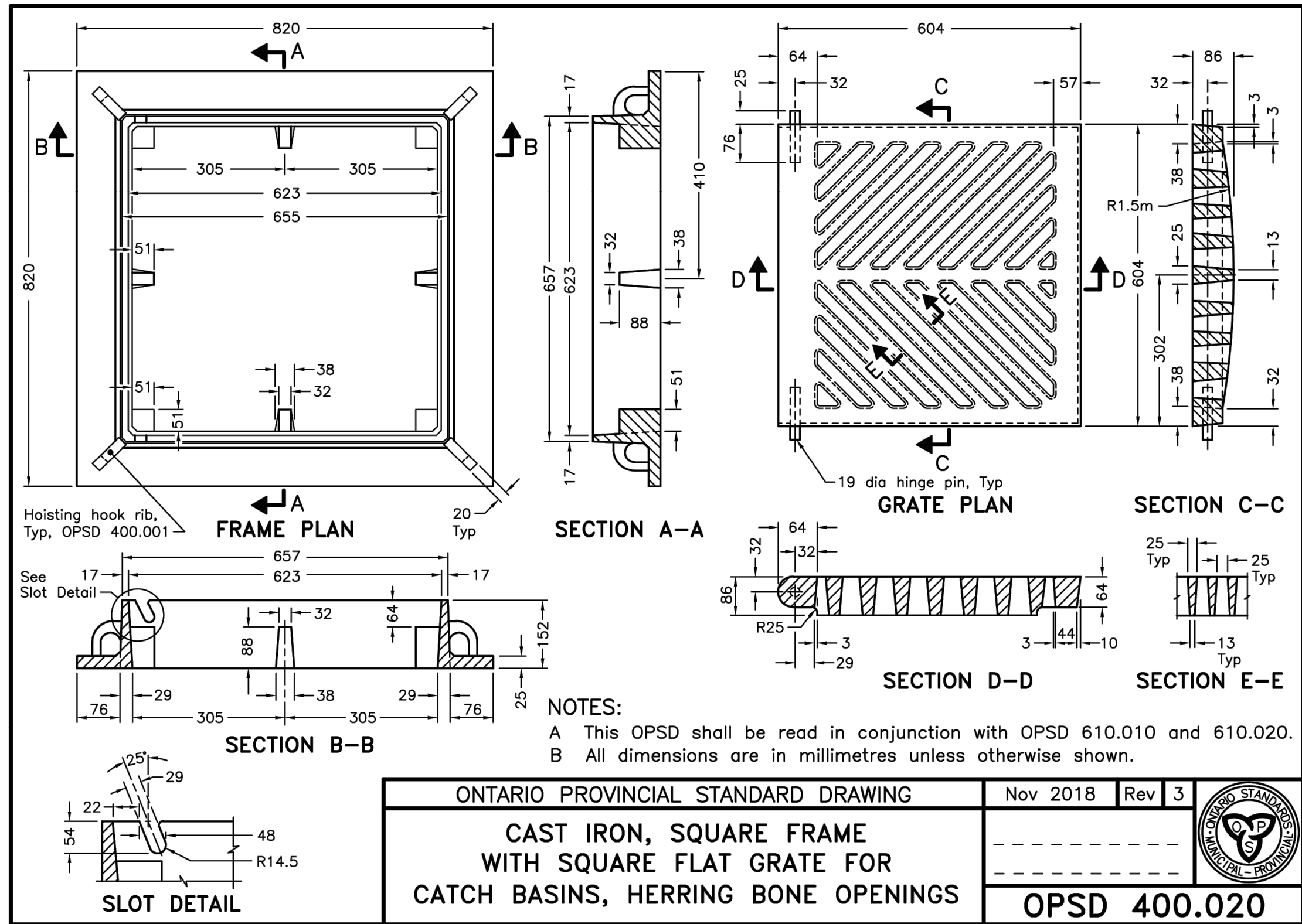
SERVICING PLAN



Drawn By: M.R./D.K. Design By: D.K./G.C. Project: 2361-7140
Check By: G.C. Check By: J.K. Drawing: C103



