

3 Block 282 Archer Ave Perspective

Project Design Conditions			
SB-12 Prescriptive Path	Table 3.1.1.2.A	Package A6	
Zone	1		
Heating Equipment	>= 92% AFUE		
Fuel	Gas		
Building Specifications			
Building Component	R Values	Building Component	Efficiency Ratings
Ceiling w/Attic	60	Windows/Sliding Glass Doors	ER 25 U 1.6
Ceiling without Attic	31	Skylights	2.8
Exposed Floor	31		
Walls Above Grade	22+5CI	Space Heating	92%
Basement Walls	20 CI	HRV Eff.	65%
Slab (All > 600mm Below Grade)	NA	DHW Eff.	0.8
Slab (Edge only <=600mm Below Grade)		Drain water heat recovery unit (connected to 2 showers/tubs)	1
Slab (All <= 600mm Below Grade Heated)	10		

1 Energy Efficiency Design Summary
12" = 1'-0"

Sheet List	
Sheet Number	Sheet Name
A0	Title Sheet
A1	Front & Left Elevation
A2	Basement Plan
A3	Ground Floor Plan
A4	Second Floor Plan
A5	Roof Framing Plan
A6	Rear & Right Elevation
A7	Building Sections
A8	Typical Details
E0	Basement Electrical Plan
E1	First Floor Electrical
E2	Second Floor Electrical

Area Schedule (Gross Building)		
Unit No.	Level	Area
Unit 1	Ground Floor	638 SF
Unit 1	Second Floor	736 SF
Unit 1 : 2		1374 SF
Unit 2	Ground Floor	653 SF
Unit 2	Second Floor	738 SF
Unit 2 : 2		1391 SF
Unit 3	Ground Floor	653 SF
Unit 3	Second Floor	738 SF
Unit 3 : 2		1391 SF
Unit 4	Ground Floor	638 SF
Unit 4	Second Floor	736 SF
Unit 4 : 2		1374 SF
Grand total: 8		5531 SF

DETAIL SYMBOL:

DETAIL NO:

DRAWING NO:

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Devonleigh Homes Inc.

P. O. Box 70
Orangeville, Ontario,
Canada

(519) 942-3311
(519) 942-9892

www.devonleighhomes.com

DESIGNER:
BCIN : 20823 Rodney G. Greer

Owner:
Block 282 Archer Ave

PROJECT:
Craftsman Vista 1374 B
Summit View,
Collingwood, ON

Issue For Permit 01.22.2019

LOCATION:
Block 282 Archer Ave
Craftsman Vista 1374 B

DRAWING:
Title Sheet

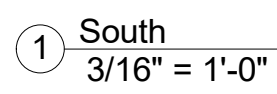
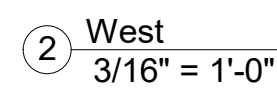
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	ISSUE DATE: 02.04.2019
	SCALE: As indicated
	PROJECT NO: Summit View, Collingwood, ON

ORIENTATION: DRAWING NO:

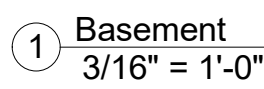
A0



4 Craftsman Vista 1374
3" = 1'-0"

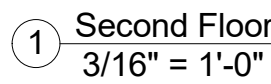


Revision Schedule		
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<div>PROJECT:</div> <div>Craftsman Vista 1374 B Summit View, Collingwood, ON</div> <div>Issue for Permit01.22.2019</div>		
<div>LOCATION:</div> <div>Block 282 Archer Ave Craftsman Vista 1374 B</div>		
<div>DRAWING:</div> <div>Front & Left Elevation</div>		
<div><div><div>PROJECT NORTH:</div><div>DRAWN BY: rgg</div><div>ISSUE DATE: 02.04.2019</div><div>SCALE: 3/16" = 1'-0"</div><div>PROJECT NO: Summit View, Collingwood, ON</div></div><div><div>ORIENTATION:</div><div>DRAWING NO:</div><div>A1</div></div></div>		

