

Heritage Impact Assessment

168 and 172 Hurontario Street

Town of Collingwood, Ontario

Draft Report

Prepared for:

Loft Planning Inc.

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Archaeological Services Inc. File: 25CH-205

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Executive Summary

Archaeological Services Inc. was contracted by Loft Planning on behalf of Dorchester Holdings Corp. and 2052816 Ontario Ltd. to conduct a Heritage Impact Assessment (H.I.A.) for the properties at 168 and 172 Hurontario Street (the Dorchester Hotel) in the Town of Collingwood, Ontario. The H.I.A. is being undertaken as part of a planned addition and alterations to the properties. The property at 168 Hurontario Street consists of a single-storey commercial building constructed c. 1950 and the property at 172 Hurontario Street consists of a three-storey hotel, constructed in 1890. Both properties are designated under Part V of the *Ontario Heritage Act* as part of the Collingwood Downtown Heritage Conservation District (H.C.D.), however only 172 Hurontario Street is recognized as a significant heritage building within the District. This property requires an H.I.A. to provide an assessment of how the proposed development will impact the property's and the District's cultural heritage value. The H.I.A. follows the Terms of Reference outlined in Appendix A of the H.C.D. Plan (Town of Collingwood, 2008). This H.I.A. is accompanied by an Urban Design Brief prepared by O2 Planning and Design (see Appendix B).

This report considers the impacts of the proposal to the historical hotel building at 172 Hurontario Street and to the Collingwood Downtown Heritage Conservation District (H.C.D.). The proposed addition has been strategically and thoughtfully designed to minimize negative impacts to these heritage resources. Overall, the proposal does not pose negative impacts to the historical hotel building or the H.C.D at large and has the potential for positive economic impacts within Downtown Collingwood.

The following recommendations are proposed:

1. Construction activities and staging should be suitably planned and undertaken to avoid impacts to the heritage resources. Suitable mitigation including establishing no-go zones with fencing and issuing instructions to construction crews to avoid the heritage resources should be considered to mitigate any unintended impacts during construction.



2. This draft report should be submitted by the proponent to heritage staff at the Town of Collingwood for review and comment. Any feedback received will be considered and incorporated into the final report as appropriate.



Report Accessibility Features

This report has been formatted to meet the Information and Communications Standards under the *Accessibility for Ontarians with Disabilities Act, 2005* (A.O.D.A.). Features of this report which enhance accessibility include: headings, font size and colour, alternative text provided for images, and the use of periods within acronyms. Given this is a technical report, there may be instances where additional accommodation is required in order for readers to access the report's information. If additional accommodation is required, please contact Annie Veilleux, Manager of the Cultural Heritage Practice Area at Archaeological Services Inc., by email at aveilleux@asiheritage.ca or by phone 416-966-1069 ext. 255.



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1.0 Introduction

Archaeological Services Inc. was contracted by Loft Planning on behalf of Dorchester Holdings Corp. and 2052816 Ontario Ltd. to conduct a Heritage Impact Assessment (H.I.A.) for the properties at 168 and 172 Hurontario Street (the Dorchester Hotel) in the Town of Collingwood, Ontario. The H.I.A. is being undertaken as part of a planned addition and alterations to the properties. The property at 168 Hurontario Street consists of a single-storey commercial building constructed c. 1950 and the property at 172 Hurontario Street consists of a three-storey hotel, constructed in 1890. Both properties are designated under Part V of the *Ontario Heritage Act* as part of the Collingwood Downtown Heritage Conservation District (H.C.D.), however only 172 Hurontario Street is recognized as a significant heritage building within the District. This property requires an H.I.A. to provide an assessment of how the proposed development will impact the property's and the District's cultural heritage value. The H.I.A. follows the Terms of Reference outlined in Appendix A of the H.C.D. Plan (Town of Collingwood, 2008). This H.I.A. is accompanied by an Urban Design Brief prepared by O2 Planning and Design (see Appendix B). These two documents have been prepared in coordination with one another, integrating respective multidisciplinary findings as appropriate.

1.1 Project Overview

The proposed development consists of a one-storey addition to the existing three-storey hotel (172 Hurontario St), located at the fourth floor and oriented toward the rear lane to minimize its presence along Hurontario Street. The additional floor is intended to accommodate a spa as part of the hotel's amenities, enhancing the overall guest experience. Access to the spa addition is provided from within the existing hotel, as well as via a new staircase and elevator addition on the adjacent building at 168 Hurontario Street.

The proposed addition includes approximately 165 m² of gross floor area (192 m² total area) at 172 Hurontario Street, and a 50 m² addition at 168 Hurontario Street with no additional gross floor area. The maximum building height including the proposed addition will be 12 metres.



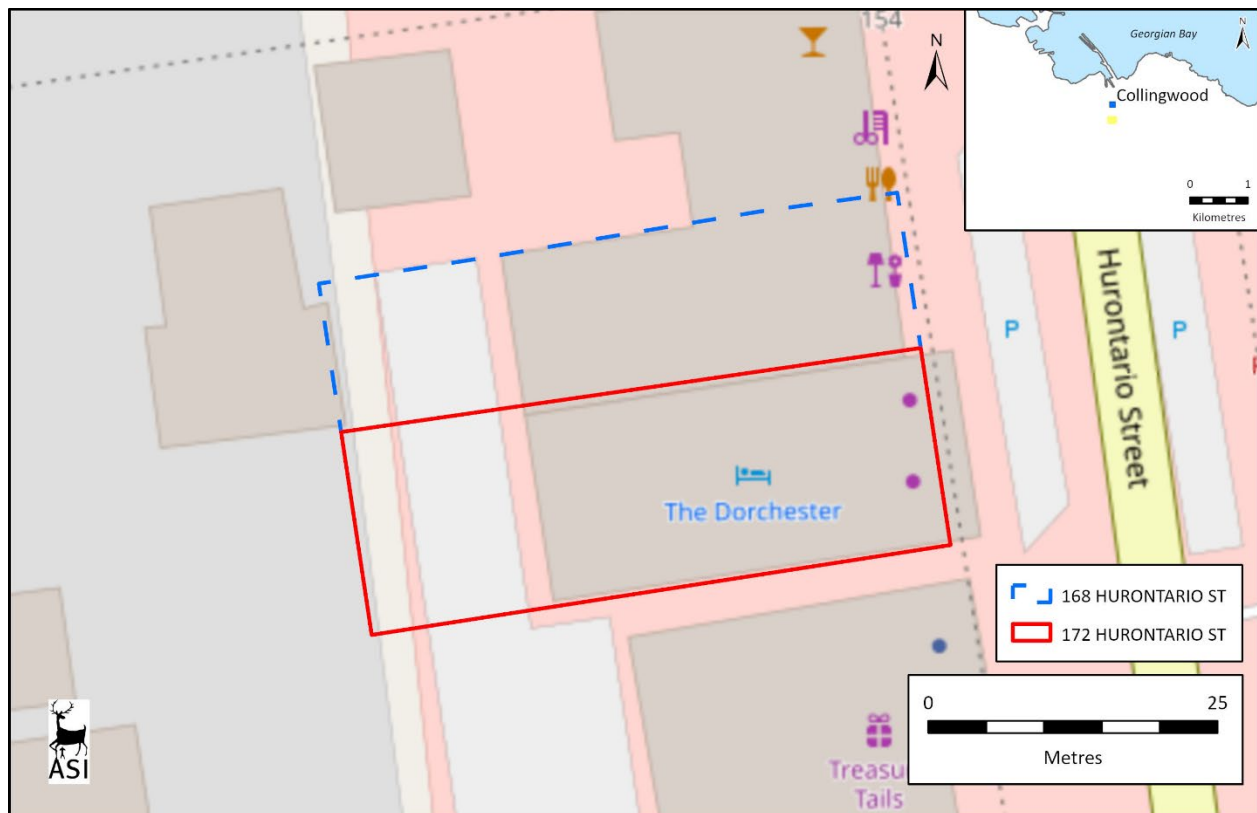


Figure 1: Location of the subject properties at 168 and 172 Hurontario Street.
Source: (c) Open Street Map contributors, Creative Commons n.d.

1.2 Legislation and Policy Context

The subject properties require a Heritage Impact Assessment to provide an assessment of how the proposed work will impact the properties' cultural heritage values in the context of the Downtown Collingwood Heritage Conservation District. The assessment of 168 and 172 Hurontario Street is being conducted in accordance with:

- The *Planning Act* (Government of Ontario, 2023);
- The *Provincial Planning Statement* (Ministry of Municipal Affairs and Housing, 2024);
- The Town of Collingwood's *Official Plan* (2024);



- The *Collingwood Downtown Heritage Conservation District Plan* (Town of Collingwood, 2008); and
- Appendix A: Heritage Impact Assessments and Conservation Plans from the *Collingwood Downtown Heritage Conservation District Plan*.

