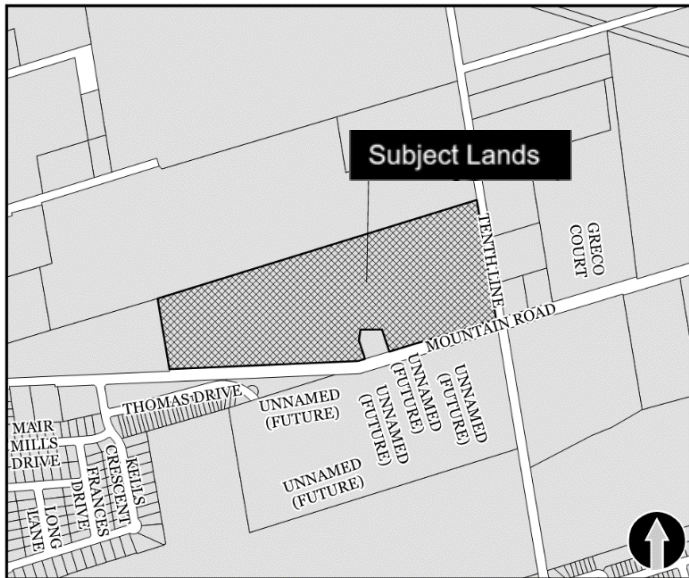




NOTICE OF PASSING OF A ZONING BY-LAW BY THE CORPORATION OF THE TOWN OF COLLINGWOOD

TAKE NOTICE that the Town of Collingwood Council passed By-law No. 2023-053 on **June 5, 2023** under Section 34 of the *Planning Act*.



LOCATION: 295 Mountain Road: north side of Mountain Road, west of Tenth Line.

Legal description: legally described as Part of Lot 45, Concession 11, Town of Collingwood, County of Simcoe

Area: 20.13 hectares

THE PURPOSE AND EFFECT of the Zoning By-law Amendment is to rezone the property from a number of existing second and third density residential, local convenience commercial and recreation zones (R2, R3 C6 and REC respectively) to zones reflecting the configuration, uses, densities and major urban design features associated with a 550-600 dwelling unit subdivision proposal. The new subdivision proposes 126 single detached dwellings, 424-474 multi-unit residential dwelling units (e.g. townhouses, stacked townhouses and

apartments), a potential elementary school, a stormwater management pond, a park, a hydro substation and a number of public roads and trails. The new zones would include: Residential Third Density Exception Sixty-Six (R3-66), Residential Third Density Exception Sixty-Seven (R3-67), Residential Third Density Exception Sixty-Eight (R3-68), Residential Third Density Exception Sixty-Nine (R3-69), Residential Third Density Exception Seventy (R3-70), Recreation (REC), Environmental Protection (EP), Community Services Exception Ten (CS-10) Zones. Holding provisions would be applicable to all of the zones (Holding Twenty-Four (H24)) to address needed site remediation, servicing capacity allocation, mitigation of impacts from the County landfill to the north and in the case of the potential elementary school block, an additional provision to address release of the block for residential uses if the school is not needed (Holding Twenty-Five (H25)).

The subject property is also subject to an application for Draft Approval of a Plan of Subdivision (Town File No. D1201218).

PUBLIC AND AGENCY COMMENTS RECEIVED: All written and oral submissions received in response to the application were considered in making an informed recommendation and decision as summarized in Staff Report [P2023-15](#)

WHEN AND HOW TO FILE AN APPEAL

An appeal of the decision of the Town of Collingwood Council to the Ontario Land Tribunal (OLT) must be filed with the Town of Collingwood no later than 20 days after the date of this notice. The last date of appeal is **July 5, 2023**. The appeal package should be sent to the attention of the Clerk, Town of Collingwood, P.O. Box 157, 97 Hurontario Street, Collingwood, Ontario L9Y 3Z5. The appeal must set out the reasons for the appeal and be accompanied by the fee required by the Tribunal as prescribed under the *Ontario Land Tribunal Act*. A copy of the appeal form is available on the Tribunal's website:

<https://olt.gov.on.ca/appeals-process/forms/>

WHO CAN FILE AN APPEAL

Only individuals, corporations and public bodies may appeal a by-law to the OLT. A notice of appeal may not be filed by an unincorporated association or group. However, a notice of appeal may be filed in the name of an individual who is a member of the association or group on its behalf.

No person or public body shall be added as a party to the hearing of the appeal unless, before the by-law was passed, the person or public body made oral submissions at a public meeting or written submissions to the council or, in the opinion of the Tribunal, there are reasonable grounds to add the person or public body as a party.