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			1	ISSUED FOR 1st SUBMISSION (SPA)	2024/07/26					Drawing					
			2	ISSUED FOR 2ND SUBMISSION (SPA)	2024/10/18										
			3	ISSUED FOR 3RD SUBMISSION (SPA)	2025/01/07										
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								Drawn By	M.R./D.K.		Design By	D.K./G.C.	Project	2361-7140	
										Check By	G.C.	Check By	J.K.	Drawing	C104



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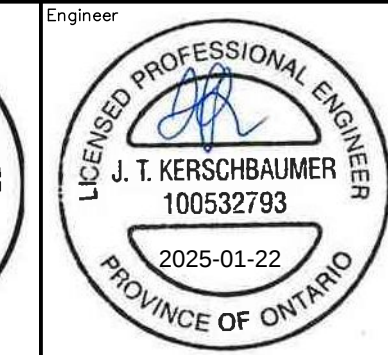
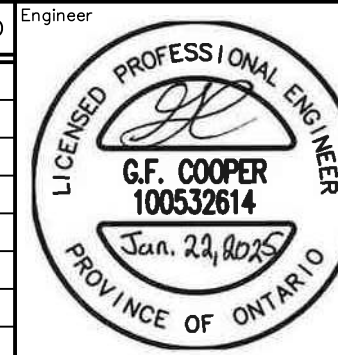
TEMPORARY BENCHMARKS

TBM#1-CUT CROSS IN SIDEWALK - ELEV. 188.74m

LEGAL AND TOPOGRAPHIC SURVEY BY VAN HARTEN SURVEYING INC. (DECEMBER 5, 2022)

10m

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Project

Drawing

629 HURONTARIO STREET
TOWN OF COLLINGWOOD

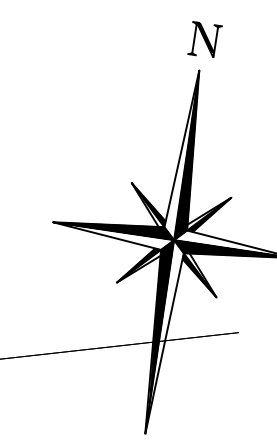
STANDARD NOTES AND DETAILS



Drawn By	M.R.	Design By	D.K./G.C.	Project	2361-7140
Check By	G.C.	Check By	J.K.	Drawing	C106