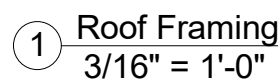


A2

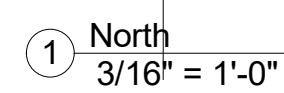
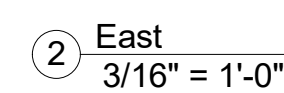
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<div>LOCATIONS:<div>Block 282 Archer Ave Craftsman Vista 1374 B</div></div>		
<div>DRAWING:<div>Ground Floor Plan</div></div>		
<div><div>PROJECT NORTH:<div>DRAWN BY: <div>mg</div></div><div>ISSUE DATE: 02.04.2019</div><div>SCALE: 3/16" = 1'-0"</div><div>PROJECT NO: Summit View, Collingwood, ON</div></div></div>		
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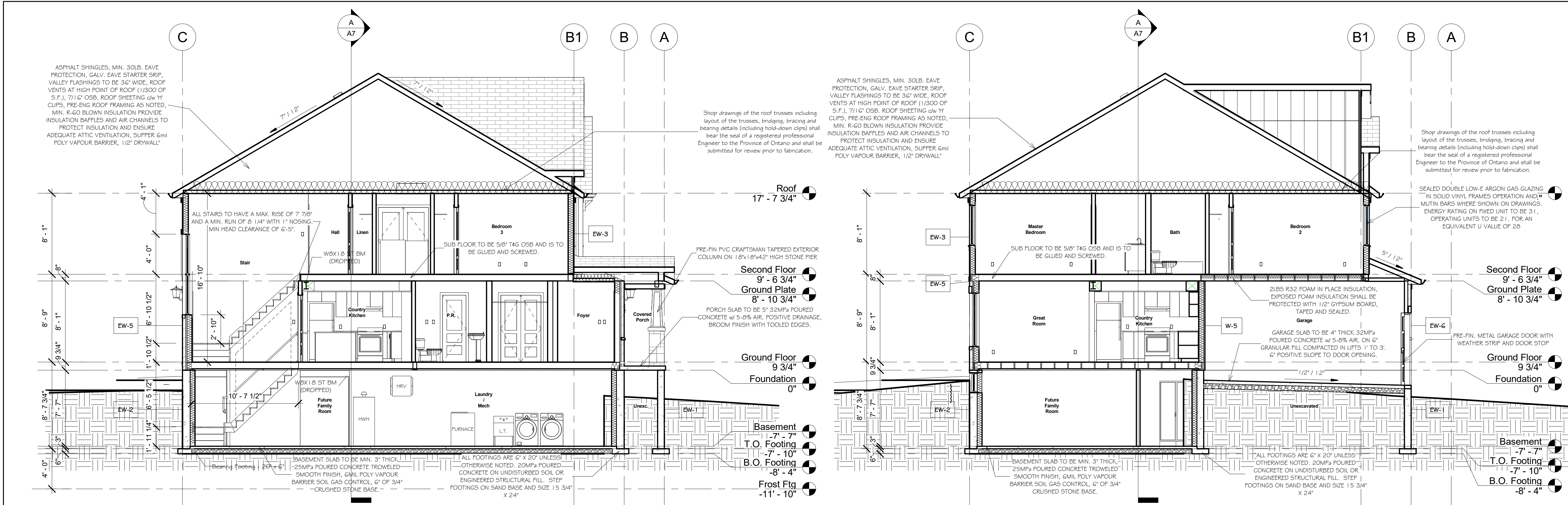
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A5

