

ABBREVIATIONS:

A/C	AIR CONDITIONER / CONDITIONING	FOS	FACE OF STUDS	QT	QUARRY TILE
AB	ANCHOR BOLT	FRF	FIREPROOF	QTY	QUANTITY
ABV	ABOVE	FR	FIRE RATED		
ACT	ACOUSTIC CEILING TILE	FT	FOOT, FEET	R	RISER
ADJ	ADJACENT	FTG	FOOTING	RAD	RADIUS
AFT	ABOVE FINISHED FLOOR	FUR	FURRING	RCP	REFLECTED
ALT	ALTERNATE	FUT	FUTURE		CEILING PLAN
ALUM	ALUMINUM			RD	ROOF DRAIN
ANOD	ANODIZED	GA	GAUGE	RE / REF	REFER, REFERENCE
AP	ACCESS PANEL	GALV	GALVANIZED	REFR	REFRIGERATOR
APL	ASSUMED PROPERTY LINE	GB	GRAB BAR	REG	REGISTER
APPROX	APPROXIMATELY	GC	GENERAL CONTRACTOR	REIN	REINFORCE
ARCH	ARCHITECTURAL	GL	GLASS	REQ	REQUIRE(D)
ASPH	ASPHALT	GR	GRADE	RESIL	RESILIENT
AUTO	AUTOMATIC	GYP	GYPSPUM	REV	REVISED(D), REVISION
AVG	AVERAGE	GYP BD	GYPSPUM BOARD	RFC	ROOFING
				RFL	REFLECTED
BD	BOARD	HB	HOSE BIB	RH	RIGHT HAND
BITUM	BITUMINOUS	HC	HOLLOW CORE	RM	ROOM
BLDG	BUILDING	HDR	HEADER	RO	ROUGH OPENING
BLK	BLOCK	HDWD	HARDWOOD		
BLKG	BLOCKING	HDWR	HARDWARE	S	SOUTH
BM	BEAM	HMT	HOLLOW METAL	SC	SCHEDULE
BO	BOTTOM OF	HOR/HORIZ	HORIZONTAL	SECT	SECTION
		HR	HANDRAIL, HOUR	SF	SQUARE FEET
CAB	CABINET	HT	HEIGHT	SH	SHELF
CARP	CARPET	HTR	HEATER	SHT	SHEET
CB	CATCH BASIN	HVAC	HEATING, VENTILATION,	SHG	SHEATHING
CEM	CEMENT		AIR CONDITIONING	SHWR	SHOWER
CER	CERAMIC	HW	HOT WATER	SHW	SIMILAR
CI	CAST IRON	ID	INSIDE DIAMETER	SLDG	SLIDING
CL	CLOSET	IN	INCH(ES)	SOG	SQUARE METERS
CLG	CEILING	INCL	INCLUDE(D), INCLUDING	SPEC	SPECIFY, SPECIFICATION
CLR	CLEAR	INSUL	INSULATE, INSULATION	SPKL	SPRINKLER
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	SPKR	SPEAKER
CNTR	COUNTER	JST	JOIST	SS	SQUARE
COL	COLUMN	JT	JOINT	SS	STAINLESS STEEL
CONC	CONCRETE	LAM	LAMINATE(D)	STD	STONE
COND	CONDITION	LAV	LAVATORY	STL	STEEL
CONN	CONNECTION	LF	LEAR FOOT / FEET	STOR	STORAGE
CONST	CONSTRUCTION	LH	LEFT HAND	STRUCT	STRUCTURAL
CONT	CONTINUOUS	LKR	LOCKER	SUSP	SUSPENDED
CORR	CORRIDOR	LR	LIVING ROOM	SW	SWITCH
CPT	CARPET TILE	LRG	LARGE	SYM	SYMMETRICAL
CSK	COUNTERSUNK	LT	LIGHT	SYN	SYNTHETIC
CT	CERAMIC TILE	LVR	LOUVER	STS	SYSTEM
CTR	CENTRE				
CW	COLD WATER				
DBL	DOUBLE	M	METERS	T	TREAD
DEMO	DEMOLISH / DEMOLITION	MAINT	MAINTENANCE	T&B	TOP AND BOTTOM
DF	DIAMETER	MATL	MATERIAL	T&G	TONGUE AND GROVE
DIA	DIAMETER	MAX	MAXIMUM	TB	TOWEL BAR
DM	DIMENSION	MECH	MECHANICAL	TBD	TO BE DETERMINED
DSP	DISPENSER	MEMB	MEMBRANE	TC	TOP OF CURB
DV	DIVISION	MEZZ	MEZZANINE	TEL	TELEPHONE
DN	DOWN	MFR	MANUFACTURER	TEMP	TEMPORARY/TEMPERATURE
DO	DOOR	MIN	MINIMUM	TER	TERRAZZO
DS	DOWN SPOUT	MIR	MIRROR	TF	TOP OF FOOTING
DTL	DETAIL	MISC	MISCELLANEOUS	THK	THICK, THICKNESS
DWG	DRAWING	MO	MOUNTED	THR	THRESHOLD
DWR	DRAWER	MTD	MOUNTED	THRU	THROUGH
		MTL	METAL	TO	TOP OF
E	EAST	MUL	MULLION	TOC	TOP OF CONCRETE
EA	EACH			TOL	TILE
EL	ELEVATION	N	NORTH	TOP	TOP OF PARAPET
ELEC	ELECTRICAL	N/A	NOT APPLICABLE	TOS	TOP OF SLAB
ELEV	ELEVATOR	NIC	NOT IN CONTRACT	TP	TOP OF PAVEMENT
EMER	EMERGENCY	NO	NUMBER	TPD	TOILET PAPER DISPENSER
ENG	ENGINEER	NOM	NOMINAL	TS	TOP OF STEEL
EOS	EDGE OF SLAB	NTS	NOT TO SCALE	TV	TELEVISION
EQ	EQUAL(LY)			TYP	TYPICAL
EQUIP	EQUIPMENT	O/	OVER	UNFIN	UNFINISHED
EST	ESTIMATE	OA	OVER ALL	UNO	UNLESS NOTED OTHERWISE
EW	EACH WAY	OC	ON CENTRE	UR	URINAL
EX/EXIST	EXISTING	OD	OUTSIDE DIAMETER		
EXP	EXPANSION	OFF	OFFICE	V	VOLT(S)
EXT	EXTERIOR	OH	OVERHANG	VCT	VINYL COMPOSITE TILE
FA	FIRE ALARM	OPNG	OPENING	VERT	VERTICAL
FAST	FASTEN(ER)	OPP	OPPOSITE	VEST	VESTIBULE
FD	FLOOR DRAIN	OVHD	OVERHEAD	VER	VERIFY
FDN	FOUNDATION			VOL	VOLUME
FE	FIRE EXTINGUISHER	PD	PEDESTAL	W	WEST
FEC	FIRE EXTINGUISHER CABINET	PER	PERIMETER	W/	WITH
FF	FINISHED FLOOR	PERF	PERFORATED	W/O	WITHOUT
FFE	FIXTURE, FURNITURE, EQUIPMENT	PERP	PERPENDICULAR	W/C	WATER CLOSET
FC	FINISHED GRADE	PL	PROPERTY LINE	WD	WOOD
FHC	FIRE HOSE CABINET	PL	PLATE	WF	WIDE FLANGE
FIN	FINISH(ED)	PLAM	PLASTIC LAMINATE	WH	WATER HEATER
FIXT	FIXTURE	PLAS	PLASTER	WI	WROUGHT IRON
FLASH	FLASHING	PLBS	PLUMBING	WP	WATERPROOF(ING)
FLR	FLOOR	PLYWD	PLYWOOD	WSC	WAINSCOT
FLUOR	FLUORESCENT	PR	PAIR		
FOC	FACE OF CONCRETE	PRCST	PRECAST		
FOF	FACE OF FINISH	PRFAB	PREFABRICATED		
FOM	FACE OF MASONRY	PROP	PROPERTY		
		PT	PAINT	YD	YARD

ABBREVIATIONS

	BARRIER FREE		FINISHES TAG		REFLECTED CEILING FINISHES AND HT.
	DOOR TAG		FLOOR DRAIN		REVISION NUMBER
	DETAIL BUBBLE		GRADE ELEVATION - NEW		ROOM NUMBER
	ELEVATION FINISHES		GRADE ELEVATION - EXIST.		SECTION TAG
	ELEVATION TAG		INTERIOR ELEVATION		WALL TYPE TAG
					WINDOW TAG