We have also considered the following relevant guideline documents:

- The Ministry of Citizenship and Multiculturalism's *Ontario Heritage Tool Kit* (Ministry of Culture, 2006);
- *Standards and Guidelines for the Conservation of Historic Places in Canada* (Parks Canada, 2010);
- *Information Bulletin No. 3: Heritage Impact Assessments for Provincial Heritage Properties* (Ministry of Citizenship and Multiculturalism, 2017)

1.3 Approach to Heritage Impact Assessment Reports

This H.I.A. has been scoped in consultation with heritage planning staff at the Town of Collingwood. Based on the classification of the 172 Hurontario Street as a significant heritage building in *Schedule "B" To By-Law No. 2010-020, List of Significant & Non-significant Heritage Buildings* (Town of Collingwood, 2010), staff agreed that a full land-use history and heritage evaluation of this property is not required, though a general history of the property should be included. Based on the classification of the 168 Hurontario Street as non-significant heritage building in the same *Schedule "B"*, staff agreed that a heritage evaluation of this property is not required and that this report should focus on impacts to 172 Hurontario Street and the overall H.C.D.

Accordingly, this H.I.A. includes the following components:

- A summary of engagement with relevant agencies;
- A general description of the history, ownership and building development of 172 Hurontario St;
- Historical mapping and photographs;



- A location plan;
- A description of the property that is the subject of this report;
- Representative photographs of the exterior and interior of the building;
- A description of the Collingwood Downtown H.C.D.'s cultural heritage value and heritage attributes;
- A description of the proposed work;
- An impact assessment; and
- A summary statement and conservation recommendations.

2.0 Engagement

The following section outlines engagement that was undertaken to gather and review information about the subject properties.

2.1 Relevant Agencies and/or Stakeholders Engaged

The following individuals and organizations were contacted with inquiries regarding the heritage status and for information concerning the subject property:

- Jocelyn Wainwright, Community Planner and Justin Teakle, Senior Planner (Heritage) Town of Collingwood. A meeting with Jocelyn and Justin confirmed scope and approach to the Heritage Impact Assessment and Urban Design Brief. The hotel at 172 Hurontario Street is well understood as a significant heritage building within the District and is identified as such in *Schedule "B" To By-Law No. 2010-020, List of Significant & Non-significant Heritage Buildings* (Town of Collingwood, 2010). As such, a full land-use history for the property and heritage evaluation is not required for this property. Historical research and heritage evaluation is not required for 168 Hurontario Street as it is identified as a Non-Significant Heritage Building within the District (Town of Collingwood, 2010). The H.I.A. will focus on assessing impacts to 172 Hurontario Street and the District overall.



- Collingwood Museum. Museum provided historical documents, images and maps relating to the Dorchester Hotel via email.

3.0 Description of the Properties

The following section provides a description of the subject properties.

3.1 General Description of Properties

The subject properties are located on the west side of Hurontario Street, south of Third Street, in the Town of Collingwood. The property at 172 Hurontario Street consists of the Dorchester Hotel, a restored, three-storey hotel constructed in 1890. The property at 168 Hurontario Street is a single-storey commercial building constructed c. 1950s (Philip H. Carter Architect and Planner, 2002).



Figure 2: Aerial image of the subject properties at 168 and 172 Hurontario Street (Google Maps)

3.2 Heritage Recognitions

Both the properties at 168 and 172 Hurontario Street are designated under Part V of the *Ontario Heritage Act* as part of the Collingwood Downtown H.C.D. (Town of Collingwood, 2008) 172 Hurontario Street is identified as a Significant Heritage Building within the H.C.D. and 168 Hurontario Street is identified as a Non-Significant Heritage Building (Town of Collingwood, 2010).

3.3 Adjacent Lands

The adjacent properties are also designated under Part V of the *Ontario Heritage Act* as part of the Collingwood Downtown H.C.D (Figure 3).





Figure 3: Boundary of Collingwood Downtown Heritage Conservation District with the subject properties outlined in red (Town of Collingwood, 2008, annotated by A.S.I. 2026).

4.0 Research

This section provides: a historical overview of 172 Hurontario St, a description of the physical characteristics of the subject properties and a description of the setting and character of the properties and surrounding area.

4.1 Historical Overview of 172 Hurontario Street

The following provides a brief overview of the historical chronology of the subject property. It is based on a variety of primary and secondary source materials, including, maps, newspaper articles, a Collingwood Historical Society article and historical photographs.

The extant hotel at 172 Hurontario Street was constructed in 1890. It was preceded by an earlier hotel on the property called the Dominion Hotel which was constructed in 1870, or possibly earlier. The first hotel was a two-storey timber building with stables at the rear owned by David Kelly. Kelly ran the hotel with his wife Hannah McLean until his death at age 35, after which Hannah took over as hotel owner and manager. In 1889, the Dominion Hotel was razed by fire and the following year, the Camerons began to build a new Dominion Hotel building. This new building, which still stands on the subject property today, was described in 1894 as a “fine, three-storey, cream brick building and boasted electricity and water service throughout”; amenities that had only been introduced to Collingwood in 1889. Following the death of Hannah’s second husband, in 1896 she sold the new Dominion Hotel to her son David A. Kelly who had been managing the hotel for some years with his brother Lachlan (Vuckson, 2024).





Figure 4: The original Dominion Hotel building circa 1880 that preceded the extant Dorchester Hotel now in this location (*Collingwood Today*).

In 1903, David A. Kelly sold the property to George Foulis who operated the hotel for nearly 20 years. Foulis retained the hotel stables at the rear of the property until 1924 when the stables were converted to an automotive garage. Based on historical photographs, it appears that the original buff brick was stuccoed over during Foulis's ownership, sometime between c. 1914 and c. 1922 (Figure 5 and Figure 6). In 1922 Foulis sold the hotel to the Mayor of Collingwood, W.J. Holden, who converted it into rental apartments and renamed the building to Oriole Apartments (Carmichael, 1978; Nagle & Fells, 2020; Vuckson, 2024).



Figure 5: Robinson's Famous Show paraded through Collingwood on June 15, 1914, passing the extant hotel (*Collingwood Today*).



Figure 6: The extant hotel, likely between 1914 and 1922 (*Collingwood Today*).

By 1939, the former Dominion Hotel building was owned by Thomas J. Morrison and had been renamed the Morrison Apartments. The building was sold to Julian "Fergie" Harcourt Ferguson in 1952 who was a prominent local businessman, Deputy Reeve for Collingwood, Member of Parliament for Simcoe North, and later went on to become Mayor of Collingwood. The automotive garage to the rear of the building was destroyed in a fire in 1959. Following the

repeal of the prohibition of the sale of beer and wine in Collingwood restaurants and bars in the late 1960s, Ferguson converted the building back into a hotel which he named The Dorchester. The Dorchester had a restaurant and club on the ground floor that hosted rock bands, go-go dancers, and even an early concert by Stompin' Tom Connors. The hotel also had Collingwood's first public passenger elevator. Based on historical photos, some alterations were made between the 1940s and 1970s, including the alteration of fenestration on the ground floor to create a restaurant with large windows; the alteration of window apertures and the removal of front balconies on the second and third storeys (Figure 7 and Figure 8). Following Ferguson's death in 1965, the hotel passed through several hands and was re-converted to rental apartments until it was purchased in 2021 by Tammy and Chris Millsap. The Millsaps restored the heritage building, including the buff brick and balconies, and brought it back to its original function as a hotel, restoring its name as the Dorchester Hotel. In 2023, they were presented with a Heritage Award from the Town of Collingwood for their restoration work on the building (Vuckson, 2024; Williams, n.d.).



Figure 7: A parade passes in front of the Morrison Apartments at left of image (now known as the Dorchester Hotel), likely circa 1940s (Collingwood Museum).



Figure 8: The Dorchester Hotel in the 1970s, with balconies removed (Image courtesy of the Collingwood Museum)



Figure 9: The Dorchester Hotel c. 2002 (Philip H. Carter Architect and Planner, 2002).



Figure 10: 1904 Fire Insurance Plan showing the footprint of the extant hotel.

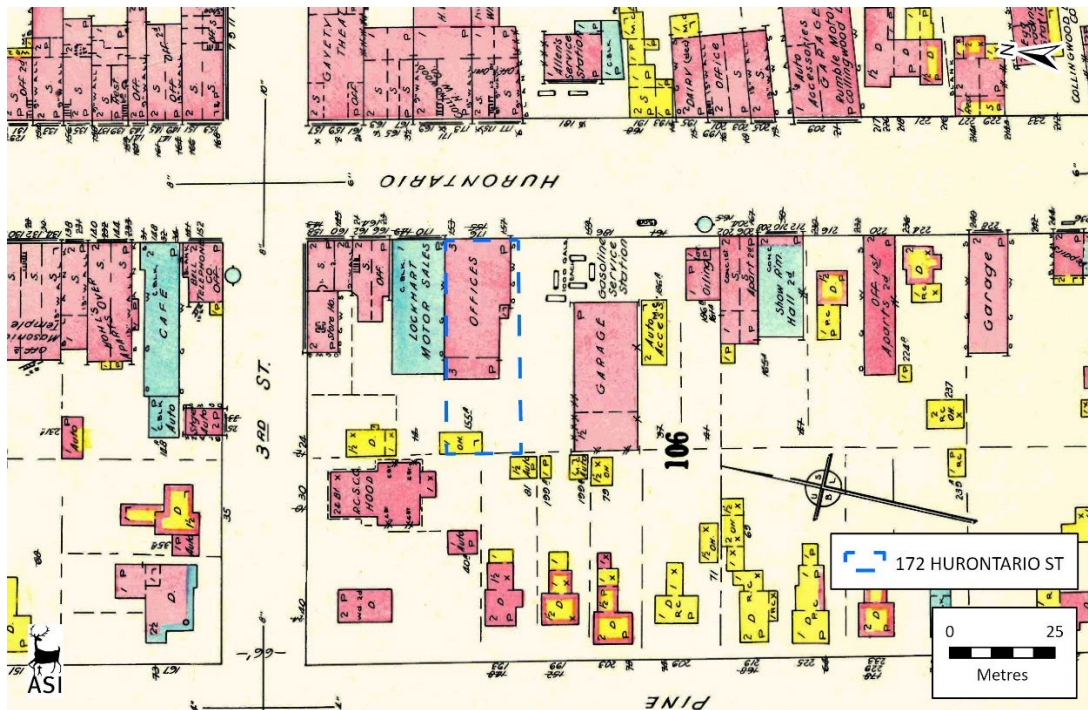


Figure 11: 1955 Fire Insurance Plan showing the footprint of the extant hotel.