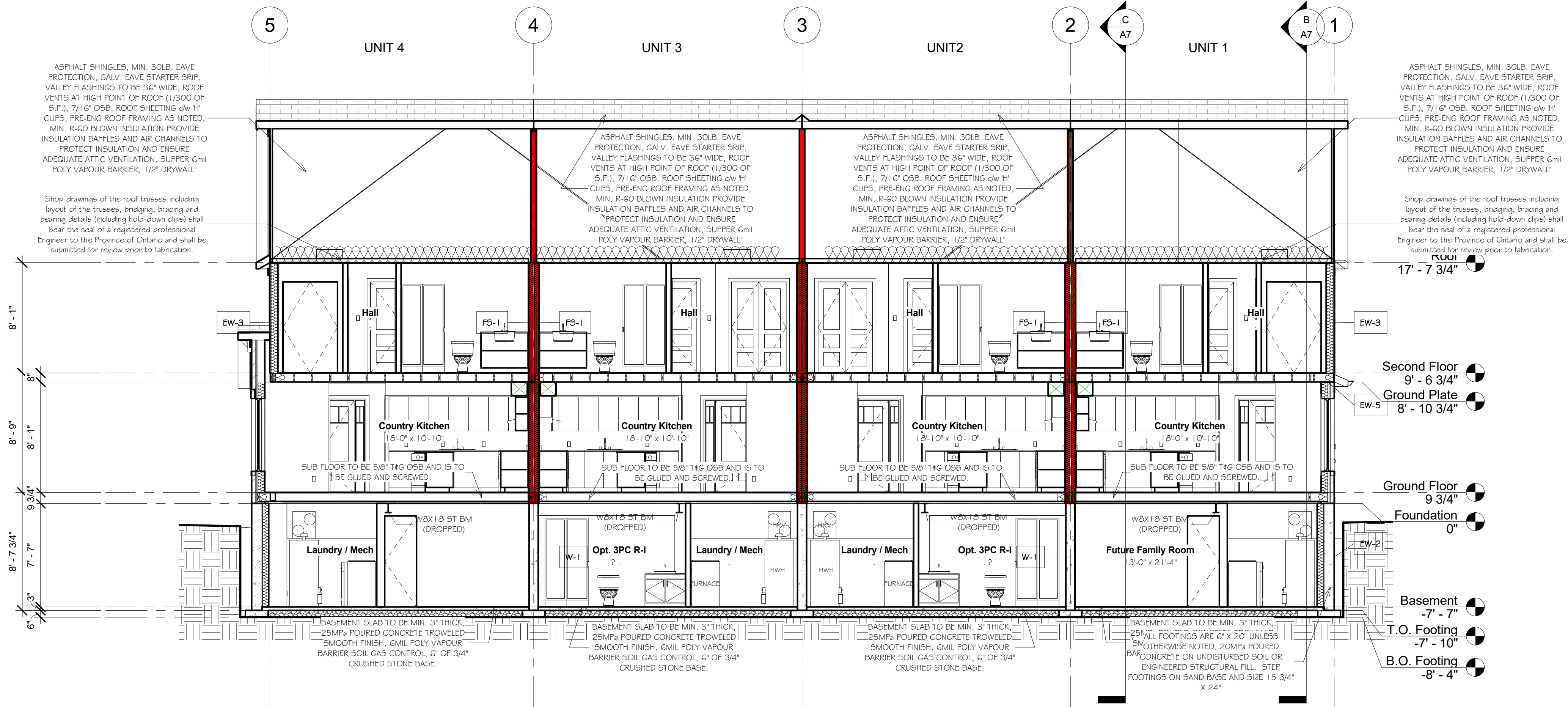


A6



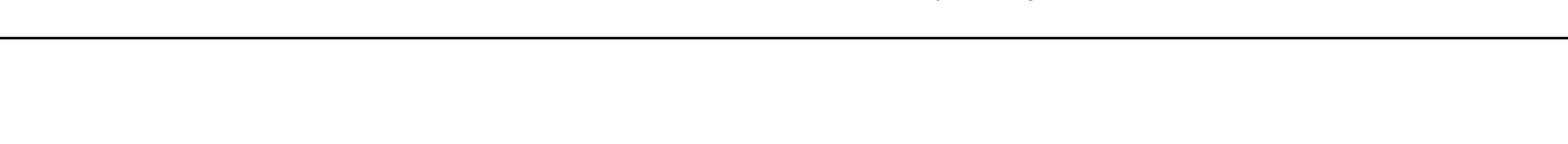