LEGEND

- ALL WORK SHALL BE CONDUCTED IN ACCORDANCE TO ALL STATUTES, BY LAWS, CODES AND REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.
- ALL NOTES CONTAINED IN THESE DRAWINGS AND ANY WRITTEN SPECIFICATIONS SHALL BE PART OF THE CONSTRUCTION CONTRACT DOCUMENTS AND THE REQUIREMENTS OF SUCH NOTES WILL BE THE RESPONSIBILITY OF THE GC. CONSTRUCTION CONTRACT DOCUMENTS SHALL REPRESENT THE ENTIRE AGREEMENT BETWEEN THE CLIENT AND THE GC FOR THE COMPLETION OF THIS CONSTRUCTION PROJECT.
- FOR ALL STRUCTURAL, MECHANICAL AND ELECTRICAL DETAILS REFER TO ENGINEER'S DRAWINGS.
- GC SHALL FIELD VERIFY ALL SITE CONDITIONS AND REQUIREMENTS. GC WILL REPORT TO THE ARCHITECT UPON FINDING ANY DISCREPANCIES.
- NO CHANGES OR MODIFICATIONS TO THE WORK SHALL BE MADE WITHOUT THE APPROVAL OF THE CLIENT OR THE ARCHITECT REGARDING THESE DISCREPANCIES.
- COMMUNICATION WITH CLIENT, THE ARCHITECT, CONSULTANTS OR REGULATORY AGENCIES SHALL NOT BE CONSIDERED VALID AND ANY CHANGES IN WORK, ADDITIONAL COSTS, APPROVAL OR NON APPROVALS RESULTING DUE TO SUCH COMMUNICATION SHALL BE THE CONTRACTORS RESPONSIBILITY.
- ANY DAMAGES BY GC TO EXISTING BASE BUILDING WITHIN THIS CONTRACT WILL BE THE RESPONSIBILITY OF THE GC AND WILL BE RECTIFIED AT GC'S OWN EXPENSE.
- GC IS RESPONSIBLE FOR ALL DEMOLITION AND DISPOSAL OF ALL ITEMS SLATED FOR DEMOLITION / REMOVAL UNLESS OTHERWISE DIRECTED BY THE CLIENT.
- GC IS RESPONSIBLE FOR FLOOR PATCHING, LEVELING AND PREPARATION FOR AND OF FLOOR FINISHES.
- GC IS REQUIRED TO REVIEW, VERIFY, AND FULLY UNDERSTAND ALL SCOPE OF WORK RELATING TO THE CONTRACT DOCUMENTS AND THE SCOPE OF WORK WITHIN THIS PROJECT.
- THESE DRAWINGS ARE THE PROPERTY OF REFLECT ARCHITECTURE INC. AND THEY ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PRIOR WRITTEN CONSENT OF REFLECT ARCHITECTURE INC.
- DO NOT SCALE OFF DRAWINGS.
- GC IS RESPONSIBLE FOR LEAVING THE PREMISES CLEAN, READY FOR OCCUPANCY.
- GC TO SUPPLY AND INSTALL EVERYTHING UNLESS OTHERWISE NOTED OR AGREED UPON WITH THE CLIENT.

GENERAL NOTES

Item	Ontario Building Code Data Matrix Parts 3 & 9								OBC Reference		
1	☒ New ☐ Addition ☐ Alteration				☐ Part 11 11.1 to 11.4		☒ Part 3 2.1.1		☐ Part 9 2.1.1 9.10.1,3		
	☐ Change of Use										
2	Major Occupancy(s): GROUP D						3.1.2.1.(1)		9.10.2		
3	Building Area : GF: 3502.5 SF (325.4 SM) 2F: 1740.5 SF (161.7 SM)						1.1.3.2		1.1.3.2		
4	Area of Work: 3502.5 SF (325.4 SM)						1.1.3.2		1.1.3.2		
5	Number of Storeys: Above Grade: 2 Below Grade: 1						3.2.1.1 & 1.1.3.2		2.1.1.3		
6	Number of Streets / Access Routes 1 STREET						3.2.2.10 & 3.2.5.5		9.10.19		
7	Building Classification: GROUP D						3.2.2.47 3.2.2.53 3.2.2.59		9.10.4		
8	Sprinkler System Proposed:				☒ Entire Building ☐ Basement Only ☐ In Lieu of Roof Rating ☐ Not Required		3.2.2.20 3.2.1.15 3.2.2.17		9.10.8		
9	Standpipe Required:				☐ Yes ☒ No		3.2.9				
10	Fire Alarm Required:				☒ Yes ☐ No		3.2.4		9.10.17.2		
11	Water Service/Supply is Adequate:				☒ Yes ☐ No		3.2.5.7				
12	High Building:				☐ Yes ☒ No		3.2.6				
13	Permitted Construction:		☐ Combustible		☐ Non Combustible		☒ Both		3.2.2.20-83		
	Actual Construction:		☐ Combustible		☐ Non Combustible		☒ Both		9.10.6		
14	Mezzanine(s) Area (m2): N/A						3.2.1.1.(3)-(8)		9.10.4.1		
15	Occupant Load for the Area of Work Based on: ☐ m2 /person				☒ Design of Building 60 PPL (WITH POSTED SIGNAGE)		3.1.17.1		9.9.1.3		
16	Barrier-free Design:				☒ Yes ☐ No		3.8		9.5.2		
17	Hazardous Substances:				☐ Yes ☒ No		3.3.1.2. & 3.3.1.19		9.10.1,3(4)		
18	Required Fire Resistance Rating (FRR)	Horizontal Assemblies			Listed Design No.			3.2.2.20-83 & 3.2.1.4		9.10.8 9.10.9	
		FRR (Hours)			Or Description (SG-2)						
		Floors:	N/A	Min	----						
		Roof:	N/A	Min	----						
		Mezzanine:	N/A	Min	----						
	3.2.2.27	FRR of Supporting Members (Hours)			Listed Design No.						
		FRR of Supporting Members (Hours)			Or Description (SG-2)						
		Floors:	N/A	Min	-----(MIN.)						
		Roof:	N/A	Min	-----(MIN.)						
	Mezzanine:	N/A	Min	-----(MIN.)							
19	Special Separation: 3.2.3.1-D							3.2.3		9.10.14	
	Wall	Area of EBF (m2)	L.D. (m)	L/H or H/L	Permitted Max. % of Openings	Proposed % of Openings	FRR (Hours)	Listed Design or Description	Comb. Const.	Comb. Const., Nonc. Cladding	Non-Comb. Const.
	NORTH A	94.4	21.0	<3:1	100	67.4	0.75			☒	
	NORTH B	22.7	24.3	<3:1	100	0	0.75			☒	
	EAST A	224.9	6.0	3:1 to 10:1	52	0	0.75			☒	
	EAST B	2.0	13.0	3:1 to 10:1	100	15.0	0.75			☒	
	SOUTH A	111.9	13.9	<3:1	100	0.8	0.75			☒	
	SOUTH B	6.7	34.9	3:1 to 10:1	100	0	0.75			☒	
	WEST A	224.9	6.0	3:1 to 10:1	52	8.2	0.75			☒	
	WEST B	2.0	13.0	3:1 to 10:1	100	0	0.75			☒	

CLIENT:

12 STEWART ROAD INC.
12 STEWART ROAD
COLLINGWOOD, ON L9Y 4K1
CONTACT: ALEX CARTER

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TEL: 705 446 1168
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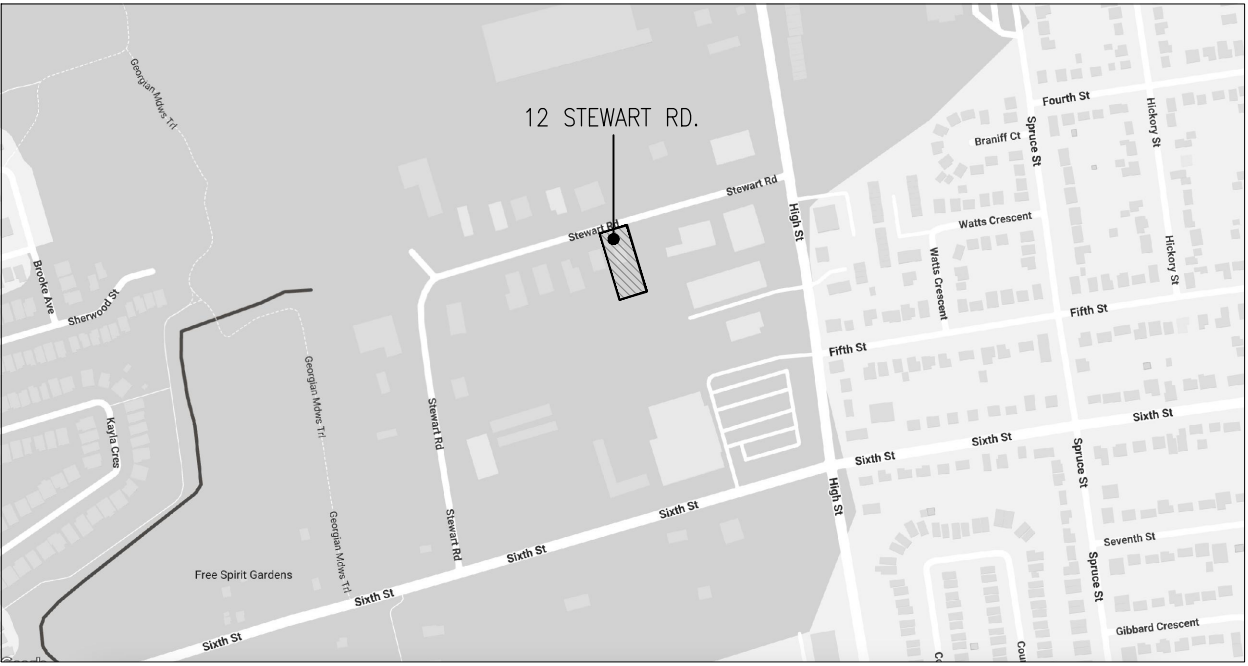
STRUCTURAL ENGINEERS:

CONTACT STRUCTURAL ENGINEERING INC.
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TEL: 647 366 9776
CONTACT: TIM JOYCE
EMAIL: TIM@CONTACTENGINEERING.CA

GENERAL CONTRACTOR:

TBC

PROJECT DIRECTORY



LOCATION MAP

ARCHITECTURAL:

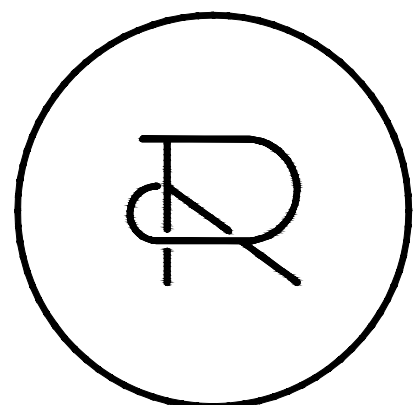
- A000 COVER SHEET, GENERAL INFORMATION
- A301 SITE PLAN
- A302 AREA PLANS
- A330 BASEMENT PLAN
- A331 GROUND FLOOR PLAN
- A332 SECOND FLOOR PLAN
- A333 ROOF PLAN
- A400 EXTERIOR ELEVATIONS
- A401 EXTERIOR ELEVATIONS
- A402 EXTERIOR ELEVATIONS