4.2 Description of Physical Characteristics

A site visit to the subject properties was conducted on February 12, 2026 by Laura Wickett and Rebecca Sciarra, of ASI. The site visit included photographic documentation of the exterior of the subject properties. Permission to Enter was granted by the proponent to allow ASI to access the properties and to view all exterior elevations of the structures.

All photographs are by A.S.I., 2026 unless otherwise noted.

4.2.1 172 Hurontario Street

The property at 172 Hurontario Street contains a three-storey hotel building constructed in 1890 that fronts onto the west side of Hurontario Street (Figure 12). A driveway on the south side of the building leads to a rear parking lot. The hotel is immediately adjacent on the north side to the one-storey building at 168 Hurontario Street.

The original hotel building is clad in buff brick, with brick machicolation and coffering at the front wall-head, and double string courses between the second and third storeys. It has a flat roof and symmetrical façade with large windows on the ground floor for use as a lobby and restaurant. The hotel has a rectangular footprint but appears to have had an extension added to the rear. The rear edge of the original brick building appears to be visible on the north elevation (Figure 13). The brick does not appear to extend as far back on the south elevation, or it may be overclad by the wood siding that extends to the rear (Figure 12).

The front façade has two reconstructed balconies with doors on the second and third storeys. Original windows have all been replaced with vinyl windows. Window apertures have been altered on the front and side elevations and alterations to these openings are visible in the surrounding brick. Original brick arches are visible above the altered windows on the north elevation (Figure 14).



The rear (west) elevation is clad in wood siding with a black finish and has windows on all storeys (Figure 15). The rear entrance to the hotel provides access for guests entering from the parking lot.



Figure 12: Southeast elevation of hotel, showing front façade.



Figure 13: Northeast elevation of hotel with edge of original brick building visible at right.



Figure 14: Detail of north elevation showing original brick arch above the window.



Figure 15: Rear (west) elevation, with 172 Hurontario St. at right and 168 Hurontario St. at left.

4.2.2 168 Hurontario Street

The property at 168 Hurontario Street contains a one-storey commercial building built c. 1950s that fronts onto the west side of Hurontario Street (Figure 16). It is flanked on both sides by brick buildings, with 172 Hurontario Street on the south side. The front façade is currently under construction, as the building is being renovated for use as a bakery with a rooftop patio. The front façade has a symmetrical design with a central entrance and large storefront windows. The building has a flat roof at the front, with a gable roof at the rear. The rear elevation is clad in wood siding, with several centrally-located doors flanked by tall windows (Figure 17). The rear north wall is constructed of concrete block (Figure 17).



Figure 16: East elevation of 168 Hurontario St.



Figure 17: Rear (west) elevation of 168 Hurontario St. at left
with 172 Hurontario St. at right.



Figure 18: Northwest elevation of 168 Hurontario St, showing construction on the roof.

4.3 Setting and Character of the Property and Surroundings

172 Hurontario Street is located along Hurontario Street in Downtown Collingwood, within the block between Third Street and Fourth Street West. Hurontario Street functions as Collingwood's main street and has an evolved nineteenth-century commercial main street character. The immediate context of the site is primarily commercial in nature, with storefronts located on either side along Hurontario Street and across the street (Figure 19 and Figure 20). Properties within the vicinity of the subject property are a mix of nineteenth and twentieth-century commercial buildings, typically two to three storeys in height, with brick being the predominant cladding material (Figure 20). A six-storey condominium building is located on Hurontario south of Fourth Street (Figure 21).

West of Hurontario Street, the area transitions to a residential neighbourhood. Pine Street is located to the rear of the property and is primarily residential, with late-nineteenth and early-twentieth century houses (Figure 22).



Figure 19: Looking south towards 172 Hurontario St from Third St.



Figure 20: Looking northwest along Hurontario St.



Figure 21: Looking south along Hurontario St from north of Third St with 172 Hurontario St visible at left.



Figure 22: Looking south along Hurontario St from 172 Hurontario St with condominium visible at right.



Figure 23: Looking south along Pine St., south of Third St.

5.0 Statement of Cultural Heritage Value or Interest for Collingwood Downtown H.C.D.

The following Statement of Cultural Heritage Value or Interest and description of heritage attributes have been excerpted from the Collingwood Downtown H.C.D. Plan (Town of Collingwood, 2008) :

Statement of Cultural Heritage Value or Interest

Collingwood's HCD encompasses a large portion of the traditional town. It is comprised of a main street of commercial and public buildings built between about 1880 and 1910 that is linked by streets and pedestrian pathways to enclaves of historic residential, institutional, and public buildings, and park spaces.



The District has value in its representation of the history and economic prosperity experienced by the town from its founding in 1855 as a railway and shipping terminus on Georgian Bay, to the early 20th century.

The District preserves the historic street plan with its duo-orientation to the port and shipbuilding activity at the shoreline, as well as the railway line. The centre street, Hurontario Street, is wider (99 ft.) than the standard (66 ft.) and is among the best preserved 19th century grand main streets in Ontario. It is lined with 1880-1910 commercial and public buildings and is unique in maintaining the angled parking designed to accommodate the first automobiles in the town.

Radiating from Hurontario Street is an important historic grid of streets, pedestrian lanes, and pathways. The area has a variety of residential neighbourhoods and enclaves of public and institutional buildings and parks that are important in chronicling the evolution of the town's development and economy.

The District is integral to the preservation of Collingwood's identity and origin as a small, 19th century Ontario, waterfront town. It is also critical to the long-term economic vitality of the community.

Description of Heritage Attributes

The heritage attributes of the District include a variety of elements that are important in preserving its heritage value, such as:

- The historic street plan with two grids orientated to the railway and to the shoreline of Georgian Bay
- N-S laneways and E-W pedestrian paths forming linkages to the principal streets
- The 99 ft. width and angled parking plan for Hurontario Street
- The two and three storey commercial buildings built about 1880 to 1910 with similar materials (primarily brick), scale, form, and architectural details



- The public and institutional landmark buildings such as the town hall, federal post office, arena, and churches
- The variety of residential buildings of various dates, ranging from a modest, frame cottage style, to grand, architect-designed dwellings in stone
- The public park and other natural landscape spaces

6.0 Proposed Development

This section presents a description of the proposed development, an assessment of impacts, a discussion of alternatives as appropriate and mitigation recommendations.

6.1 Description of Proposed Development

The proposed development consists of a one-storey addition to the existing three-storey hotel (172 Hurontario St), located at the fourth floor and oriented toward the rear lane to minimize its presence along Hurontario Street. The additional floor is intended to accommodate a spa as part of the hotel's amenities, enhancing the overall guest experience. Access to the spa addition is provided from within the existing hotel, as well as via a new staircase and elevator addition on the adjacent building at 168 Hurontario Street.

The proposed addition includes approximately 165 m² of gross floor area (192 m² total area) at 172 Hurontario Street, and a 50 m² addition at 168 Hurontario Street with no additional gross floor area. The maximum building height including the proposed addition will be 12 metres.

Exterior walls will be clad in wood siding with a black finish to match the existing wood siding that clads the rear of the building. The siding is accented with matching wood panels in places. The first storey of the addition at the west



(rear) elevation will be clad and finished to correspond to the exterior conditions at the rear of 168 Hurontario St.

The addition features glazing on all elevations except the south. A row of windows across the west (rear) elevation align with tilted windows on the roof to create a solarium effect. The portion of the addition housing the staircase, elevator and spa lobby has a long vertical window on the east elevation, with a door bottom opening onto the rooftop patio at 168 Hurontario St.