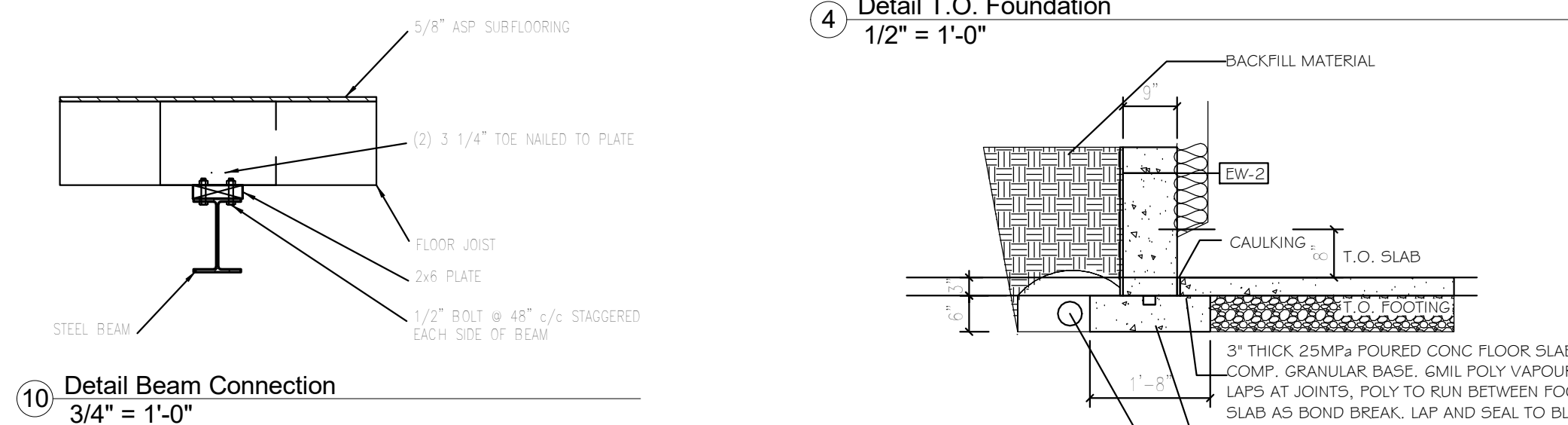
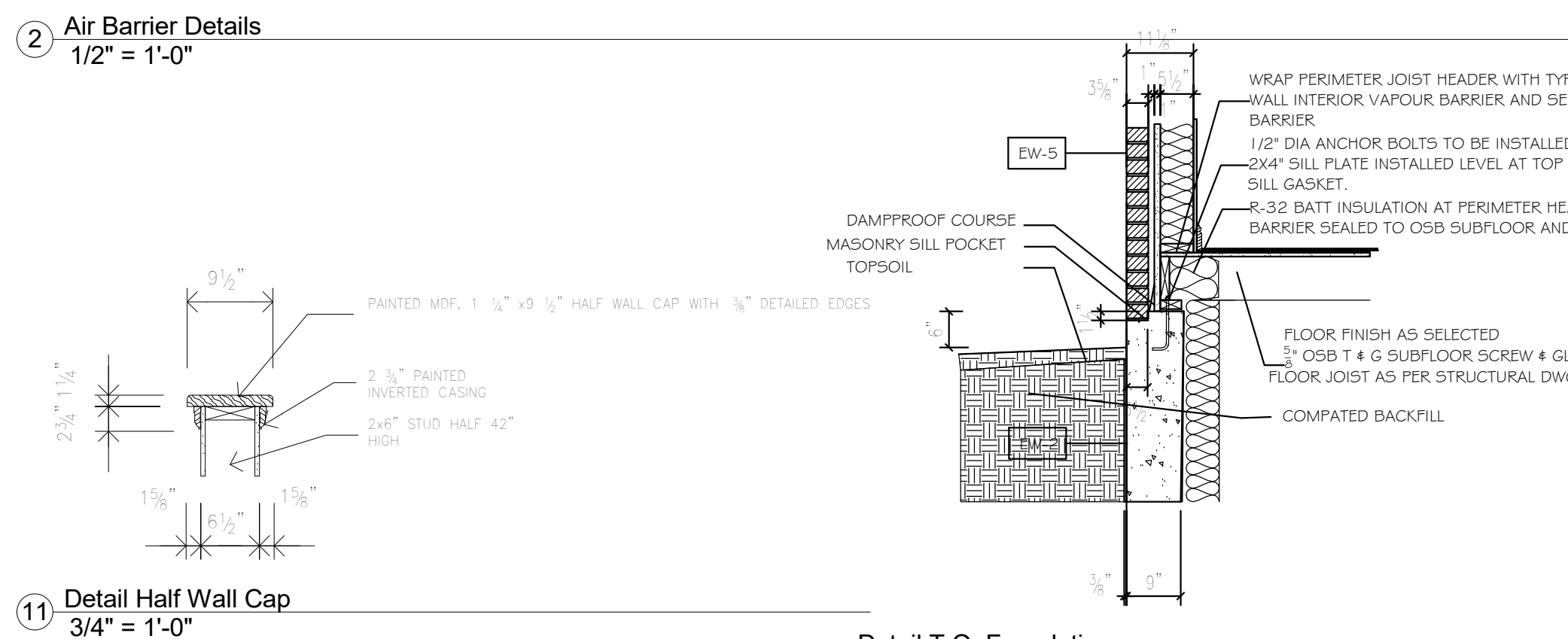