LIST OF DRAWINGS

REVISION RECORDS

2026-05-27	Issued For Site Plan Approval
2026-04-23	Issued For Coordination
2026-03-31	Issued For Coordination
2026-03-31	Issued For Review

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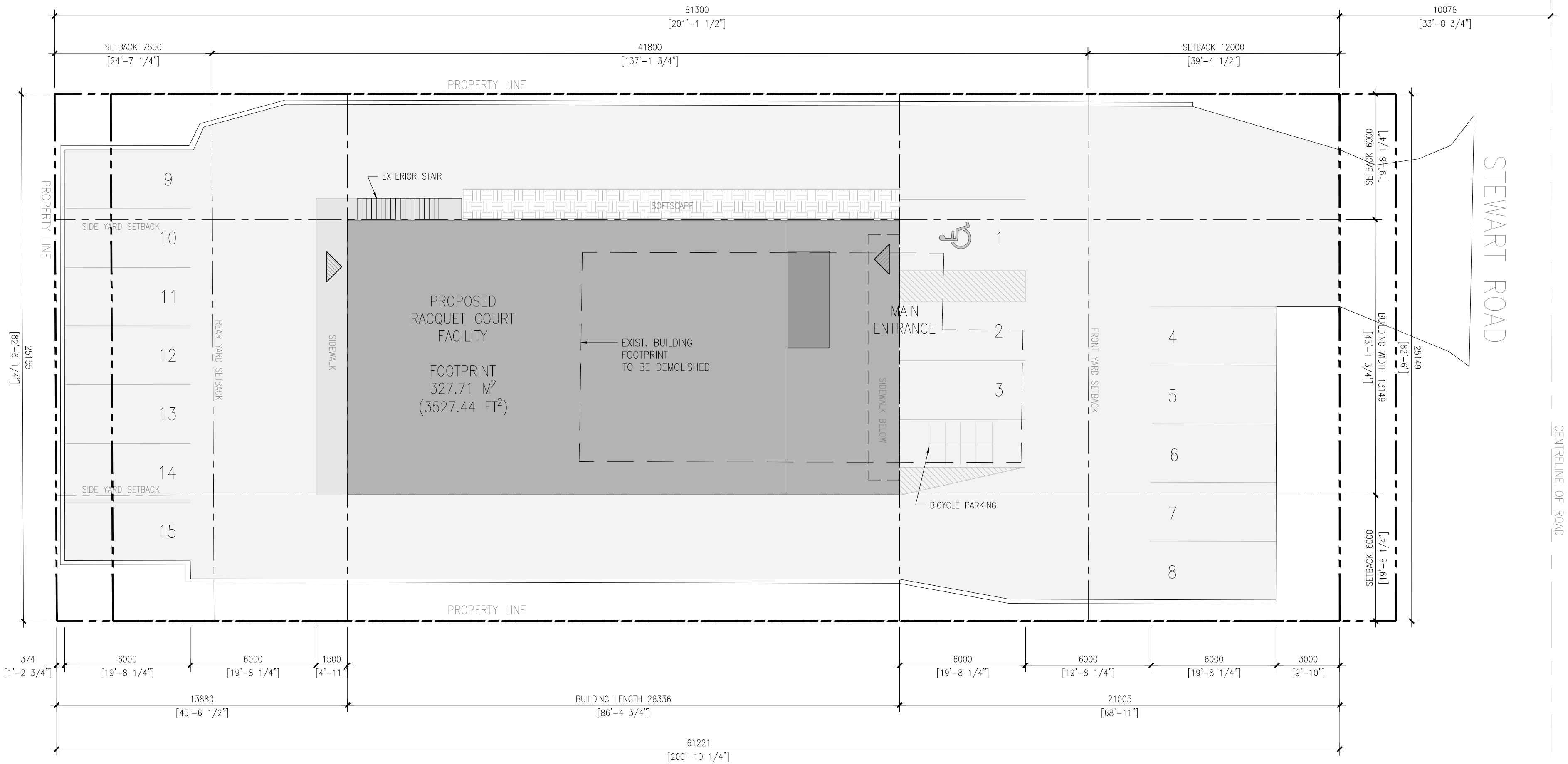


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1 Site Plan
A301 SCALE: 1:150

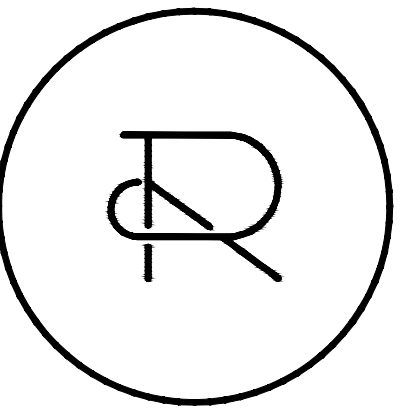
ZONING MATRIX – M5_ZONE

LOT PROVISIONS	REQUIRED	PROVIDED
MINIMUM LOT AREA (m ²)	2000	1540
MINIMUM LOT FRONTAGE (m)	30.0	25.14
MINIMUM FRONT YARD (m)	12.0	21.0
MINIMUM INTERIOR SIDE YARD (m)	6.0	6.0
MINIMUM REAR YARD (m)	7.5	13.8
MAXIMUM HEIGHT (m)	15.0	10.0
MAXIMUM LOT COVERAGE	50%	22%
MINIMUM LANDSCAPED OPEN SPACE	15%	15%
PARKING REQUIREMENTS (3 PER 100m ² GFA)	13	15
BICYCLE PARKING (10% OF PARKING)	4	8

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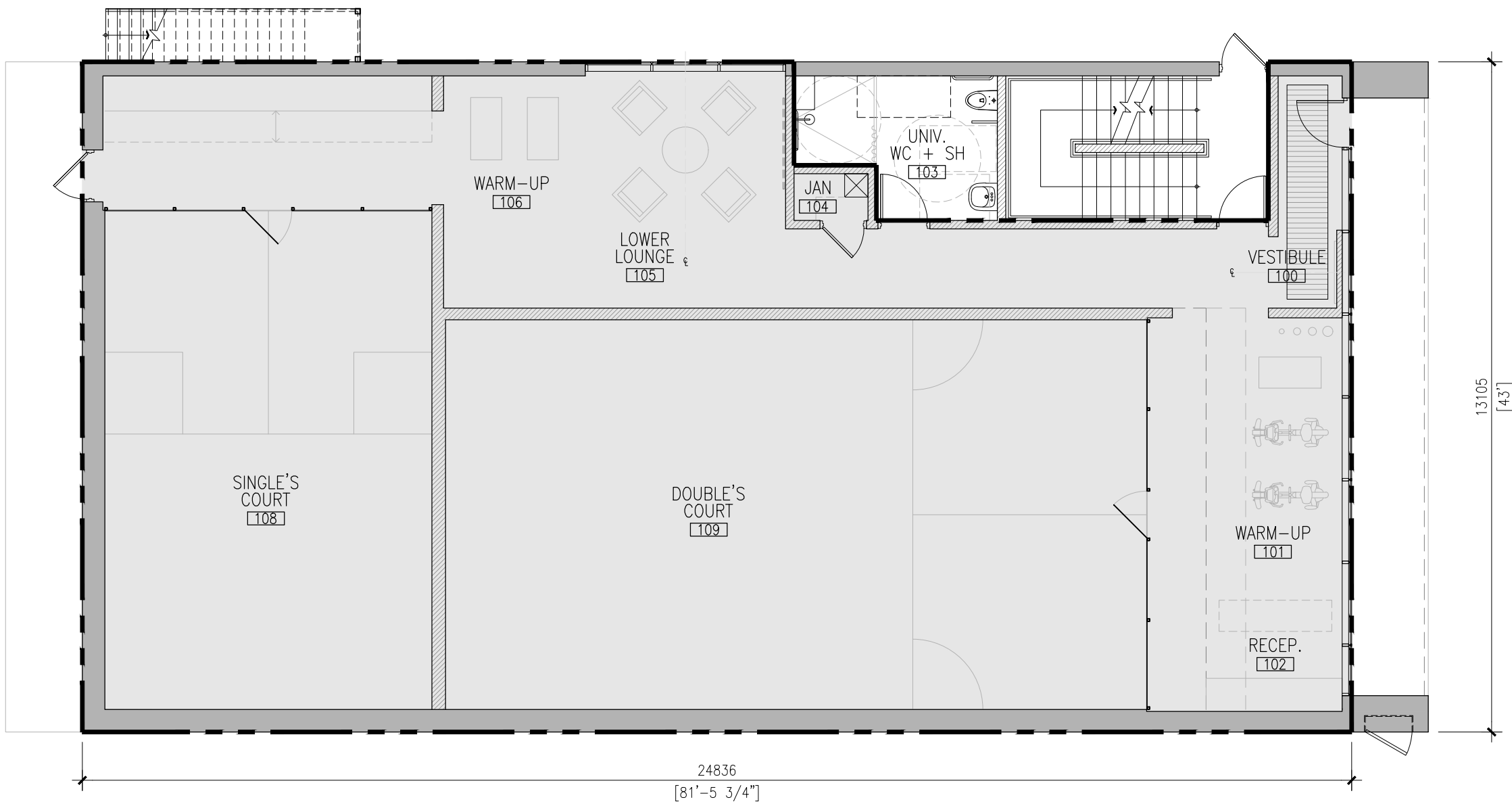
GENERAL NOTES

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12 STEWART RD
Collingwood, On