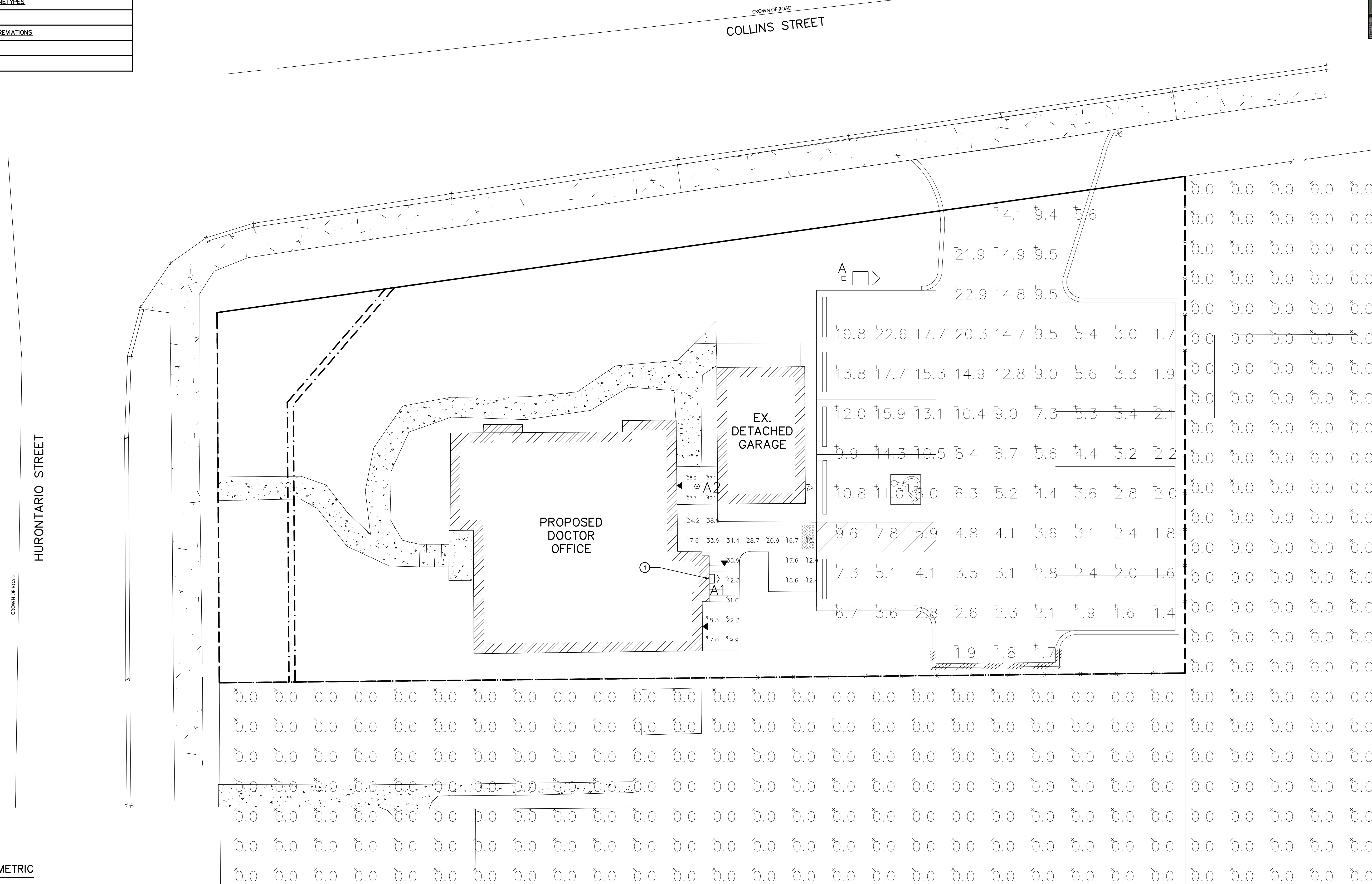
ELECTRICAL DRAWING LIST	
E100	SITE PLAN – PHOTOMETRIC
E101	SITE LIGHTING DETAILS

LIGHTING	
	POLE MOUNTED LIGHT FIXTURE
	WALL PACK LIGHT FIXTURE
	CANOPY LIGHT FIXTURE
LINETYPES	
	PROPERTY LINE
ABBREVIATIONS	
C/W	COMPLETE WITH
N.T.S.	NOT TO SCALE



DRAWING NOTES:

① LIGHTING FIXTURE TO BE DIMMED TO 46% NOMINAL LEVELS USING FADC. ELECTRICAL CONTRACTOR SHALL COORDINATE WITH LIGHTING SUPPLIER PRIOR TO INSTALLATION.



SITE PLAN – PHOTOMETRIC
SCALE: 1:100

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		0	**NOT ISSUED FOR THIS SUBMISSION**	2023/08/23			629 HURONTARIO STREET TOWN OF COLLINGWOOD
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							Drawing
						SITE PLAN — PHOTOMETRIC	Drawn By T.S.D. Design By T.S.D. Project 2361-7140
						Check By P.W. Drawing E100	

Project

Catalog #

Type

Prepared by

Notes

Date

Prevail Discrete LED

Area / Site Luminaire

Product Features

Product Certifications

Connected Systems

Quick Facts

Dimensional Details

Interactive Menu

Ordering Information

Product Specifications

Energy and Performance Data

Control Options

COOPER

Lighting Solutions

PS101410001

page 1

April 26, 2024 11:29 AM

TYPE: A

TYPE: A

Prevail Discrete LED

Ordering Information

Product Features

Product Certifications

Connected Systems

Quick Facts

Dimensional Details

Interactive Menu

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COOPER

Lighting Solutions

PS101410001

page 2

April 26, 2024 11:29 AM

TYPE: A1

TYPE: A1

Prevail Petite Discrete Wall

Wall Mount Luminaire

Product Features

Product Certifications

Connected Systems

Quick Facts

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TYPE: A1

TYPE: A1

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TYPE: A

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Light Pole Base Detail

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McGraw-Edison TTN TopTier Nano