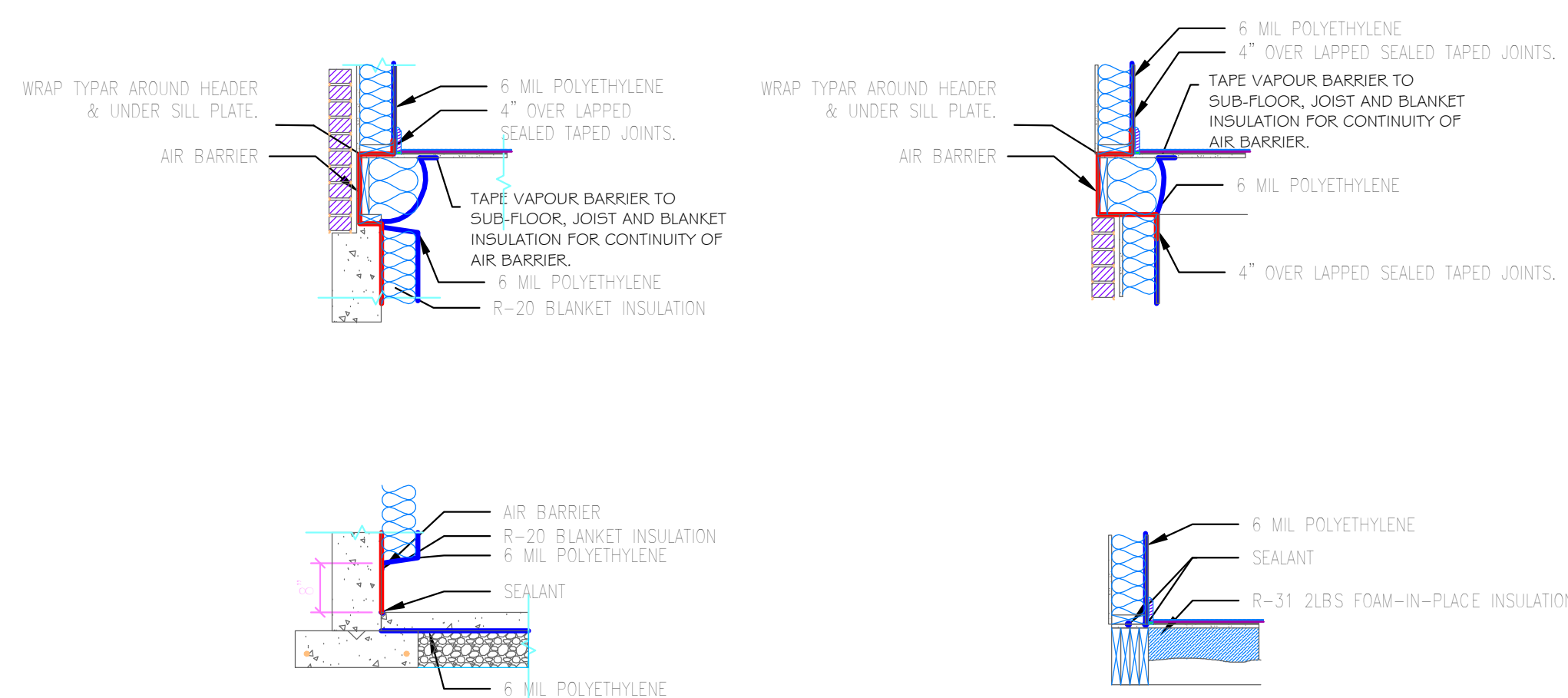
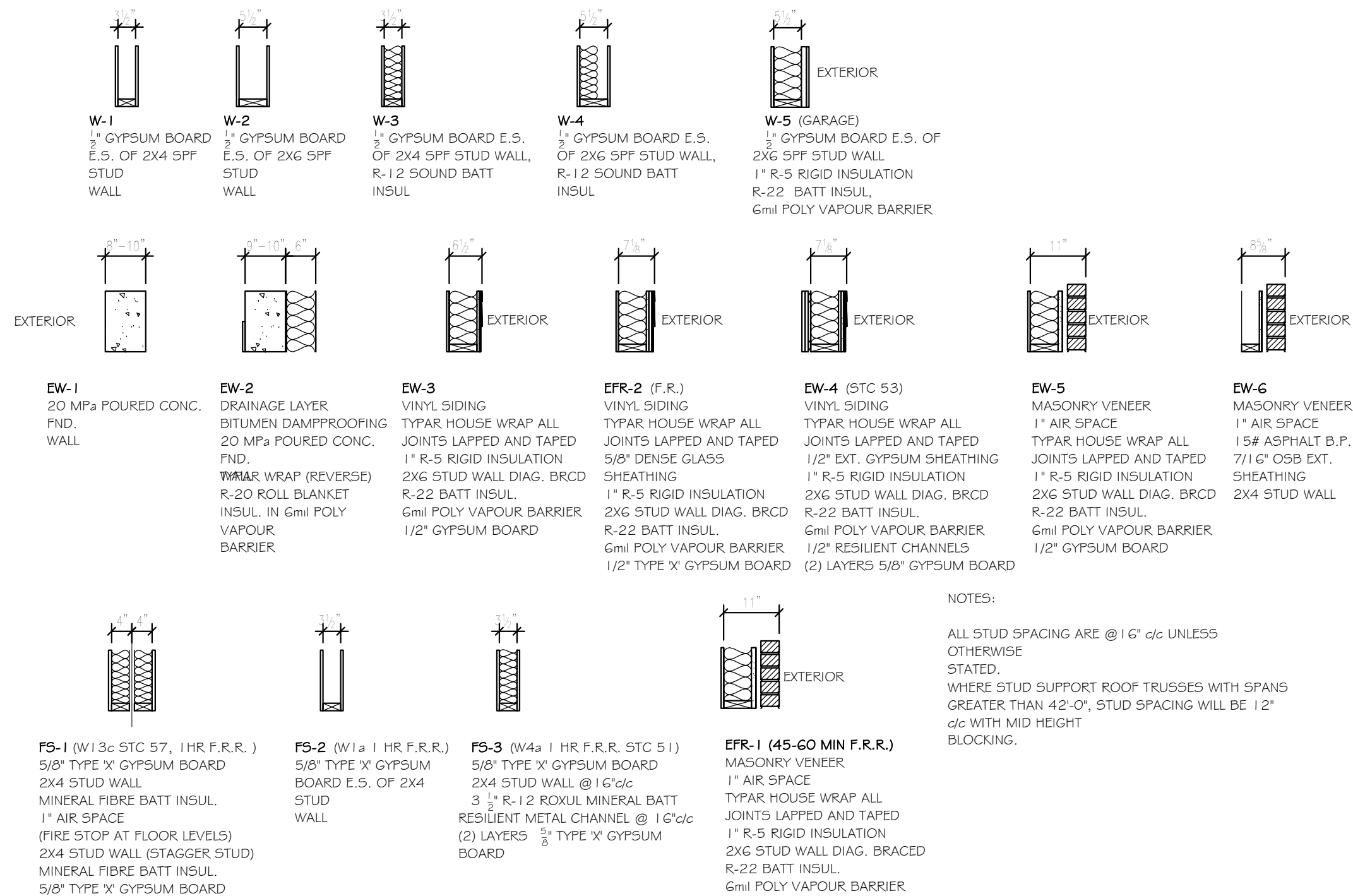
B Cross Section B
3/16" = 1'-0"