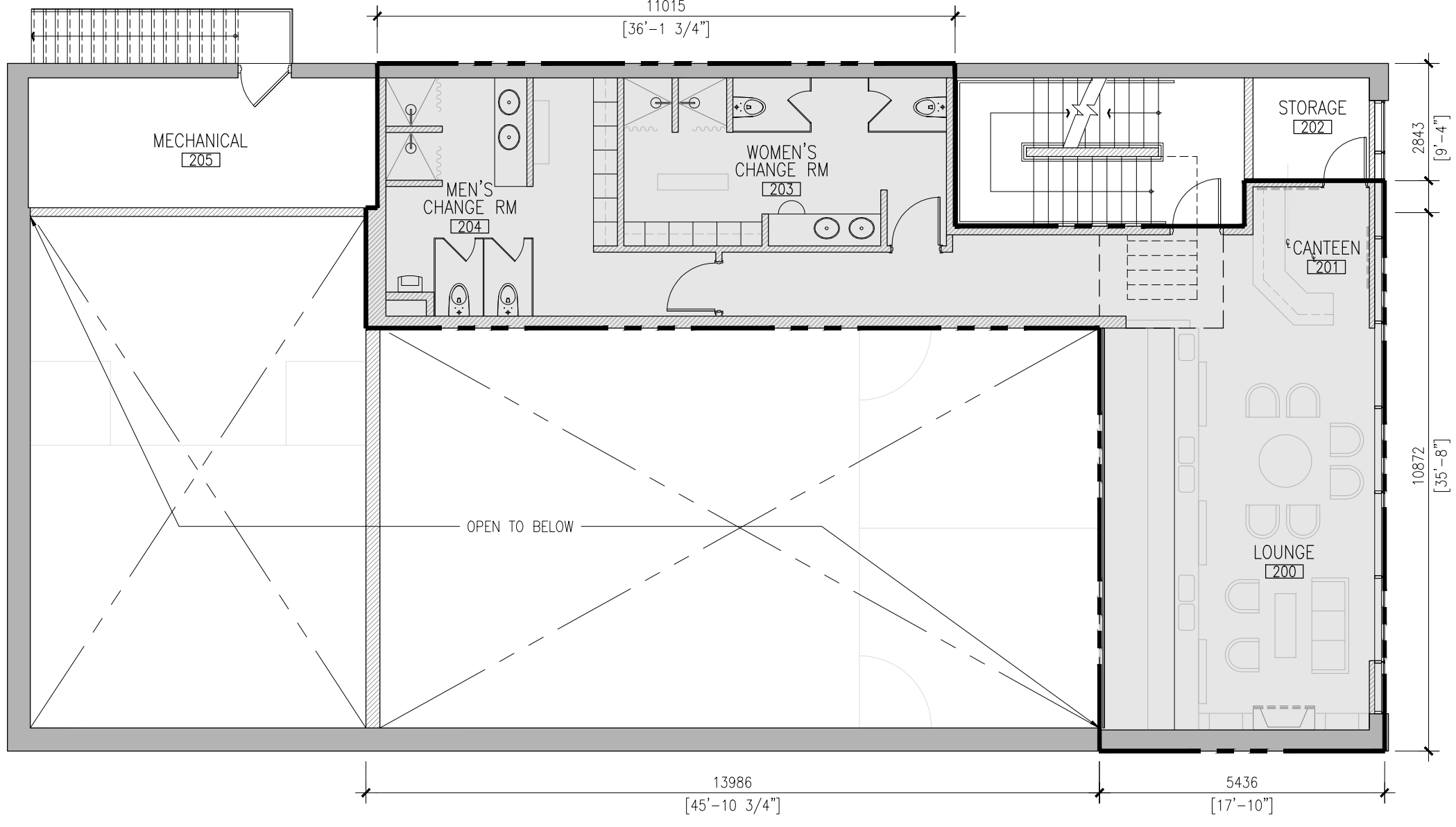
2601 PROJECT	1:150 SCALE	SD DRAWN	TW REVIEWED
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SITE PLAN