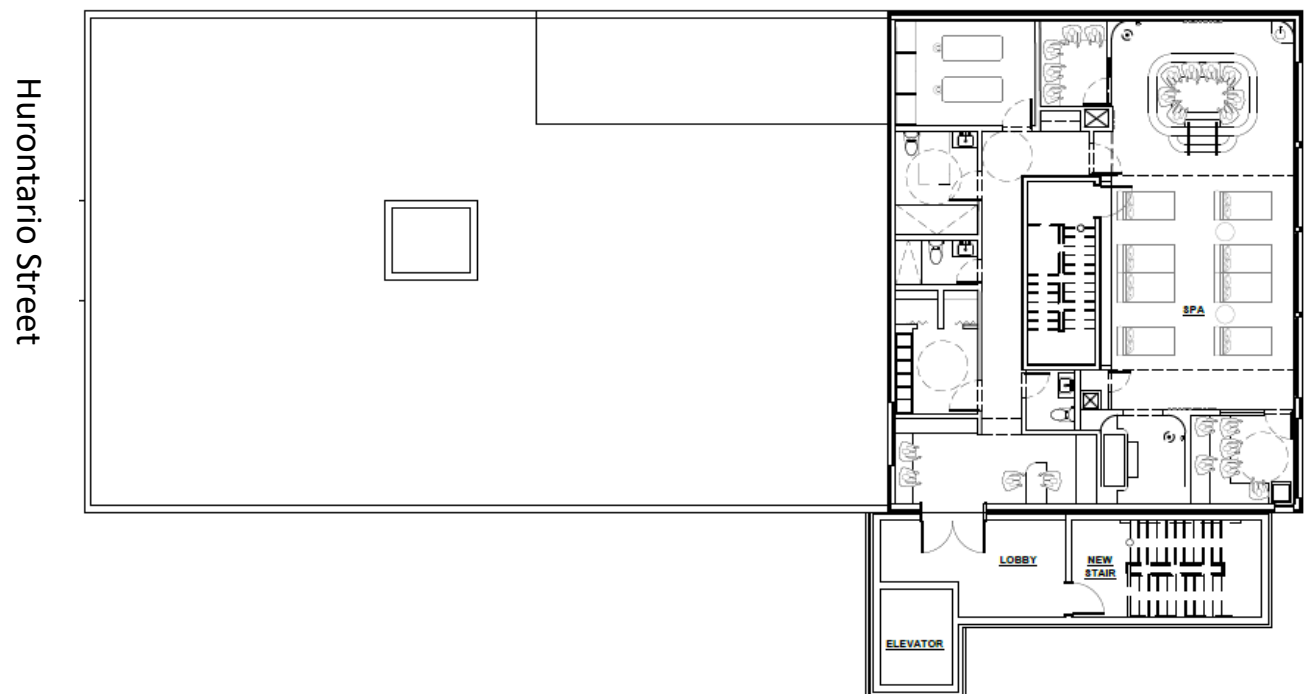


Figure 24: Proposed fourth floor plan (Waddell Engineering Ltd.).



please note: rendering is for concept only please reference architectural drawings

Figure 25: East façade (front), showing only additional development.



please note: rendering is for concept only please reference architectural drawings

Figure 26: West façade (rear).



please note: rendering is for concept only please reference architectural drawings

Figure 27: South façade (side).



please note: rendering is for concept only please reference architectural drawings

Figure 28: North façade (side).

6.2 Impact Assessment

To assess the potential impacts of the proposed works on the cultural heritage value of the Dorchester Hotel and the Collingwood Downtown Heritage Conservation District (C.D.H.C.D), the identified heritage sensitivities outlined in Sections 4.0 and 5.0 were considered against a range of possible impacts based on the *Ontario Heritage Tool Kit Info Sheet #5: Heritage Impact Assessments and Conservation Plans* (Ministry of Citizenship and Multiculturalism, 2006). These include:

Direct impacts:

- Destruction of any, or part of any, significant heritage attributes or features; and
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance.

Indirect impacts:

- Shadows created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
- Isolation of a heritage attribute from its surrounding environment, context or a significant relationship;
- Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features;
- A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces; and
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect an archaeological resource.

As part of the analysis of impacts, factors such as scale or severity of impacts, whether they are to be temporary or permanent, reversible, or irreversible, are also considered. In addition, the *Information Bulletin 3: Heritage Impact Assessments for Provincial Heritage Properties*, created by the Ministry of



Tourism, Culture and Sport (now administered by the Ministry of Citizenship and Multiculturalism) (Ministry of Citizenship and Multiculturalism, 2017) was consulted to ensure this assessment was compliant with standards guiding Heritage Impact Assessments for Provincial Heritage Properties¹. In accordance with this document, direct adverse impacts are identified where the following resulting conditions are anticipated:

- a permanent and irreversible negative affect on the cultural heritage value or interest of a property; and
- loss of a heritage attribute on all or part of the provincial heritage property.

Indirect adverse impacts are identified where activities on or near the property may adversely affect its cultural heritage value or interest and/or heritage attributes. Positive impacts may also result where a property's cultural heritage value or interest and/or heritage attributes is conserved or enhanced.

Impacts beyond those identified above were also considered, including potential vibration impacts related to the proposed development. Possible impacts are further discussed below.

The results of the impact assessment are based on a review of project materials and drawings provided by Dorchester Holdings Corp. and 2052816 Ontario Limited.

6.2.1 Discussion of Impacts and Compatibility with Collingwood Downtown H.C.D.

Section 5.1 of the H.C.D. Plan sets out the objectives and policies for heritage buildings and includes the following:

¹ While ensuring compliance with guidelines for Provincial Heritage Properties is not strictly required in this instance as the study area is not a Provincial Heritage Property, the guidance included in Information Bulletin 3 was considered in this assessment to adhere to best practices.



- *To encourage the continuing adaptive re-use of heritage buildings*
- *To foster renewed economic uses of the heritage buildings that capitalize on the overall heritage character and quality of the District*
- *To retain and conserve the heritage buildings by applying accepted principles and standards for heritage conservation*

Section 5.2 sets out the objectives and policies for new construction and development and includes the following:

- *To ensure that new construction and development complement and enhance the heritage character of the District*

Section 14.0 provides design guidelines for new construction and includes the following:

- *The design of a new building, or an addition, does not need to replicate historic design model to be compatible with the HCD. Attention to the form, alignment, height, massing, setback, architectural features, colour schemes, and materials can result in a design that maintains the architectural rhythm of the neighbouring buildings and streetscape, and thus the heritage character of the District.*
- *The construction of an exterior addition should be avoided, if possible, and considered only after it is determined that the uses intended for the addition cannot be accommodated in the existing building.*
- *New construction must conform to the established design principles, qualities, and characteristics of the neighbourhood and the streetscape.*

The proposed addition responds to these principles through a series of design strategies discussed in the following sections. The addition of a spa to the hotel will have the positive impact of meeting the H.C.D. Plan's objectives of adaptive reuse and fostering renewed economic uses of heritage buildings, a trajectory



already established with the previous restoration of the hotel and continued by this proposal.

Height

The H.C.D. Plan directs that height should be established based on surrounding context and streetscape analysis. The proposal maintains the established two-to-three storey streetwall along Hurontario Street, with the additional storey set back to the rear of the hotel, making the additional height minimally apparent from the public realm.

Exterior Wall Materials

The H.C.D. Plan Guidelines direct that exterior wall materials should be compatible with the original building design and includes brick, stone and wood as appropriate materials.

Wood siding with a black finish is proposed for the addition's cladding, consistent with the existing black wood siding on the west and south elevations of the hotel. The siding is accented with matching wood panels in places for additional articulation and design interest. This cladding helps the addition blend in with the rear of the hotel. It also distinguishes the east elevation of the staircase and elevator addition from the buff brick of the hotel's front façade and does not compete with it, while also tying in with the black elements at the hotel's front entrance on the ground floor.

The first storey of the addition at the west (rear) elevation will be clad and finished to correspond to the exterior conditions at the rear of 168 Hurontario St. This contributes to a sense of articulation between the two buildings at the rear.

Windows

The H.C.D. Plan provides design guidelines for windows above the ground floor. These include guidelines for proportion, grouping and material.



Windows on the addition have been designed to echo the existing windows on the west elevation. Windows are proposed to be metal or vinyl with a black finish and will be selected for their compatibility with windows on the existing building, which no longer retains its original wood windows.

The window on the staircase and elevator addition on the east façade is a vertically-oriented window that reflects its internal function. The size of this window helps to lighten the visual presence of this addition on the east elevation.

Windows on the north elevation have been arranged to echo the placement of existing windows on this elevation.

Window design on the west elevation references the proportions and organization of the existing rear façade, while introducing a distinct rhythm that reinforces the addition as a contemporary intervention. The row of large solarium-style windows and an angled glass roof are designed to maximize guests' views of the escarpment from this elevation. This glazing approach helps to reduce the apparent height of the addition as viewed from the west.

Streetscape Impacts

Given its location at the fourth floor with a significant setback and orientation toward the rear lane, the addition is minimally visible from Hurontario Street, with only the staircase and elevator portion being visible at a close distance (Figure 28). This portion introduces a new element into the streetscape, however its size and restrained design make it subordinate to the existing streetwall. The northeast elevation of the addition will be visible when looking south towards the hotel along Hurontario Street from north of Third St, (Figure 29), however from further distances this will be blocked by the height of existing buildings.





Figure 29: Rendering showing approximate view from the east side of Hurontario St.



Figure 30: Northeast elevation of hotel as visible looking south along Hurontario St from just north of Third St.

The rear of the hotel is visible from Pine Street only at a specific vantage point from the parking lot for 54 Third St, and at a considerable distance. The addition will have a minimal impact on this streetscape.



Figure 31: West (rear) elevation of 172 Hurontario St as visible looking east from Pine St.

The third storey of the hotel is visible from Third Street (Figure 31). The fourth storey addition will be visible from this location (Figure 32), however the buildings in the foreground do not appear to contribute to a significant viewscape. The consistent cladding and use of glazing will lighten the visual effect of the additional storey.



Figure 32: North elevation of 172 Hurontario St. as visible looking south from Third St.