C Cross Section C
3/16" = 1'-0"



A Cross Section A
3/16" = 1'-0"

Revision Schedule		
Revision Number	Revision Date	Revision Description



7. THE BUILDING SHALL BE SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSE AFFECT ADJACENT PROPERTIES.
8. 2" MIN. OF 3/4" OR 1" POLYSTYRENE POLYURETHANE FOAM INSULATION OR 6" GRANULAR FILL COMPACTED IN LIFTS, 1:3* POSITIVE SLOPE TO DOOR OPENING.
9. WEEPING TILE TO BE 4" BISC Ø OR 4" SQUARE AND 6" OR 3/4" STONE.
10. BRICK VENTRIER TO BE MAX SIZE CANAL BRICK WITH METAL TIES 1 3/4" VERTICAL AND 3 1/2" HORIZONTAL OR 23 5/8" VERTICAL TIES 1 3/4" HORIZONTAL. VENTRIER TIES SHALL BE PROVIDED AT 27" MAX SPACING. TRANSOM WALLS AND TRANSOM ROOFS SHALL BE PROVIDED BENEATH WEEP HOLES IN BRICK VENTRIER OVER VOOK WINDOW FRAME SHALL EXTEND 31" BEYOND THE OUTER FACE OF THE BUILDING.
11. INSTALL WALL GRISTS WHEN WALL HEIGHT EXCEEDS 9'-0"
12. DRYSWALL SCREWS MAX 1 3/4" DEPT FOR CEILINGS, 1 3/4" DEPT OR WALLS WITH STUDS 16" OC.
13. EXTERIOR DOOR THRESH TO HAVE 3/8"X3" COMPRESS STRENGTH MAX 4" SLUMP.
14. WINDOW AND DOOR HEAD HEIGHTS TO BE 82 1/2" UNLESS OTHERWISE STATED. TRANSOM WINDOWS SET ABOVE 82 1/2" UNLESS OTHERWISE STATED.
15. LIGHT OUTLETS SHALL BE PROVIDED IN ALL ROOMS AND ARE REQUIRED BY A WALL SWITCH CAN BE USED IN BEDROOMS AND LIVING ROOM BASEMENTS LIGHT OUTLETS SHALL BE PROVIDED FOR EACH 223 SQ. FT. OF FLOOR AREA.
16. SHOWER STALLS TO HAVE 3" MIN FLOOR SLOPE AT WALL 42" HIGH, CORNER SHOWER STALLS 36" FROM CORNERS.