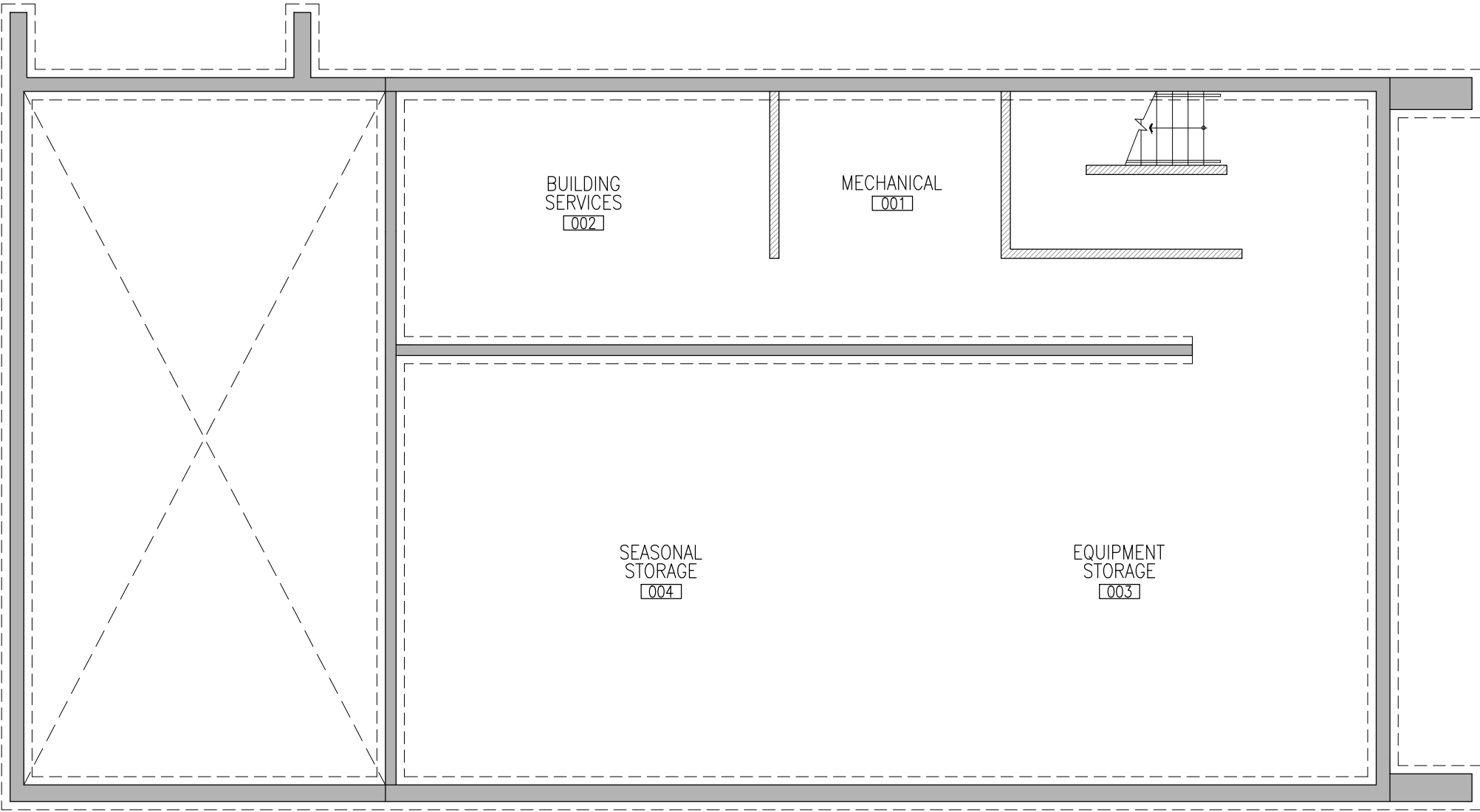
A301



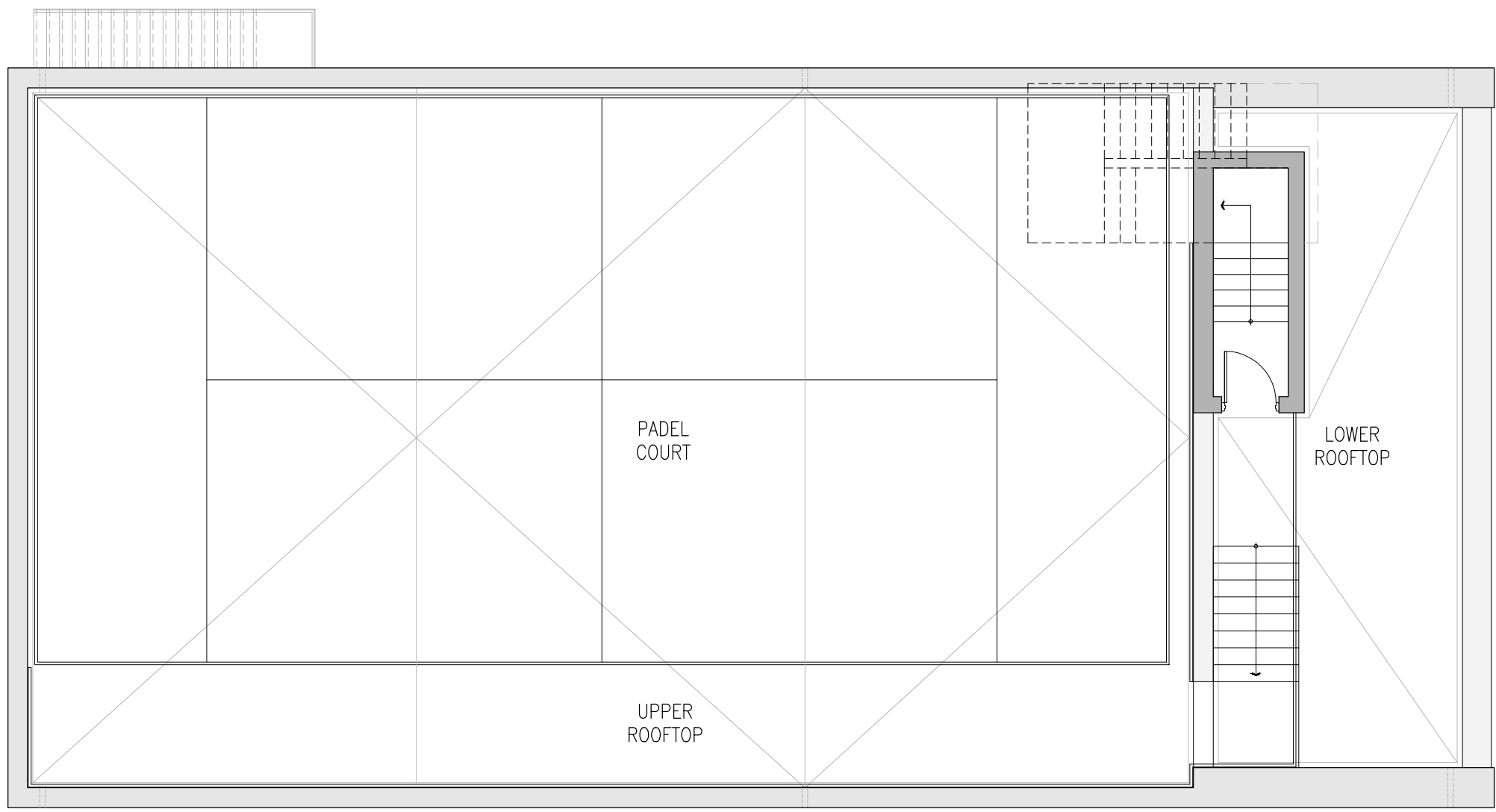
GROUND FLOOR



SECOND FLOOR



BASEMENT



ROOFTOP

1 Area Plans
A302 SCALE: 1:100

GFA SCHEDULE

BUILDING LEVEL	APPLICABLE GFA
BASEMENT	0 m ²
GROUND FLOOR	298.42 m ² (3212.16 FT ²)
SECOND FLOOR	118.11 m ² (1271.32 FT ²)
ROOFTOP	0 m ²
TOTAL	414.90 m ² (4465.94 ft ²)

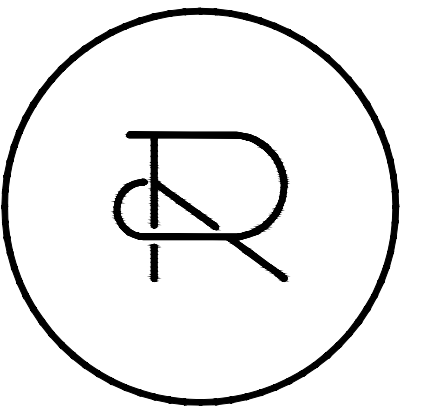
COLLINGWOOD ZONING BY-LAW 3-14

TERM	DEFINITION
	In the case of a dwelling unit, the aggregate sum of the areas of all habitable space measured from the exterior faces of the exterior walls, or from the centre of common walls, but shall not include any space used for storage, heating, laundry, attached garage or carports, porch or unfinished attic.
Gross Floor Area	In the case of all other buildings, the aggregate sum of all floor areas and mezzanines, measured from the exterior faces of the exterior walls, or from the centre of common walls, but shall not include any space used for storage, mechanical rooms, common halls, stairwells, private kitchens, washrooms and garages.

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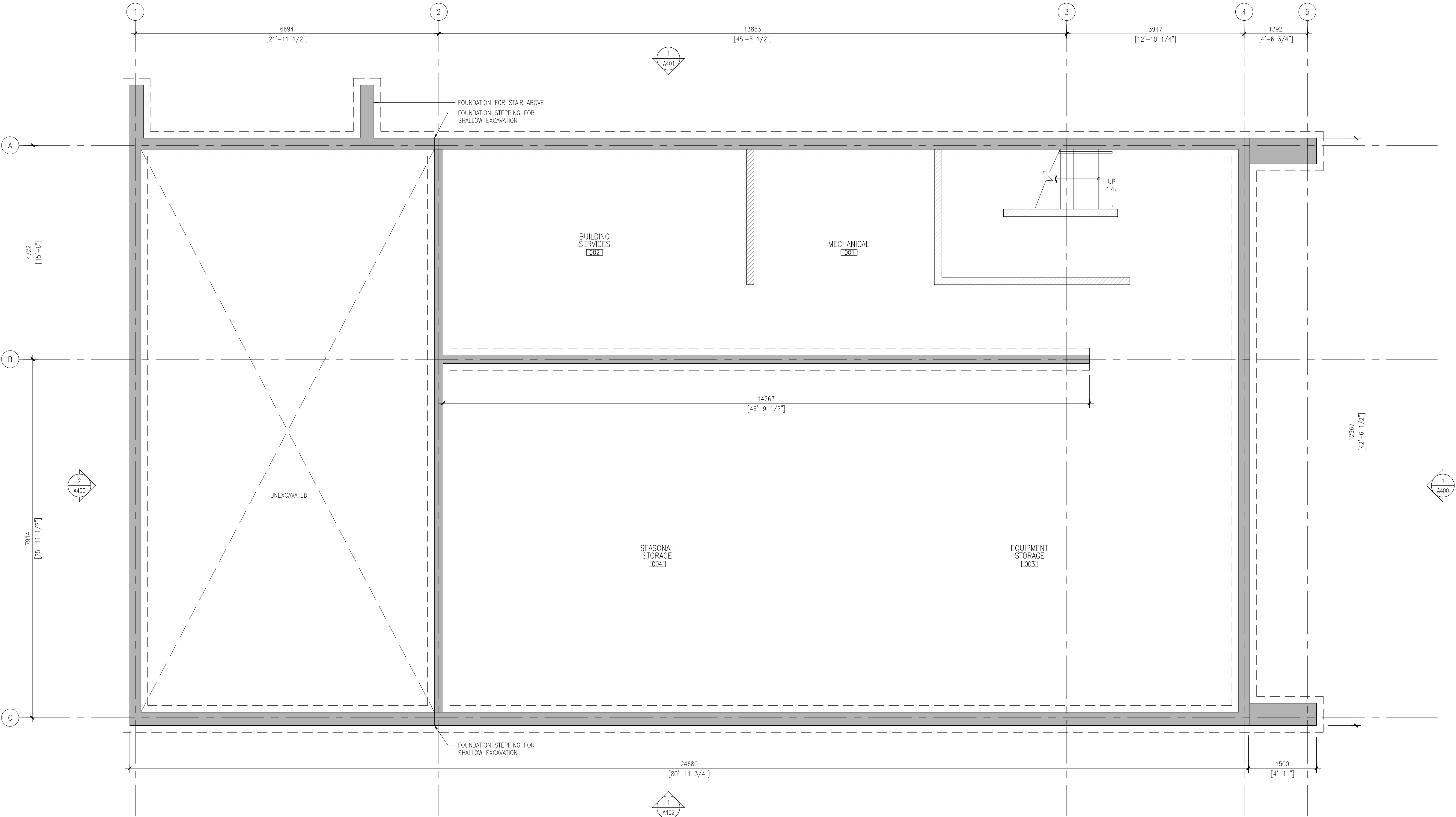
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2601 PROJECT	1:100 SCALE	SD DRAWN	TW REVIEWED
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AREA PLANS

A302



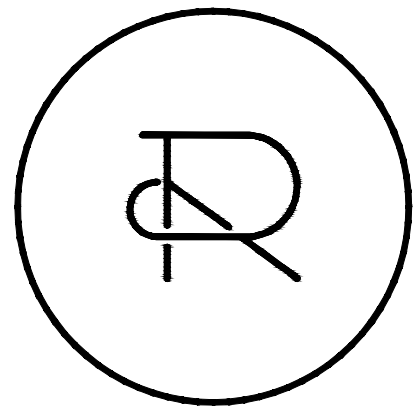
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A330

Basement Floor Plan
SCALE: 1:50

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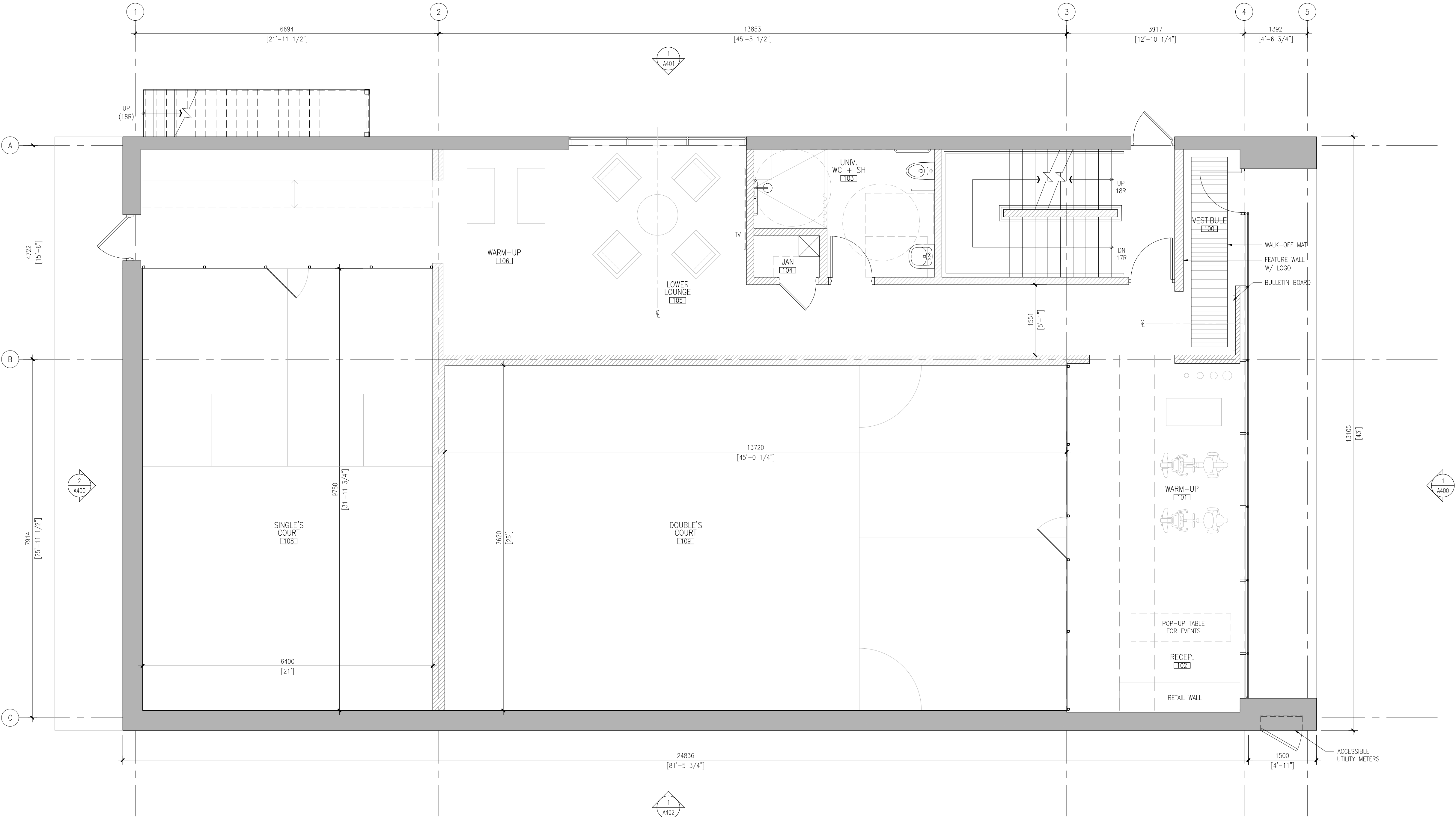
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2601	1:50	TD	TW
PROJECT	SCALE	DRAWN	REVIEWED