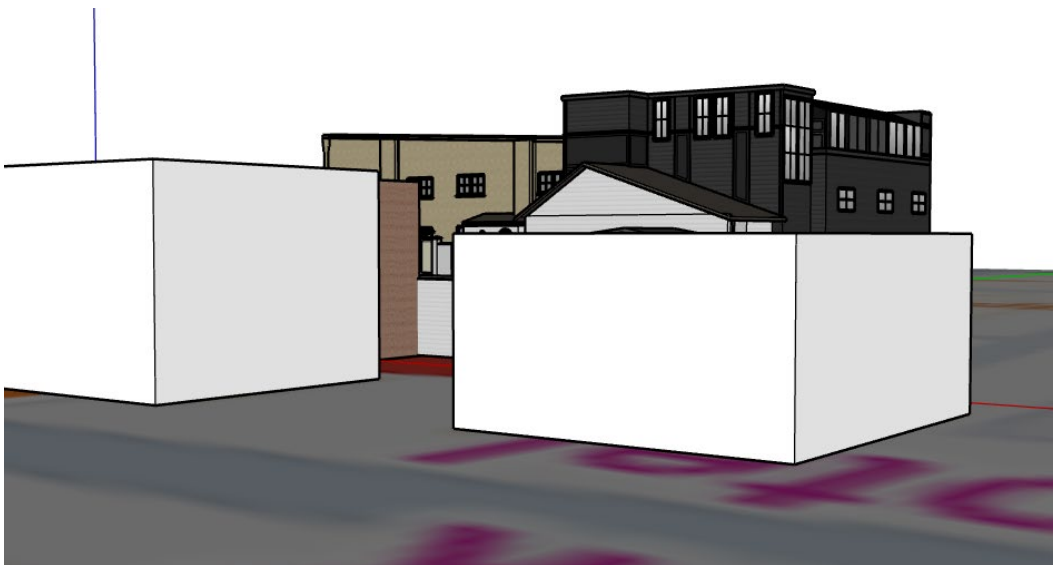


Figure 33: Rendering showing view from Third St with fourth-storey addition.

The rear and side of the hotel are minimally visible in the distance from Fourth Street, and this view is currently screened by trees (Figure 33). The addition will have a minimal impact on this streetscape.



Figure 34: South elevation of 172 Hurontario St. as visible looking north from Fourth St.

Overall, the proposed development is consistent with the intent of the Heritage Conservation District Plan, conserving the heritage character of the area while accommodating sensitive and compatible intensification. The addition does not pose negative impacts to the historical hotel building or the H.C.D at large and has the potential for positive economic impacts within Downtown Collingwood.

6.3 Alternatives and Mitigation

The following sections discuss alternatives and mitigation.

6.3.1 Considered Alternative

The proposed addition employs numerous design strategies to minimize its impact on the heritage value of the hotel building and the Downtown Collingwood Heritage Conservation District.

The considered alternative is to not build an addition to the hotel. This option would not allow for the Dorchester Hotel to offer an expanded range of amenities that strengthen the hotel's appeal, attract visitors, and contribute to a more active and lively downtown year-round. Further, it would not meet the H.C.D. Plan's objectives to encourage continuing adaptive reuse of heritage buildings and to foster renewed economic uses of the heritage buildings that capitalize on the overall heritage character and quality of the District.

6.3.2 Mitigation

The H.C.D. Plan provides the following guidance regarding mitigation:

Methods of minimizing or avoiding a negative impact on a cultural heritage resource include, but are not limited to:

- *Alternative development approaches*
- *Isolating development and site alteration from significant built and natural features and vistas*
- *Design guidelines that harmonize mass, setback, setting, and materials*
- *Limiting height and density*
- *Allowing only compatible infill and additions*
- *Reversible alterations*
- *Buffer zones, site plan control, and other planning mechanisms*

The proposal incorporates a number of these strategies. The heritage consultant has worked with the proponent on the development of the design to minimize



the proposal's impacts to the hotel and the Downtown Collingwood H.C.D. This process has resulted in the refinement of articulation, materials, colours, and window size, arrangement and design.

Additional mitigation recommendations include taking appropriate measures to avoid damaging the existing hotel and nearby heritage buildings during construction.

7.0 Summary Statement and Conservation Recommendations

This report considers the impacts of the proposal to the historical hotel building at 172 Hurontario Street and to the Collingwood Downtown Heritage Conservation District (H.C.D.). The proposed addition has been strategically and thoughtfully designed to minimize negative impacts to these heritage resources. Overall, the proposal does not pose negative impacts to the historical hotel building or the H.C.D at large and has the potential for positive economic impacts within Downtown Collingwood.

The following recommendations are proposed:

3. Construction activities and staging should be suitably planned and undertaken to avoid impacts to the heritage resources. Suitable mitigation including establishing no-go zones with fencing and issuing instructions to construction crews to avoid the heritage resources should be considered to mitigate any unintended impacts during construction.
4. This draft report should be submitted by the proponent to heritage staff at the Town of Collingwood for review and comment. Any feedback received will be considered and incorporated into the final report as appropriate.



8.0 List of Resources Consulted

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Appendix A: Qualified Persons Involved in the Project

Rebecca Sciarra, M.A., R.P.P., M.C.I.P., C.A.H.P.
Vice President, Principal - Cultural Heritage

The Senior Project Manager for this Cultural Heritage Report is **Rebecca Sciarra** (M.A., Canadian Studies). She was responsible for: overall project scoping and approach; development and confirmation of technical findings and study recommendations; application of relevant standards, guidelines and regulations; and implementation of quality control procedures. Rebecca is a Vice President at A.S.I. and is the Principal of the Cultural Heritage Practice Area. She is responsible for the highest-level management of a busy and diverse team of heritage professionals who apply their expertise across a broad range of public and private sector clientele. Rebecca also provides oversight and quality assurance for all deliverables, maintaining responsive and prompt client communications, and providing heritage clients with a direct connection to corporate ownership. In addition to her role as Principal of the Cultural Heritage Practice Area, Rebecca is academically trained in heritage conservation principles and practices. She has led a range of high profile and complex heritage planning and conservation management projects for public and private sector clients. Her experience in both the private and public sectors has involved providing expertise around the strategic development of policies and programs to conserve Ontario's cultural heritage resources as part of environmental and land-use planning processes. She has worked with municipal, provincial, federal and private sector clients to lead heritage evaluations and assessment as part of area planning studies, including secondary plans, heritage conservation district studies, and master plans. Rebecca is a professional member with the Canadian Institute of Planners and the Canadian Association of Heritage Professionals.

Laura Wickett, B.A. (Hon.), Dipl. Heritage Conservation
Cultural Heritage Analyst, Project Manager - Cultural Heritage



The Project Manager for this Cultural Heritage Report is **Laura Wickett** (B.A. (Hon.), Diploma Heritage Conservation), who is a Cultural Heritage Analyst and Project Manager within the Cultural Heritage Practice Area. She was responsible for day-to-day management activities, including scoping and conducting research activities and drafting of study findings and recommendations. Trained in the theoretical and technical aspects of heritage conservation, Laura has over nine years' experience working in the field of cultural heritage resource management. She began working in A.S.I.'s Cultural Heritage Division as a Cultural Heritage Technician in 2017, providing support for a range of cultural heritage assessment reports, including Cultural Heritage Resource Assessments, Cultural Heritage Evaluation Reports, Heritage Impact Assessments, and Secondary Plan assessments. She has also contributed to Heritage Conservation District studies, Cultural Heritage Landscape inventories and Heritage Register reviews.

Leora Bebko, M.M.St.

Cultural Heritage Technician, Technical Writer and Researcher - Cultural Heritage

The Cultural Heritage Technician for this project is Leora Bebko (M.M.St.), who is a Cultural Heritage Technician and Technical Writer and Researcher within the Cultural Heritage Practice Area. She was responsible for preparing and contributing research and technical reporting. In Leora's career as a cultural heritage and museum professional she has worked extensively in public programming and education within built heritage spaces. Leora is particularly interested in the ways in which our heritage landscapes can be used to facilitate public engagement and interest in our region's diverse histories. While completing her Master of Museum Studies she was able to combine her interest in heritage architecture and museums by focusing on the historic house museum and the accessibility challenges they face. As a thesis project, Leora co-curated the award-winning exhibit *Lost & Found: Rediscovering Fragments of Old Toronto* on the grounds of Campbell House Museum. Since completing her degree she has worked as a historical interpreter in a variety of heritage spaces, learning a range of traditional trades and has spent considerable time researching heritage foodways and baking in historic kitchens. In 2022, she joined ASI's Cultural Heritage team as a Cultural Heritage Technician.



Appendix B: Urban Design Brief



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May 8, 2026

Jocelyn Wainwright
Community Planner
Planning Services
Town of Collingwood
97 Hurontario Street
Collingwood, Ontario L9Y 3Z5

Subject: Urban Design Brief - 172 Hurontario Street
O2 Project No.: 260106

Ms. Wainwright,

Please find enclosed the Urban Design Brief prepared by O2 Planning and Design on behalf of Dorchester Holdings Corp. and 2052816 Ontario Limited. This report is in support of a proposed addition to the existing hotel at 172 Hurontario Street, with access provided through the adjacent property at 168 Hurontario Street.