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TYPE: A2

TYPE: A2

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TYPE: A2

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McGraw-Edison TTN TopTier Nano

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LUMINAIRE SCHEDULE							
SYMBOL	LABEL	MANUFACTURER	CATALOG NUMBER	LIGHT LOSS FACTOR	DIMMING LOSS FACTOR	MOUNTING HEIGHT	DESCRIPTION
	A	COOPER	PRV-P-P-A1-B-730-U-T4W-BK-PR7	0.85	N/A	MOUNTED AT 4.6m (15')	PREVAIL PETITE DISCRETE SERIES LED AREA FIXTURE BY COOPER LIGHTING, 53W WITH TYPE 4W DISTRIBUTION, 3000K, C/W LONG LIFE PHOTOCELL, MOUNTED ON A 0.9m (3') CONCRETE BASE AND A 3.7m (12') STRAIGHT 4" SQUARE STEEL BASE MOUNTED POLE BY DYNAPOLE.
	A1	COOPER	PRV-P-P-A1-A-730-U-T4W-WM-BK-FADC-PR7	0.85	0.46	MOUNTED AT 2.4m (8') ABOVE FINISHED GRADE	PREVAIL PETITE DISCRETE WALL SERIES LED AREA FIXTURE BY COOPER LIGHTING, 31W WITH TYPE 4W DISTRIBUTION, 3000K, C/W LONG LIFE PHOTOCELL
	A2	COOPER	TTN-D0-830-U-WQ-XX-BK-MS/DIM-L08	0.85	N/A	MOUNTED AT 2.4m (8') ABOVE FINISHED GRADE	MCGRAW EDISON SURFACE MOUNTED LED AREA FIXTURE BY COOPER LIGHTING, 18W WITH TYPE WQ DISTRIBUTION, 3000K, C/W DIMMING OCCUPANCY SENSOR

THE FOLLOWING NOTATIONS APPLY TO ALL LUMINAIRES IN SCHEDULE, UNLESS OTHERWISE NOTED.

- ELECTRICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE PHOTOCELLS AS REQUIRED, COORDINATE EXACT LOCATION & REQUIREMENTS WITH LIGHT MANUFACTURER.
- ALL PROPOSED LUMINAIRES ARE DARK SKY COMPLIANT WITH UP LIGHT = ZERO.

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Town

No. ISSUE

0 **NOT ISSUED FOR THIS SUBMISSION**

1 ISSUED FOR 1st SUBMISSION (SPA)

2 ISSUED FOR 2nd SUBMISSION (SPA)

3 ISSUED FOR 3rd SUBMISSION (SPA)

DATE: YYYY/MM/DD

2023/08/23

2024/07/26

2024/10/18

2025/01/07

Engineer

Project

Drawing

Drawn By T.S.D.

Design By T.S.D.

Project 2361-7140

Check By P.W.