LOWER LEVEL /
BASEMENT FLOOR PLAN

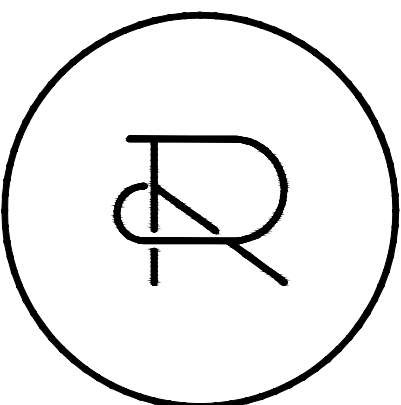
A330



1 Ground Floor Plan
A331 SCALE: 1:50

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GENERAL NOTES

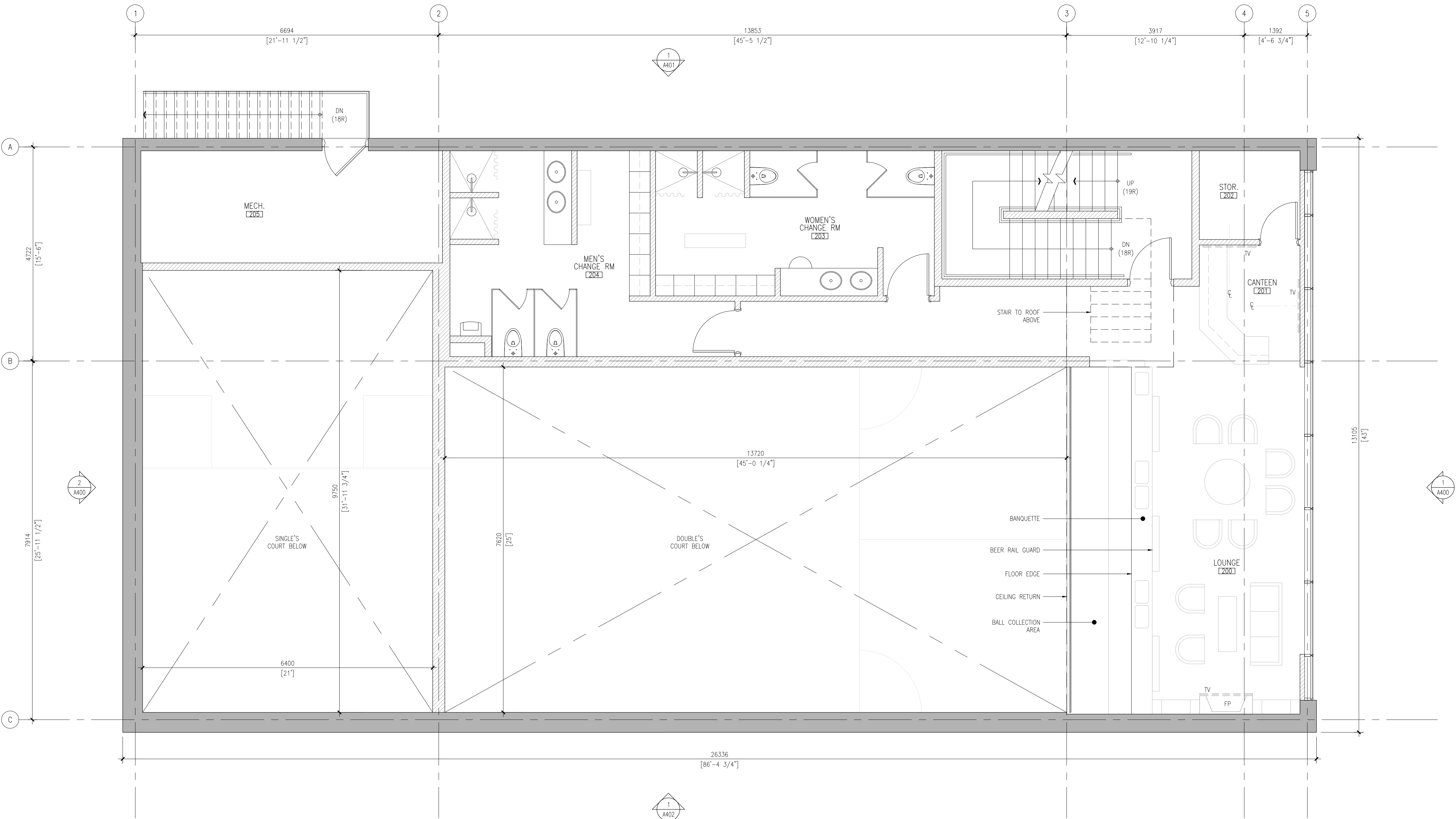
CRC SQUASH CLUB

12 STEWART RD
Collingwood, On

2601	1:50	TD	TW
PROJECT	SCALE	DRAWN	REVIEWED

GROUND FLOOR PLAN

A331

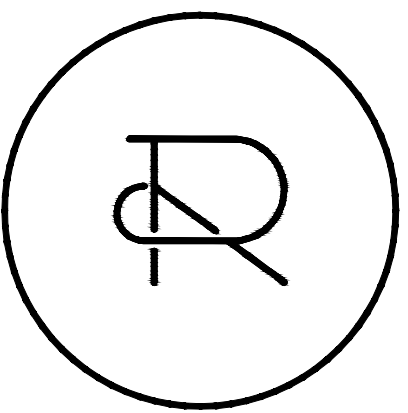


1 Second Floor Plan
A332 SCALE: 1:50

REVISION RECORDS

2026-05-27	Issued For Site Plan Approval
2026-04-23	Issued For Coordination
2026-03-31	Issued For Coordination
2026-03-31	Issued For Review

ISSUE RECORDS



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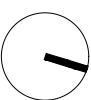
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GENERAL NOTES

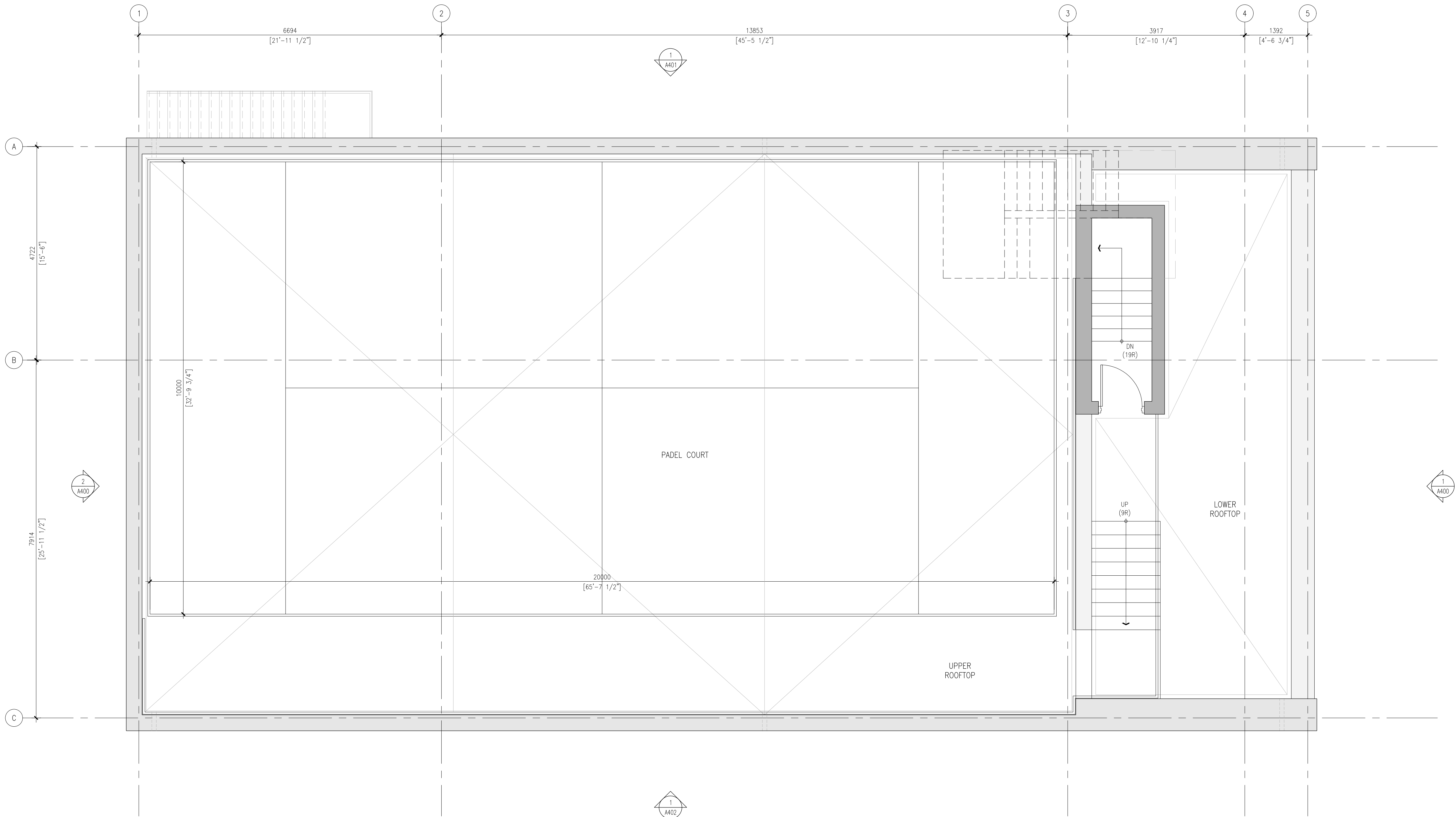
CRC SQUASH CLUB
12 STEWART RD
Collingwood, On