The report has been prepared as part of the Site Plan Approval application process. The report evaluates the proposal within the context of the surrounding built environment, applicable municipal policies and guidelines, and urban design best practices. In our professional opinion, the proposed development represents appropriate and context-sensitive development that supports the continued vitality of Downtown Collingwood.

Sincerely,

A handwritten signature in black ink that reads 'Ute Maya-Giambattista' in a cursive script.

Ute Maya-Giambattista

B.Arch, MCIP, RPP, LEED AP
Principal, Urban Design
647.221.9192

Urban Design Brief

172 and 168 Hurontario Street, Town of Collingwood, Ontario

1. Introduction

Purpose

This Urban Design Brief has been prepared by O2 Planning and Design on behalf of Dorchester Holdings Corp. and 2052816 Ontario Limited in support of a proposed addition to the existing hotel at 172 Hurontario Street, with access provided through the hotel and the adjacent property at 168 Hurontario Street under the same ownership, in the Town of Collingwood, Ontario. The Brief forms part of the Site Plan Approval application.

The report describes the site and its surrounding context, outlines the applicable urban design policy and guideline framework, and demonstrates how the proposed development aligns with these policies and guidelines while supporting the principles of good urban design.

This report follows the Town of Collingwood's Urban Design Document Submission Terms of Reference and has been prepared in consideration of the Town of Collingwood Official Plan (2024), the Town's Urban Design Manual (2010), the Town of Collingwood Zoning By-law 2010-040 and the Collingwood Downtown Heritage Conservation District Plan (2008).

Site Location and Overview

The subject properties are located in Downtown Collingwood at 168 and 172 Hurontario Street, approximately 600 metres from the waterfront.

The site at 172 Hurontario Street contains an existing three-storey hotel, while 168 Hurontario Street is occupied by a one-storey commercial building, currently planned to accommodate a bakery with a second-floor patio. The surrounding context is characterized by a main street commercial environment along Hurontario Street, with service areas and parking located at the rear.

The proposed development consists of a one-storey addition to the existing hotel, located at the fourth floor and oriented toward the rear lane to minimize its presence along Hurontario Street. The additional floor is intended to accommodate a spa as part of the hotel's amenities, enhancing the overall guest experience. Access to the spa addition is

provided from within the existing hotel, as well as via a new staircase and elevator addition on the adjacent building at 168 Hurontario Street.

The proposed addition includes approximately 165 m² of gross floor area (192 m² total area) at 172 Hurontario Street, and a 50 m² addition at 168 Hurontario Street with no additional gross floor area.

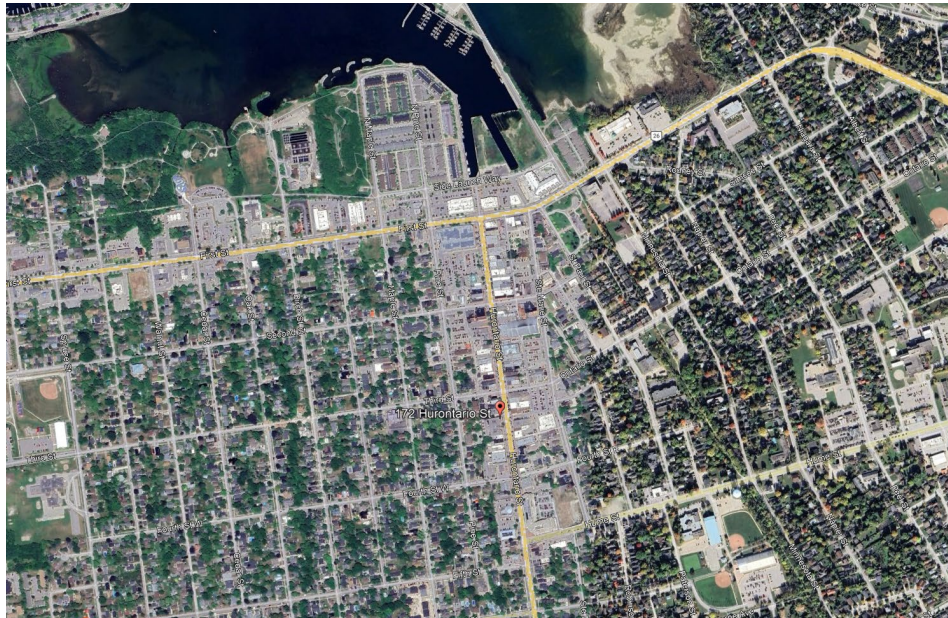


Figure 1. Site Location Map

2. Vision and Guiding Principles

The following vision and guiding principles are informed by and aligned with the Town of Collingwood Official Plan (2023), the Town's Community-Based Strategic Plan (2020-2023), and the Downtown Master Plan (2025), reflecting the community's broader vision and priorities for growth, vibrancy, and high-quality urban design.

Vision

The project envisions a context-sensitive addition that enhances the functionality and longevity of the existing Dorchester Hotel while reinforcing the character and vitality of Downtown Collingwood. It seeks to integrate seamlessly with the existing character of Hurontario Street while making efficient use of existing buildings and infrastructure.

By introducing a spa within the new addition, the project envisions an expanded range of amenities that strengthen the hotel's appeal, attract visitors, and contribute to a more active and lively downtown year-round.

Principles

1. Contextual Built Form Integration

Ensure the addition is carefully integrated into the surrounding existing built form.

2. Human-Scale Streetscape

Maintain and reinforce a comfortable, pedestrian-oriented environment along Hurontario Street.

3. Downtown Vibrancy

Strengthen the role of the property as an active destination by enhancing the hotel's capacity and viability.

4. Context Analysis

The subject properties are located along Hurontario Street in Downtown Collingwood, within the block between Third Street and Fourth Street West. Hurontario Street functions as Collingwood's main street and forms a vibrant commercial spine characterized by active street-level uses, pedestrian activity, and a concentration of restaurants, boutique shops, services, and cultural destinations. Downtown Collingwood is a well-established and lively centre, offering over 30 restaurants, more than 60 boutique shops, spas, live music venues, and a seasonal farmers' market. The area is further defined by the Collingwood Downtown Heritage Conservation District, established under the Ontario Heritage Act, which recognizes and protects the historic character of the downtown core.

The immediate context of the site is primarily commercial in nature, with commercial buildings located on either side along Hurontario Street. To the rear of the property, land uses transition to lower-intensity residential uses. A surface parking area is located at the rear of the site, accessed via a driveway from Hurontario Street, serving the existing uses on-site.

Overall, the site is situated within a highly walkable and active downtown environment, where commercial intensity along Hurontario Street gradually transitions to mixed and residential uses toward the rear lanes and adjacent blocks.

5. Policy Context

The Town of Collingwood is supported by a comprehensive policy framework that guides land use, built form, and the continued evolution of its urban areas, particularly within the Downtown. This Urban Design Brief has been prepared in consideration of the applicable municipal planning framework to ensure the proposed development aligns with the Town's

vision for appropriate infill, compatible built form, and a vibrant, pedestrian-oriented downtown.

The relevant policy direction has been reviewed to understand how the proposed hotel addition responds to the intent of managing growth within the existing built-up area, supporting main street vitality, and reinforcing high-quality urban design outcomes. Where appropriate, these policies have informed the design approach and integration of the proposed addition within its context.

Town of Collingwood Official Plan (2024)

Council adopted a new Official Plan on December 11, 2023, which was subsequently modified and approved by the County of Simcoe in September 2024, subject to areas of non-decision, and is currently under appeal to the Ontario Land Tribunal. The policies referenced in this brief are not subject to appeal; therefore, the analysis is based on the approved 2024 Official Plan.

The Official Plan establishes a vision for Collingwood as a unique and complete community that supports year-round, healthy and active lifestyles, and is valued for its natural features, historic legacy, and recreational amenities. The Downtown is identified as the heart of the community, bringing together a diverse mix of cultural, commercial, and social activities. The proposed development supports this vision by enhancing the Dorchester Hotel's role as a destination, contributing to downtown vibrancy, supporting the local economy, and expanding amenities, such as the introduction of a spa, that reinforce Collingwood's appeal as a year-round destination.

With respect to cultural heritage, the Official Plan directs that the Town protect and enhance the historic architectural character within the Downtown Core, with particular attention to pedestrian-scale design, façade articulation, and the rhythm and proportion of buildings. New development is encouraged to relate to the traditional building stock, either through complementary design or through a contemporary approach that provides a clear distinction between old and new. The proposed addition responds to these policies by clearly differentiating the new construction from the existing building, while incorporating façade articulation and design elements that are consistent with the surrounding context.

The Official Plan identifies Strategic Growth Areas as key locations for intensification, accommodating a mix of residential, commercial, and employment uses in compact, mixed-use forms. The subject site is located within the Downtown Core Designation, which is intended to function as the cultural, commercial, and social hub of the Town, as well as a regional destination for residents and visitors. The Downtown Core is planned to support

economic revitalization, heritage conservation, and a broad mix of uses, while accommodating sensitive intensification.

The proposed development aligns with these directions by introducing a modest and contextually appropriate addition that supports intensification within the existing built-up area. By enhancing the hotel's capacity and introducing new amenities, the proposal contributes to increased activity, supports local businesses, and reinforces the Downtown Core as a vibrant, year-round destination.