Drawing E101

629 HURONTARIO STREET
TOWN OF COLLINGWOOD

SITE LIGHTING DETAILS

CROZIER
CONSULTING ENGINEERS

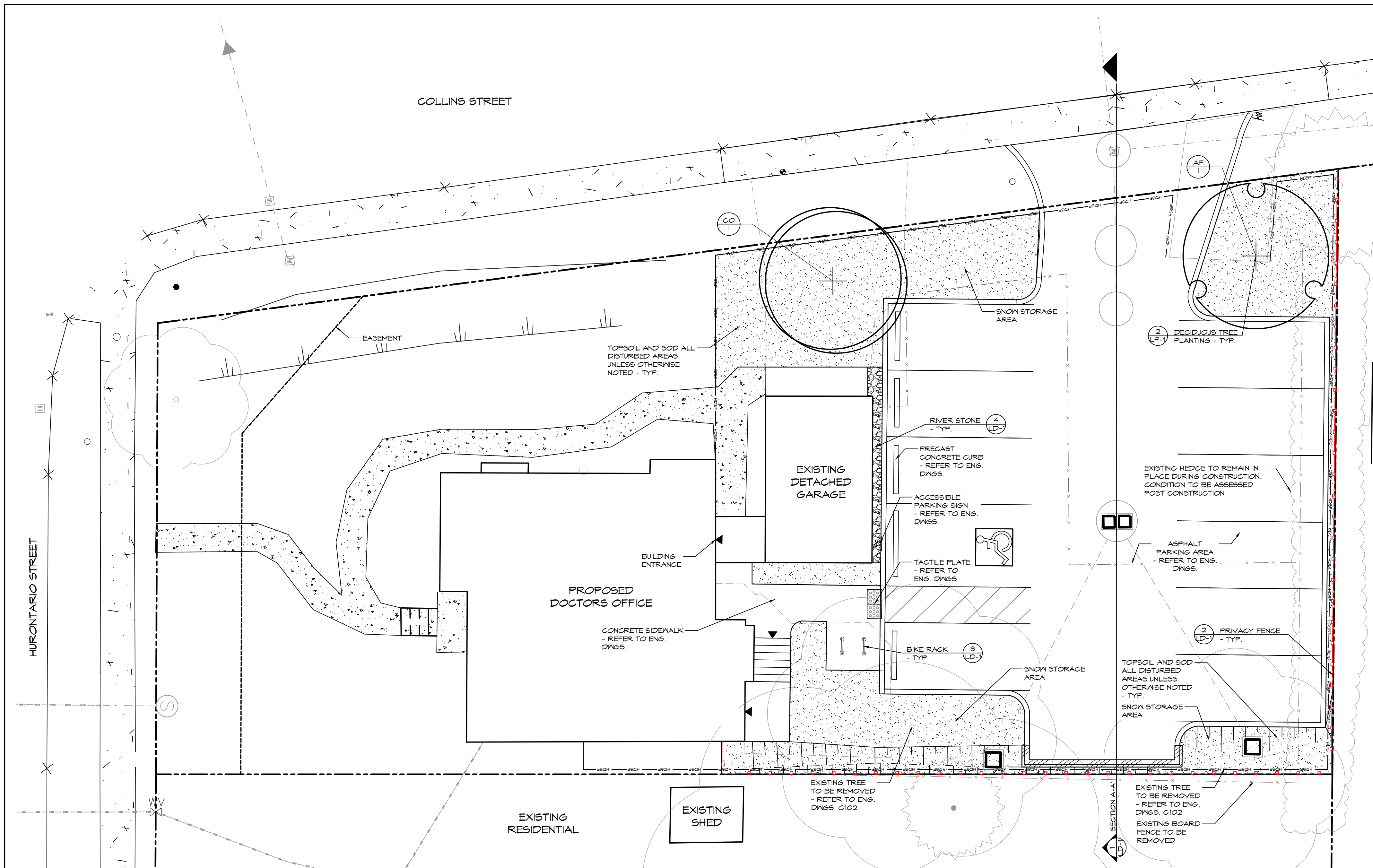
629 HURONTARIO STREET
TOWN OF COLLINGWOOD