2601	1:50	TD	TW
PROJECT	SCALE	DRAWN	REVIEWED

SECOND FLOOR PLAN

A332

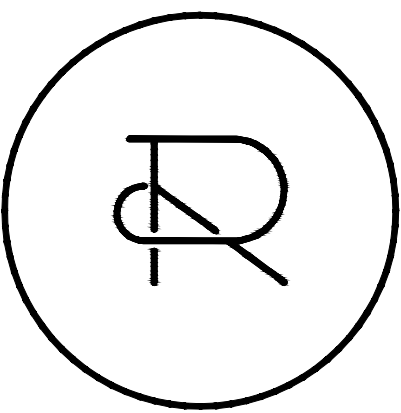


1 Roof Plan
A333 SCALE: 1:50

REVISION RECORDS

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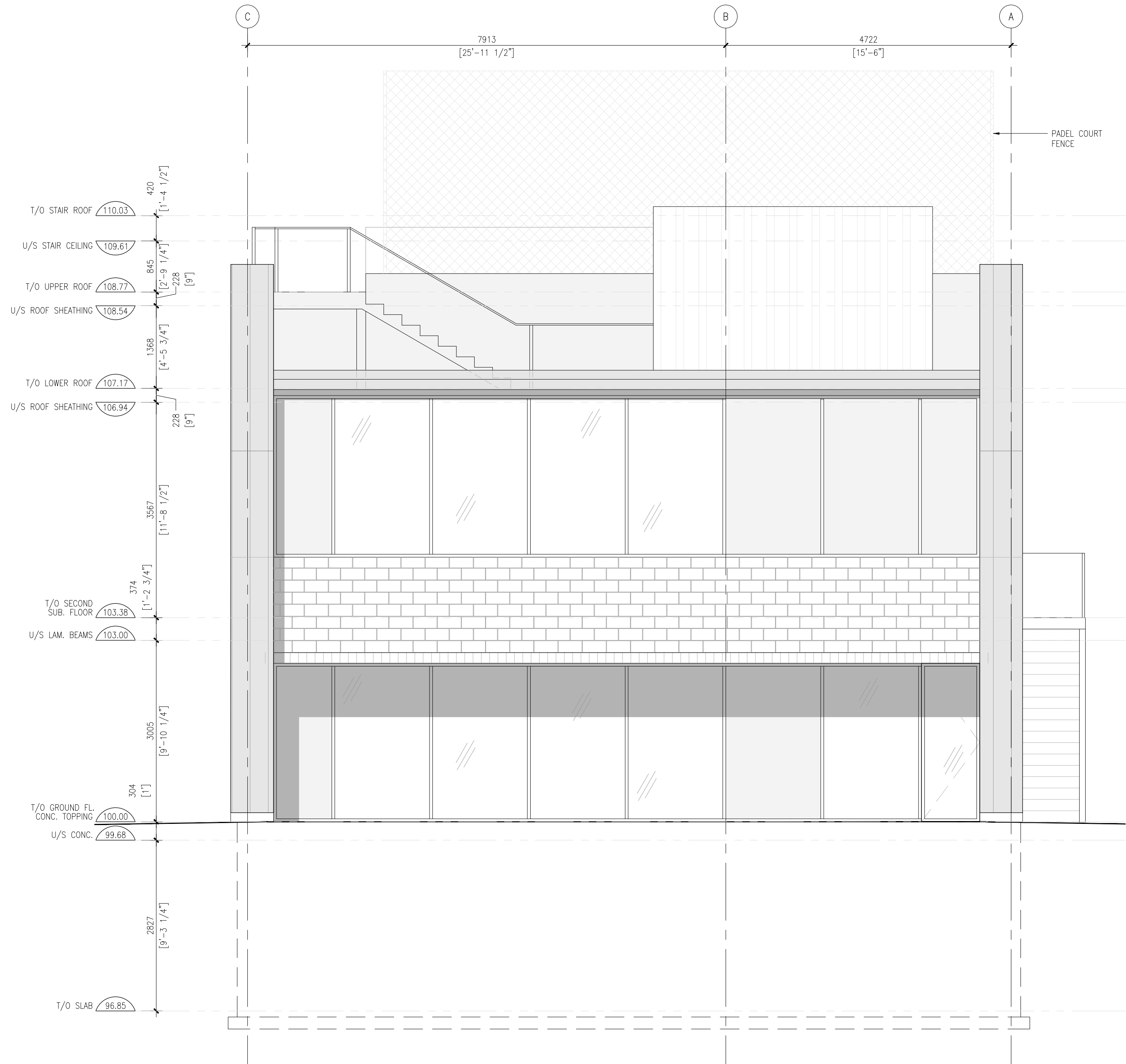
GENERAL NOTES

CRC SQUASH CLUB
12 STEWART RD
Collingwood, On

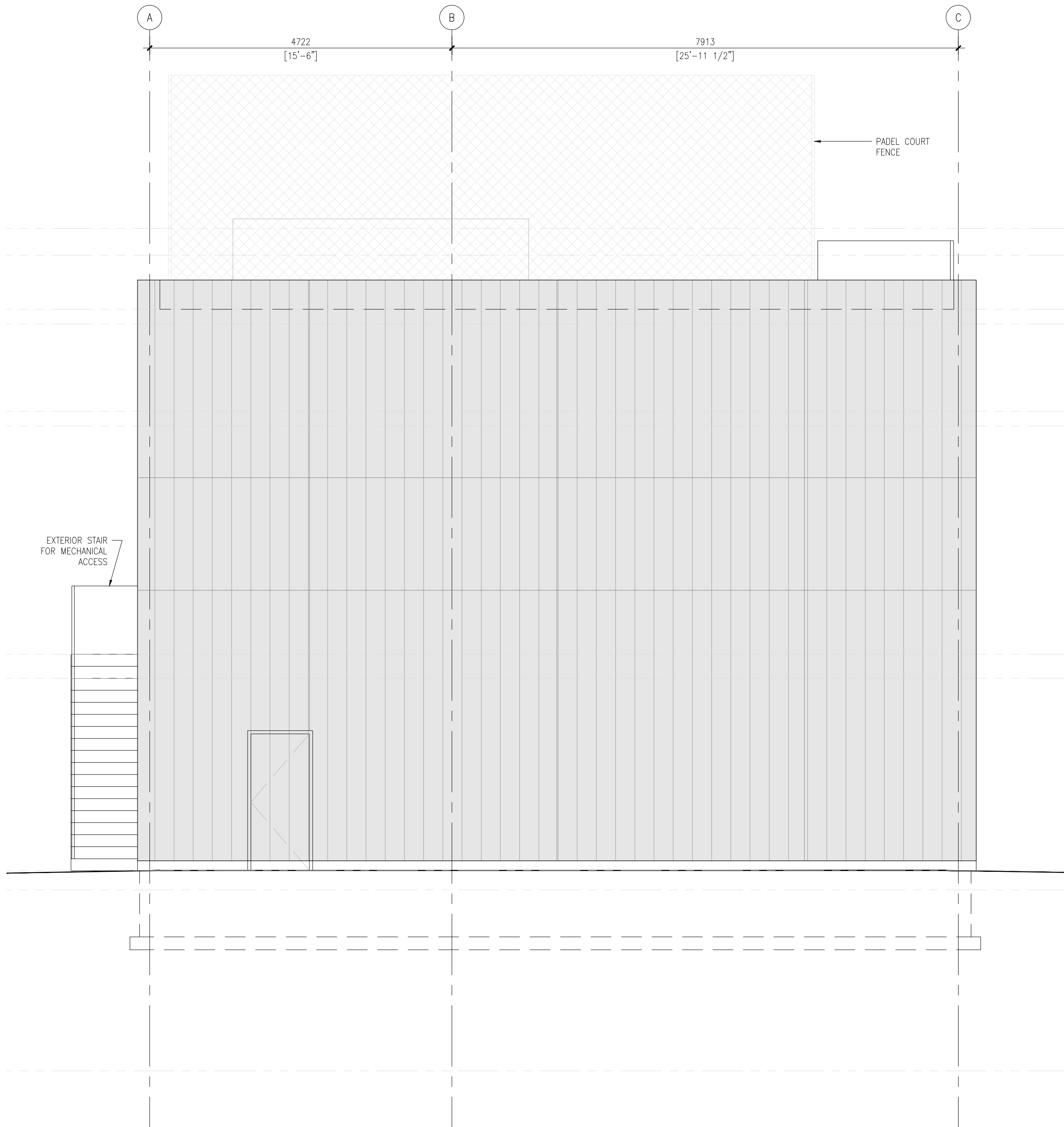
2601	1:50	TD	TW
PROJECT	SCALE	DRAWN	REVIEWED