Town of Collingwood Zoning By-law 2010-040 (Consolidated April 2, 2026)

The subject properties are zoned Commercial (C1) under the Town of Collingwood Zoning By-law 2010-040 (See Figure 2). This designation permits a range of commercial uses, including hotel uses, and supports the function of Hurontario Street as the primary commercial corridor within the Downtown.

The Zoning By-law permits a maximum building height of 12 metres within the C1 zone. The proposed development, including the additional storey, complies with this requirement, with a maximum building height of 12 metres.

Properties located to the rear of the subject site are zoned Residential Second Density (R2), which permits low-density residential uses such as single-detached and semi-detached dwellings, and also permits a maximum building height of 12 metres. In this context, the proposed addition maintains compatibility with adjacent residential areas in terms of scale and height, supporting an appropriate transition between commercial and residential uses.

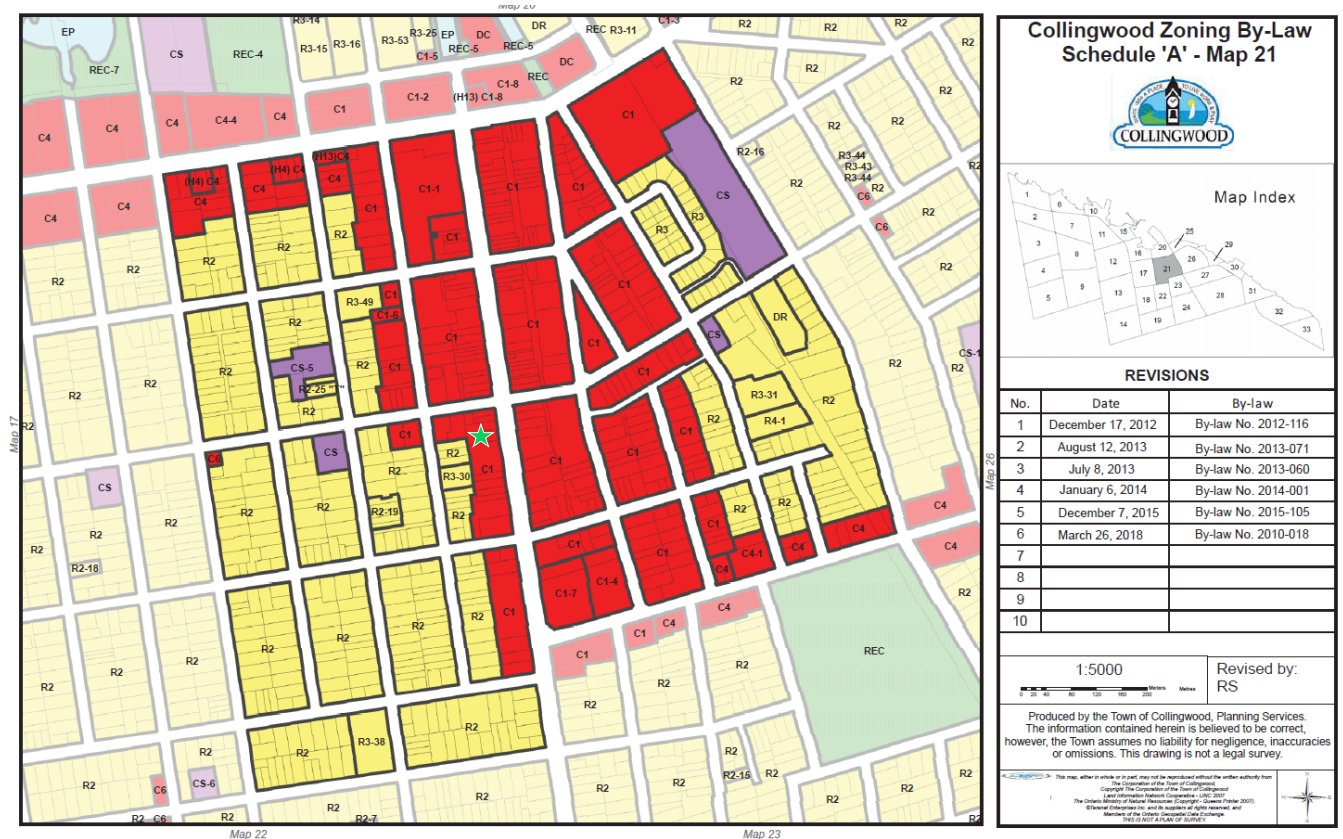


Figure 2. Collingwood Zoning By-Law. Schedule 'A' – Map 21

Collingwood Downtown Heritage Conservation District Plan (2008)

The subject site is located within the Collingwood Downtown Heritage Conservation District and is identified as part of the Commercial Core, one of the two predominant built form typologies within the District, alongside the House Form.

The Heritage Conservation District Plan recognizes that new construction and additions do not need to replicate historic styles to be compatible. Rather, compatibility is achieved through careful consideration of form, alignment, height, massing, setbacks, architectural features, materials, and colour, ensuring continuity in the architectural rhythm and character of the streetscape.

The proposed addition responds to these principles by utilizing materials that are consistent with the existing rear portion of the hotel and compatible with the historic brick façade along Hurontario Street, while clearly distinguishing the new construction from the original building. Window design references the proportions and organization of the existing rear façade, while introducing a distinct rhythm that reinforces the addition as a contemporary intervention.

Given its location at the fourth floor with a significant setback and orientation toward the rear lane, the addition is minimally visible from Hurontario Street and does not impact the heritage character, street presence, or composition of the primary façade.

The Heritage Conservation District Plan also directs that massing within the permitted height reflect the traditional two- to three-storey streetwall condition. The proposal maintains this condition along Hurontario Street, with the additional storey set back, making it minimally perceptible from the public realm. No additional signage is proposed, as the spa will function as part of the existing hotel.

Overall, the proposed development is consistent with the intent of the Heritage Conservation District Plan, conserving the heritage character of the area while accommodating sensitive and compatible intensification.

Urban Design Manual (2010)

The Town's Urban Design Manual provides guidance to ensure new development contributes to a cohesive and pedestrian-friendly streetscape. For buildings exceeding 10 metres in height, the Manual recommends mitigating apparent massing through measures such as stepping back upper storeys or locating them within a 45-degree angular plane from the street centreline.

The proposed fourth-floor addition complies with these guidelines, as it is set back approximately 24 metres from Hurontario Street, significantly exceeding the recommended minimum setback and ensuring it is not perceptible from the immediately adjacent public realm.

The Manual also encourages clear architectural differentiation between lower and upper storeys through horizontal articulation and variation in design elements. The proposed addition achieves this by introducing a distinct rhythm through window placement and panelization that differs from the existing lower floors, reinforcing the addition as a contemporary element while maintaining overall coherence with the building.

6. Detailed Design Direction

Built Form and Compatibility

The proposed development consists of a modest fourth-floor addition to the existing Dorchester Hotel to accommodate the Ivy Spa, providing approximately 165 m² of gross floor area. The addition reinforces the efficient use of existing infrastructure while supporting the continued vibrancy and year-round activity of Downtown Collingwood.

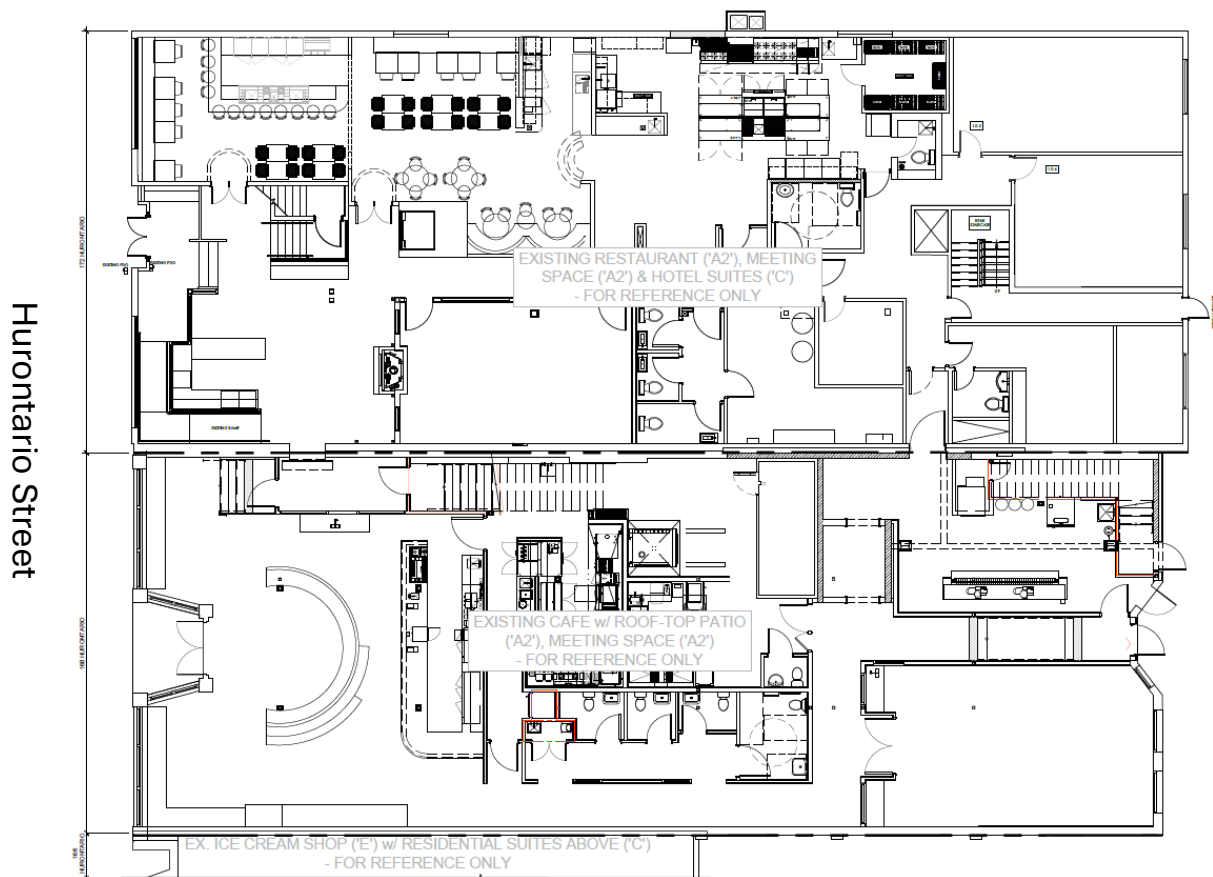


Figure 3. Existing Ground Floor Plan. All existing except as noted on proposed plan.