SITE LIGHTING DETAILS

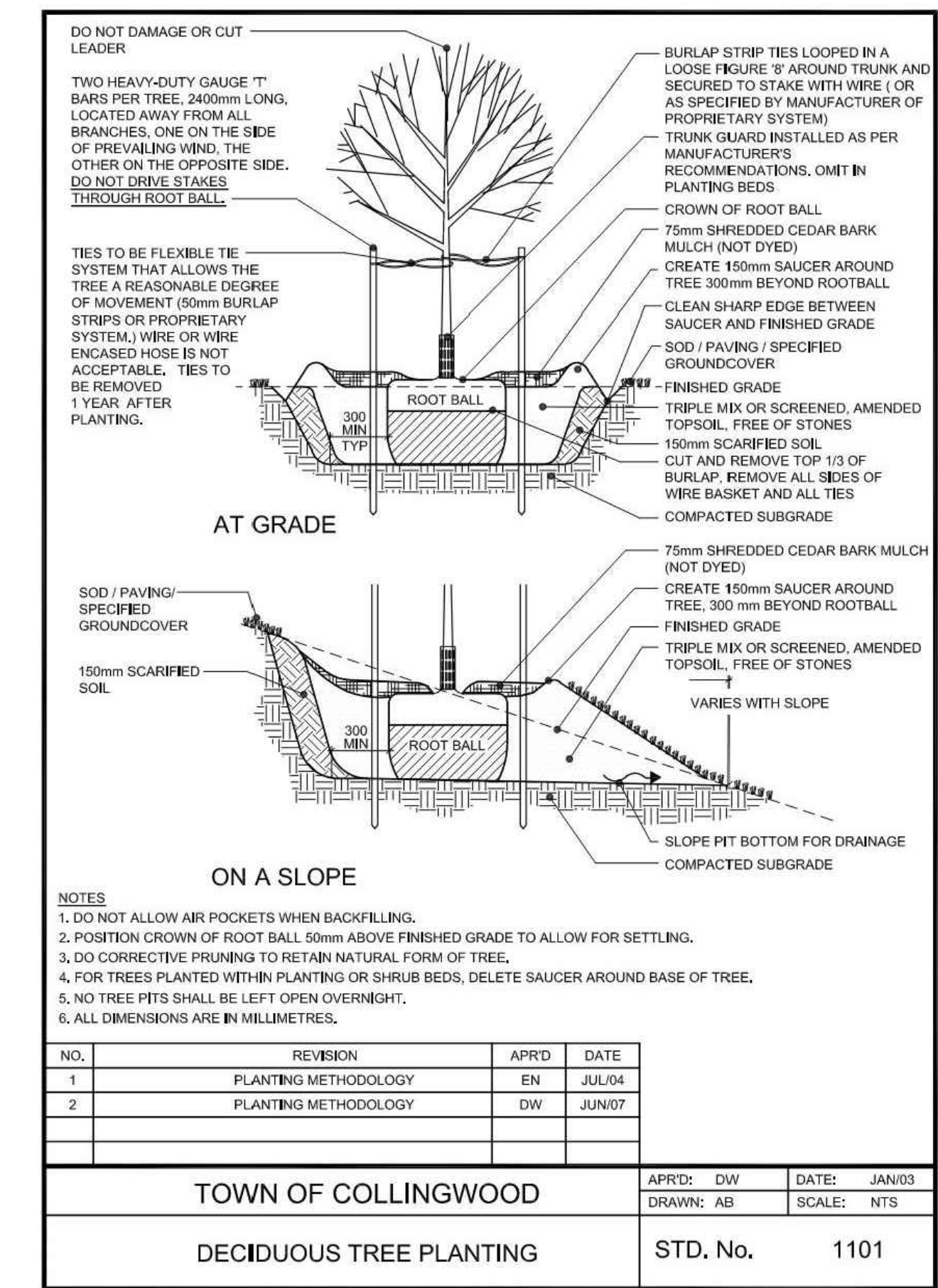
CROZIER
CONSULTING ENGINEERS

629 HURONTARIO STREET
TOWN OF COLLINGWOOD

SITE LIGHTING DETAILS



- LEGEND**
- PROPERTY BOUNDARY
 - SILT FENCE - SEE ENG. DWGS
 - EXISTING FENCE
 - UNDERGROUND SERVICES - SEE ENG. DWGS
 - PROPOSED PRIVACY FENCE
 - TOPSOIL & SOD



1 LP-1 LANDSCAPE PLAN

2 LP-1 DECIDUOUS TREE PLANTING

N.T.S.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES						
	AF	1	Acer x freemanii 'Jeffersred'	Autumn Blaze® Freeman Maple	50mm cal.	N.B.
	CO	1	Celtis occidentalis	Common Hackberry	50mm cal.	N.B.

- NOTES:**
- FOR GENERAL PLANTING NOTES, REFER TO NOTES ON DRAWING LD-1.
 - TREE PITS OR PLANTING BEDS WITHIN 1.0m OF UNDERGROUND UTILITIES ARE TO BE HAND DUG.
 - MINIMUM CLEARANCES FOR TREES ARE AS FOLLOWS:

MINIMUM TREE CLEARANCES	
FIRE HYDRANT	3.0m
DRIVEWAYS	2.0m
HYDRO TRANSFORMERS	3.0m
BELL OR CABLE PEDESTALS	1.0m
STREETLIGHT POLES	5.0m
UNDERGROUND SERVICES	1.0m

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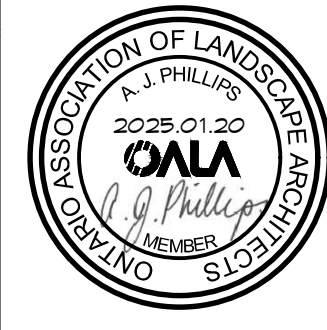
NOTES:

- ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE NOTED.