12. INTERIOR PERIMETER OF CONCRETE FOUNDATION WALLS TO HAVE FULL HEIGHT R-20 BULK INSULATION W/IN SUPER GRIM POLY VAPOR BARRIER AND TYPICAL BUILDING VAPOR.
13. INSULATORS LIKELY TO BE (2) 2"X 6' X 2" UNLESS OTHERWISE NOTED REFER TO SCHEDULES.
14. ROUGH/FINISH (3) THREE PCEE BATH WHERE (IN SHOW).
15. ALL FOOTINGS ARE 6" X 24" UNLESS OTHERWISE NOTED. 15MRA Poured CONCRETE ON UNDER SLAB ON GRADE. 15MRA STRUCTURAL PLIN. STEEL FOOTINGS ON SAND BASE TO BE 8" THICK AND SIZE 15' X 34" X 24".
16. FOUNDATION WALLS TO BE 8" THICK. UNLESS OTHERWISE NOTED, WITH 20MRA Poured CONCRETE COMPRESSIVE STRENGTH.
17. FOUNDATION WALLS TO BE 8" THICK. UNLESS OTHERWISE NOTED, WITH 20MRA Poured CONCRETE COMPRESSIVE STRENGTH.
18. 6" DIA. STEEL TIEPOSTS TO BE USED WHERE SHOWN. BOLT TO CONCRETE FOOTING AND SUPPORTED STEEL BEAM.
19. BACKFILL TO A MAXIMUM HEIGHT OF 6'-11".
20. DAMPROOF EXTERIOR WALLS TO BE 1/2" FOUNDATION WALL WITH BITUMEN, TAR SAND LAYERS AND AROUND ANY MECHANICAL / PLUMBING PENETRATIONS.
21. DRAINAGE LAYER TO BE SYSTEM PLANT.
22. BASEMENT FLOOR TO BE MIN. 3" THICK, 25MRA Poured CONCRETE COMPRESSIVE STRENGTH TO BE 3000 PSI.
23. IF GARAGE IS EXCAVATED FILL WITH SAND COMPACT TO 98% STANDARD PROCTOR.
24. PROVIDE DIRECT DRAINING FROM GAS PURCHASE AND HOT WATER HEATER TO EXTERIOR.
25. PROVIDE 4" DIA METAL PIPE TO VENT DUCT TO EXTERIOR CW HOOD AND DAMPER.
26. SLOPE BASEMENT FLOOR SLABS TO DRAIN GRAIN.
27. PROVIDE 4" DIA. RIGID POLYURETHANE FOAM INSULATION ON TOP OF BRICK Ledge AND GARAGE DOOR WIDTH.
28. PROVIDE 6" SLEEVE FOR SYSTEM SIZED PIPE 6" BELOW FINISHED GARAGE WHERE APPLICABLE.
29. PROVIDE 6" SLEEVE FOR WATERLINE AND HYDRO ENTRY.
30. SUMP PIP AND PUMP. PROVIDE DUCT RECEPTACLE WITHIN 24" TO POWER PLUMB.
31. SMOKE ALARM CW STORAGE, SHALL BE HARDWIRED AND INTERCONNECTED AND SHALL BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE THAT CAN CONTINUE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN THE NORMAL CONDITION, FOLLOWED BY 4 MIN. OF ALARM.
32. PROVIDE 3/4" DIA. 1/2" THICK 4000 PSI CONCRETE CONNECTED TO A HOT WATER STORAGE TANK. SHALL HAVE HEATS TRAPS ON BOTH INLET AND OUTLET PIPING AS CLOSE AS PRACTICAL TO THE TANK, EXCEPT WHERE THE TANK (A) HAS AN INTEGRAL HEAT TRAP, OR (B) SERVED AS A RECIRCULATING SYSTEM. (C) IF THE TANK IS OF THE HOT WATER OUTLET PIPING OF A HOT WATER STORAGE TANK SERVING A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN R5.0 G.2. THE INLET PIPE OF A HOT WATER STORAGE TANK BETWEEN THE HEAT TRAP AND THE PIPING SERVING A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN R5.0 G.2.
33. WHERE A SUPPLY DUCT IS LOCATED IN A CONDITIONED SPACE, THE DUCTWORK SHALL BE SEALED TO A CLASS C SEAL LEVEL, IN ACCORDANCE WITH THE SHAWMUT, "HVAC DUCT CONSTRUCTION STANDARDS - METAL FLEXIBLE".

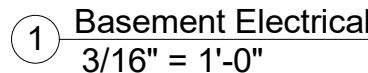
- FIRST FLOOR NOTES

34. PRE-HUNG INSULATED SILEN SKIN DOOR CW SELF-CLOSURE, WEATHERSTRIP AND ALUMINUM THRESHOLD
35. PROVIDE SMOKE-TIGHT JOINTS BETWEEN HOUSE AND GARAGE CW. PROVIDE SMOKE-TIGHT JOINTS BETWEEN POLY VAPOR BARRIER, CAULK AROUND ALL OPENINGS AND PENETRATIONS THROUGH GARAGE, HOUSE, GARAGE DOOR CW SELF CLOSURE
36. ALL INTERIOR UNITS ARE (2) 24" x 62" 25T UNLESS OTHERWISE NOTED
37. REFER TO LINTEL SCHEDULES FOR EXTERIOR LINTELS.
38. GARAGE DOOR LINTEL TO BE (2) 2x12" with 7/16" OSB UNLESS OTHERWISE NOTED
39. PORCH SLAB TO BE 5" 32MPA FIBRE CEMENT WITH 5-8% AIR, POSITIVE DRAINAGE, BROOK FINISHED WITH TOOLED EGGS.
40. WIRE ROD SHEET (S) IN ALL CLOSETS
41. PROVIDE 2" MIN DIA (8" OR 10") ON TOP OF BRICK PILARS AS SHOWN ON THE ELEVATIONS.
42. INTERIOR WALLS TO BE 2"x4" 2"x6" STUDS @ 16"OC (3 1/2" THICK) UNLESS OTHERWISE NOTED 2"x4" STUDS - 1/2" THICK
43. INTERIOR CEILINGER RODS TO BE 2"x4" STUDS - 1/2" THICK
44. INTERIOR FRAMING TO BE 2"x4" STUDS @ 16"OC UNLESS OTHERWISE NOTED. FRAME WITH 2"x6" 25T RAFTERS AND CEILING JOISTS @ 16"OC
45. SUB FLOOR TO BE 5/8" 16G OSB AND IS TO BE GLUED AND SCREWED.
46. ALL STAIRS TO HAVE A MAX. RISE OF 7 7/8" AND A MIN. RUN OF 8 1/4" UNLESS OTHERWISE NOTED. PROVIDE 1" MIN. HANDRAILS AND GROUND RAILS CONSTRUCTED IN ACCORDANCE WITH THE SUPPLEMENTARY GUIDELINES 5-7 OF THE ONTARIO BUILDING CODE, AIR / VAPOUR BARRIER TO BE DATED 4-4 AND SEALED. ELECTRICAL
47. WHERE PORCH IS UNCAVEATED PROVIDE 6" COMPACTED GRANULAR DIRECTLY BELOW SLAB. WHERE PORCH IS OVER COLD ROOM PROVIDE 10" BARS 80# C/C EACH DIRECTION WITH 1 1/2" COVER. THE 10" BARS TO BE 8" ON TOP OF 4" OF FOUNDATION. PROVIDE 10" HANDRAILS AND GROUND RAILS CONSTRUCTED IN ACCORDANCE WITH THE SUPPLEMENTARY GUIDELINES 5-7 OF THE ONTARIO BUILDING CODE, UNLESS NOTED OTHERWISE.
48. 2X2X6" 25T-16G-10 INSUL STEEL ATTIC ACCESS Hatch CW
49. PRE-HUNG INSULATED SILEN SKIN DOOR CW FRAME STRIP AND ALUMIN. THRESHOLD
50. PROVIDE 1/2" MIN LOW E GLAZING IN SOLID VINYL, FRAMES OPERATION AND MUNTIN BARS WHERE SHOWN ON DRAWINGS.
51. ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR.
52. MECHANICAL AND PLUMBING SPECIFICATIONS, LOCATIONS, AND SCHEDULES TO BE PROVIDED BY MECHANICAL AND PLUMBING CONTRACTORS.
53. THE PROGRAMMABLE THERMOSTATIC CONTROL DEVICE SHALL (A) ALLOW THE SETTING OF DIFFERENT AIR TEMPERATURES FOR ATLEAST, (I) FOUR TIME PERIODS PER DAY, AND (II) TWO DIFFERENT DAY-TYPES PER WEEK, (B) INCLUDE A 10% BURNOUT PROTECTION, (C) HAVE A MINIMUM SETTING OF THE AIR TEMPERATURE TO 70° 13°C OR LOWER IN HEATING MODE, AND (II) 29°C OR HIGHER IN COOLING MODE, WHERE APPROPRIATE.
54. AIR CONDITIONING TO BE PROVIDED.
55. AIR CONDITIONING TO BE PROVIDED. GRADE BAR AS PER CBC SCHEDULE 3.8.3.8.1.(1).(D) REFER TO DETAIL.