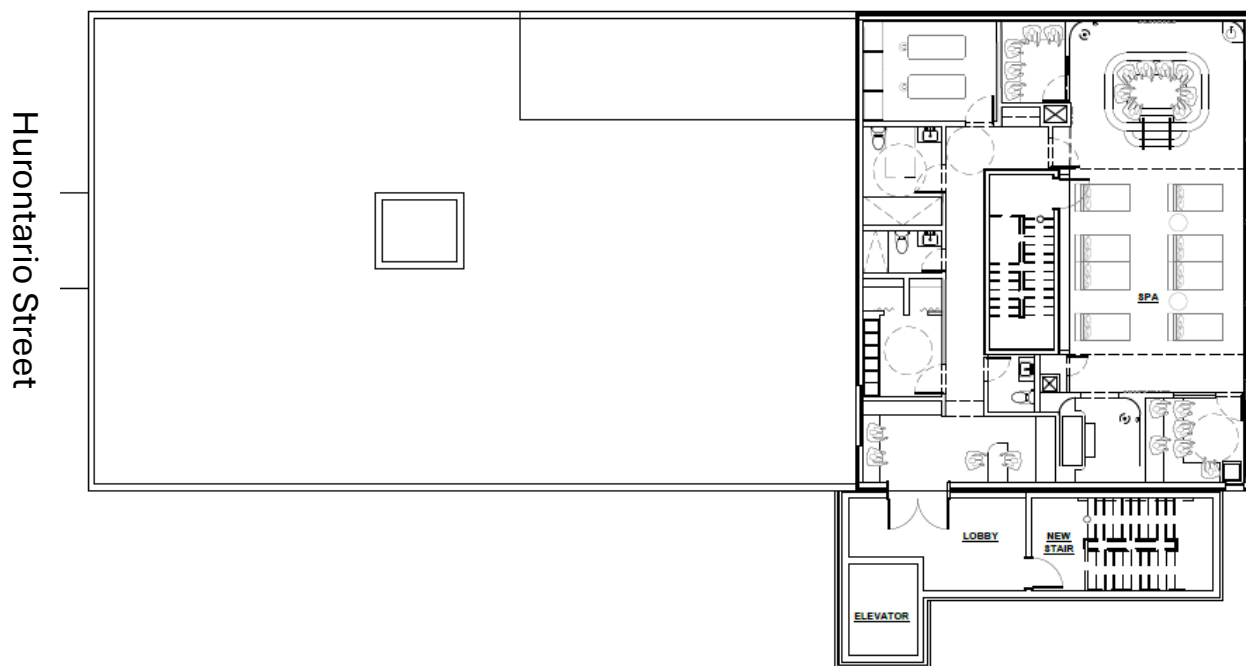


Figure 4. Proposed Fourth Floor Plan

Additional height is introduced strategically at the rear of the building, minimizing visibility from Hurontario Street and preserving the established three-storey streetwall. This approach maintains the prominence and character of the existing façade while contributing to a well-composed built form.

The east (front) façade along Hurontario Street remains unchanged, as the fourth-floor addition is set back approximately 24 metres and has limited visibility from the street. The fourth floor does not introduce new openings facing east and uses the same façade's wood siding and panelling in a black finish as the existing rear facade, further minimizing its presence from the public realm. The staircase and elevator addition at 168 Hurontario Street is modest in scale and connects to the planned second-floor patio, incorporating a vertical window that expresses its internal function while remaining visually integrated with the overall development.



please note: rendering is for concept only please reference architectural drawings

Figure 5. East Façade showing only additional development.



please note: rendering is for concept only please reference architectural drawings

Figure 6. West Façade (rear).

The west (rear) façade incorporates the fourth-floor addition in a manner that is both compatible and distinguishable. The use of consistent wood siding and panelling in a black finish ensures integration with the existing building, while variations in window rhythm and detailing clearly identify the addition as a contemporary element.

The south façade remains simple and cohesive, with no openings and a consistent material palette. The north façade introduces limited openings and a door connection to the adjacent rooftop patio, maintaining compatibility while providing subtle variation in rhythm and articulation.



please note: rendering is for concept only please reference architectural drawings

Figure 7. South Façade (side).



please note: rendering is for concept only please reference architectural drawings

Figure 8. North Façade (side).

Access, Parking and Loading

Pedestrian access to the new development is provided through the existing hotel entrance along Hurontario Street, with additional access from the rear via the existing parking area. Internal connections between 168 and 172 Hurontario Street provide access to the new spa facilities.

Parking and service functions remain located at the rear of the property, accessed via the existing driveway from Hurontario Street. This arrangement minimizes impacts on the primary streetscape and maintains an uninterrupted, pedestrian-oriented frontage along the main street.

Public Realm

The proposed addition has no negative impact on the public realm along Hurontario Street as well as Pine and Third (Ontario) Streets. By locating the additional storey at the rear with a significant setback, the development preserves the existing streetwall condition, pedestrian scale, and overall character of the streetscape along Hurontario Street (see Figure 9).

Impacts on Pine and Third Streets are further minimized through a series of design strategies. The addition incorporates extensive glazing, reducing perceived mass and creating a lighter visual presence. The use of sloped, solarium-style glazing systems with vertical framing and an angled glass roof, helps to reduce the apparent height and soften the building profile (see Figure 10). In addition, the physical and visual separation between

the main hotel building at 172 Hurontario Street and the staircase and elevator addition at 168 Hurontario Street breaks down the overall massing, introducing articulation that reduces the perception of a single large volume. Together, these approaches ensure the development remains compatible with its surroundings and minimizes its visual impact from adjacent streets.

The proposal supports a comfortable and active public realm by maintaining existing building relationships and enhancing the viability of downtown uses. The introduction of a spa as part of the hotel contributes to increased activity and reinforces Hurontario Street's role as a vibrant, mixed-use main street.



Figure 9. 3D Massing (front perspective)



Figure 10. 3D Massing (rear perspective)

7. Heritage Resources

The properties at 168 and 172 Hurontario Street are located within the Collingwood Downtown Heritage Conservation District (Part V under the Ontario Heritage Act).

The applicable heritage policies and design guidelines have been reviewed and addressed in the Policy Context section of this report. The proposed addition is designed to be compatible with the existing building and surrounding context, maintaining the established scale, character, and streetscape of the heritage district. Please refer to the Heritage Assessment Report prepared by ASI, April 2026, for further details.

8. Sustainability Features

The proposed development does not increase the footprint of either building and is therefore expected to maintain existing stormwater conditions. Roof drainage will continue to be managed through conventional systems such as roof drains and/or scuppers, consistent with the existing condition (final details to be confirmed at the detailed design stage).

Given the limited scope of the addition, no new stormwater management facilities or low impact development (LID) measures are anticipated to be required for quantity or quality control. As noted in the Functional Servicing Brief, there may be opportunities to incorporate stormwater management measures at the roof level.

9. Conclusion

Based on the vision, guiding principles, and analysis of the municipal policy framework presented above, it is our professional opinion that the proposed addition to the Dorchester Hotel represents appropriate and well-considered development within Downtown Collingwood.

The proposal demonstrates a high degree of compatibility with its surroundings by integrating sensitively with the existing built form and respecting the heritage character of the Downtown Heritage Conservation District. The addition is clearly distinguishable yet complementary, utilizing materials, proportions, and façade articulation that respond to the existing context while maintaining a contemporary expression.

The development supports the continued vitality of the downtown by enhancing the hotel's function and introducing a spa amenity, contributing to increased activity, tourism, and year-round economic vibrancy. It also represents an efficient use of existing buildings and infrastructure, aligning with the Town's objectives for intensification within the built-up area.

Through its careful massing, significant setback, and architectural articulation, the addition minimizes visual impacts on Hurontario Street and adjacent areas, preserving the established pedestrian scale and streetscape character. Design strategies, including material continuity, glazing, and the separation of building elements, further reduce the perception of mass and ensure compatibility with nearby properties.

Overall, the proposed development is consistent with applicable policies and design guidelines and is recommended as a context-sensitive addition that contributes positively to the character, functionality, and vibrancy of Downtown Collingwood.