Town

NO.	ISSUE	DATE: YYYY/MM/DD
0	ISSUED FOR 1st SUBMISSION (SPA)	2024/07/26
1	RE-ISSUED FOR 1st SUBMISSION (SPA)	2024/09/03
2	ISSUED FOR 2nd SUBMISSION (SPA)	2024/10/18
3	ISSUED FOR 3rd SUBMISSION (SPA)	2025/01/07
4	RE-ISSUED FOR 3rd SUBMISSION (SPA)	2025/01/20

LANDSCAPE ARCHITECT



LANDSCAPE ARCHITECT

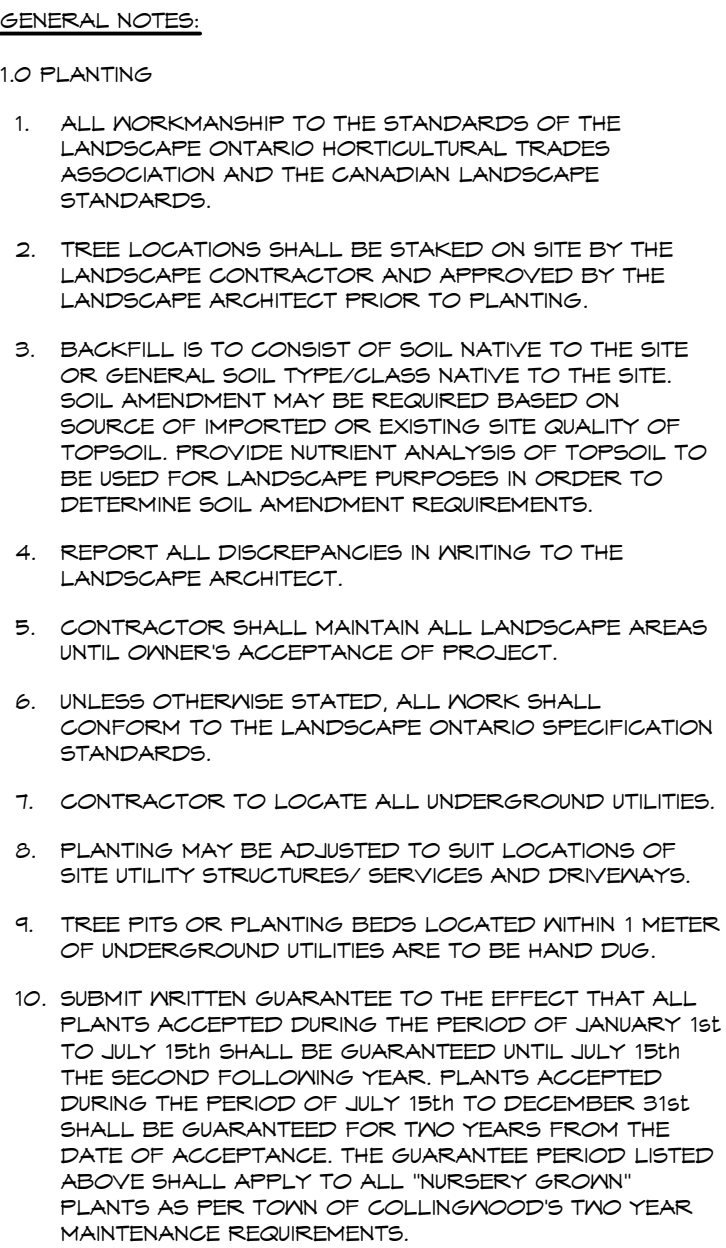
Project

629 HURONTARIO STREET
TOWN OF COLLINGWOOD

LANDSCAPE PLAN



Drawn By	K.C.	Design By	K.C./A.P.	Project	2361-7140
Check By	A.P.	Check By		Drawing	LP-1



Drawn By	K.C.	Design By	K.C./A.P.	Project	2361-7140
Check By	A.P.	Check By		Drawing	LD-1