ROOF PLAN

A333



1 Front (North) Elevation
A400 SCALE: 1:50

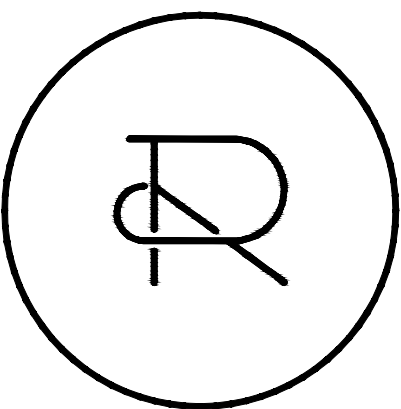


2 Rear (South) Elevation
A400 SCALE: 1:50

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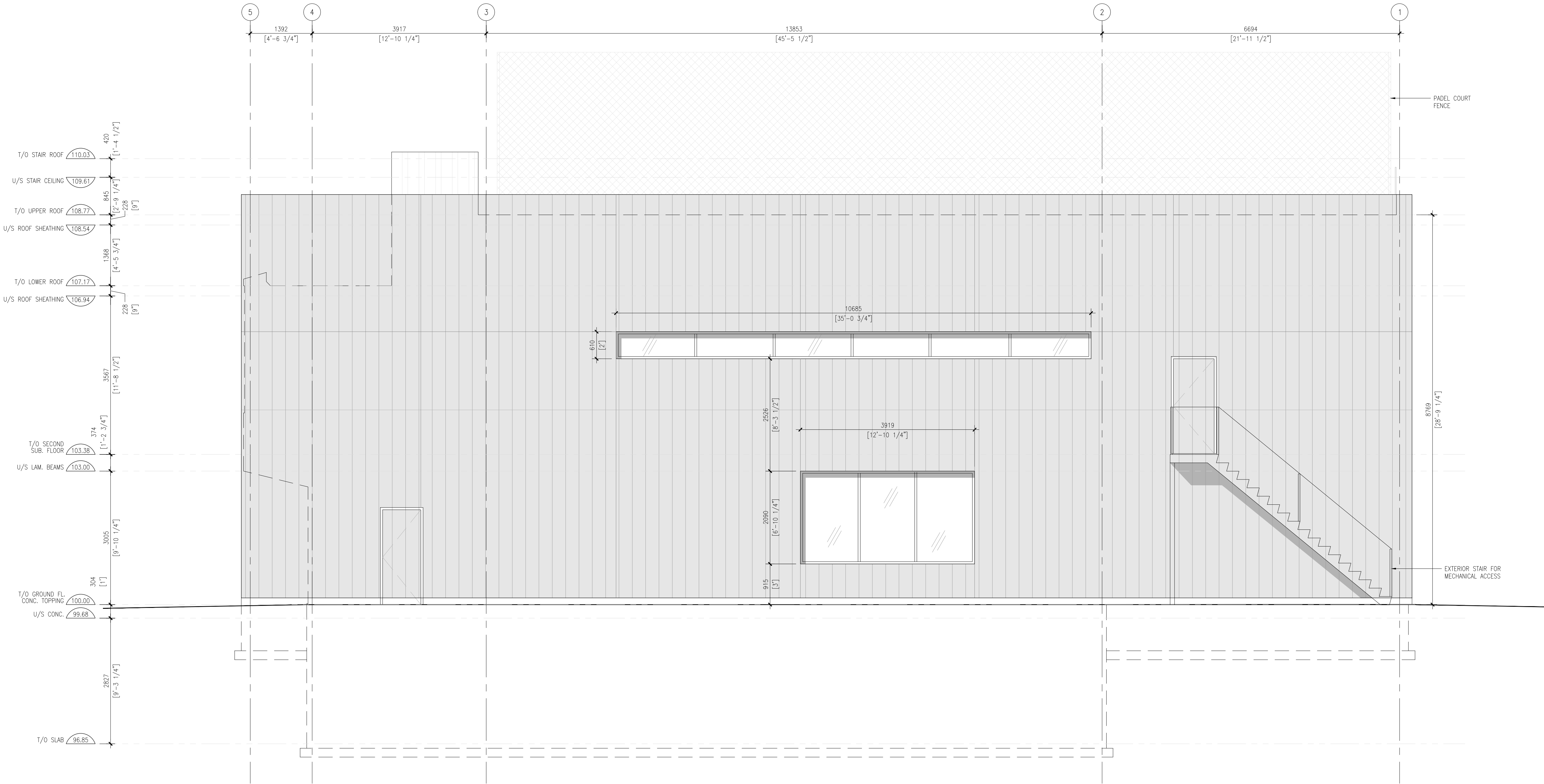
CRC SQUASH CLUB

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PROJECT	SCALE	DRAWN	REVIEWED

NORTH AND SOUTH
ELEVATIONS

A400

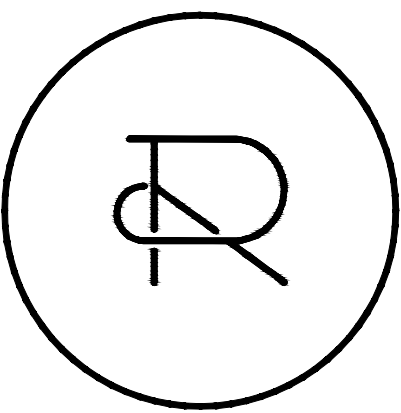


1 Side (West) Elevation
A401 SCALE: 1:50

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2026-03-31	Issued For Coordination
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GENERAL NOTES

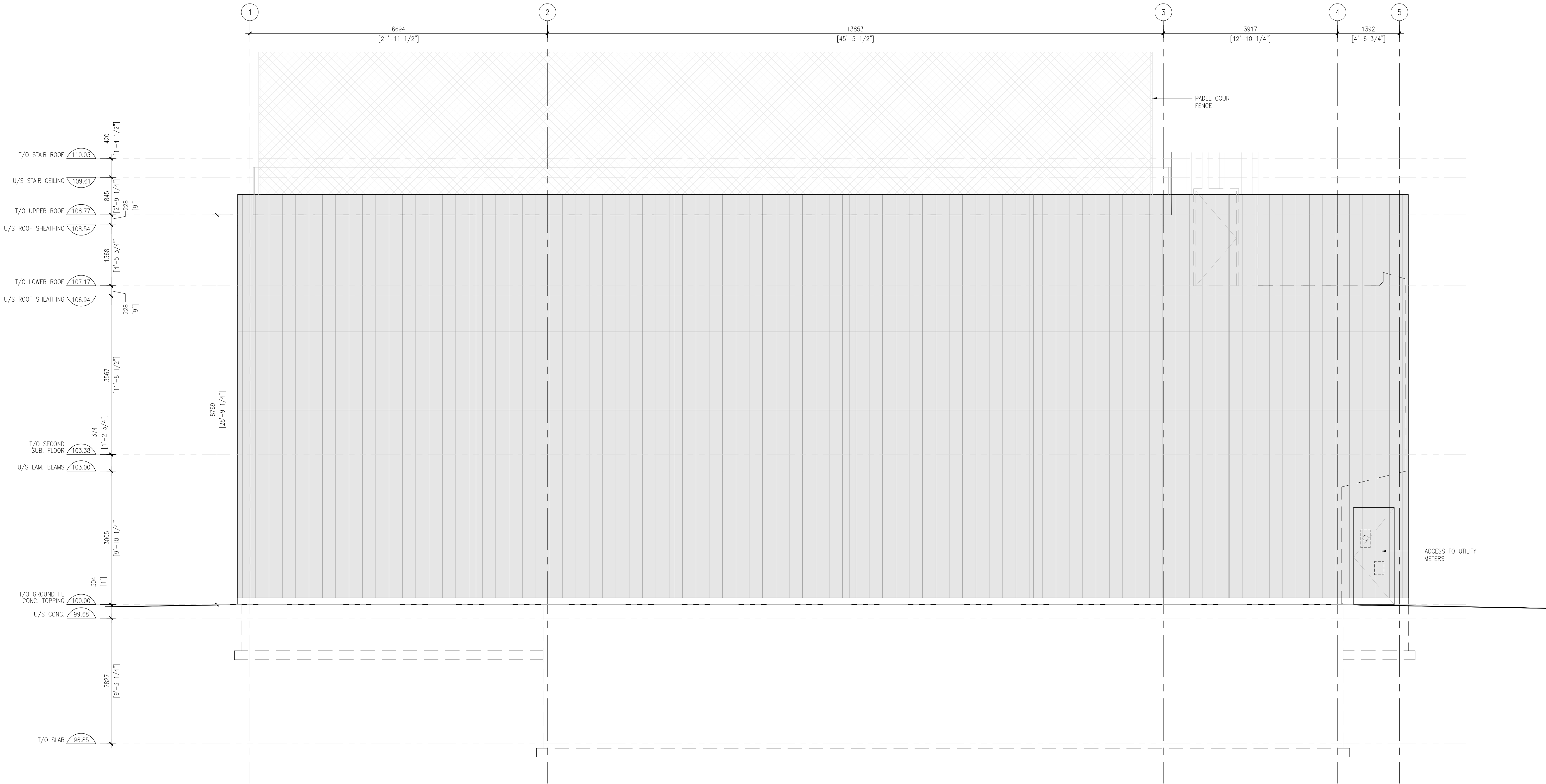
CRC SQUASH CLUB

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Collingwood, On

2601	1:50	TD	TW
PROJECT	SCALE	DRAWN	REVIEWED

WEST ELEVATION

A401

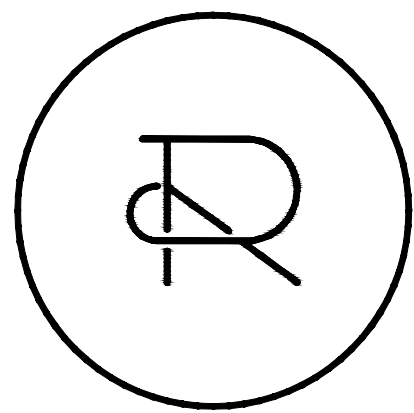


1 Side (East) Elevation
A402 SCALE: 1:50

REVISION RECORDS

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2026-04-23	Issued For Coordination
2026-03-31	Issued For Coordination
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GENERAL NOTES

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2601 PROJECT	1:50 SCALE	TD DRAWN	TW REVIEWED
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EAST ELEVATION

A402