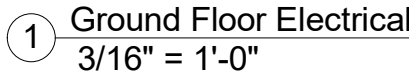
- ## STRUCTURAL SPECIFICATIONS


53. INSURE MIN 75KPA SOLB BEARING CAPACITY
54. DCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL. KEPT FREE OF STANDING WATER AND SHALL BE KEPT FROM FREEZING DURING THE COURSE OF CONSTRUCTION
57. COMPRESSION STRENGTH OF CONCRETE:
 - A. FOOTINGS SHALL BE 20MPA
 - B. FOUNDATION WALLS 15MPA CODE MIX
 - C. INTERIOR FLOOR SLABS 25MPA
 - D. EXTERIOR SLABS EXPOSED TO WEATHER 32.5MPA
 - E. GARAGE FLOOR SLAB 15MPA
58. STRUCTURAL STEEL SHALL CONFORM TO CANCSA-516, 1.4 M
59. STEEL BEAMS AND LINTELS SHALL HAVE A MINIMUM 6" END BEARING ON CONCRETE OR MASONRY.
60. WELDING OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA C33.10 WELDING AND SHALL BE UNDERTAKEN BY A FABRICATOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W41.
61. SHOP DRAWINGS OF THE ROOF TRUSSES INCLUDING LAYOUT OF THE ROOF TRUSSES, BEARING DETAILS (INCLUDING HOLD-DOWN CLIPS) SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER TO THE PROVINCE OF ONTARIO AND SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
62. ALL ROOFING FOR WOOD SHAKES SHALL BE SUN DRIED AND WELL SEASONED IN ORDER TO PREVENT POSSIBLE DISTORTION OR DEFORMATION OF THE TRUSSES.
63. STRUCTURAL LOADS:
 - A. FLOORS: DEAD LOAD = 0.70KPA (15PSF) 1/360 MAX DEFLECTION
 - B. FLOORS: DEAD LOAD = 1.30KPA (27.2PSF) 1/360 MAX DEFLECTION
 - C. OTHER AREAS: LIVE LOAD = 1.90KPA (40PSF) 1/360 MAX DEFLECTION
 - D. PARTITIONS: DEAD LOAD = 1.0KPA (20PSF)
 - E. ROOFING: DEAD LOAD 1.0KPA (20PSF) RAFTER NO CEILING 1/240 MAX DEFLECTION
 - F. GROUND SNOW LOAD = 2.80KPA (58.5PSF)
 - G. CEILING/SUPPORTING CEILING 1/360MAX
 - H. RAIN LOAD = 0.50KPA
 - I. UNFACTORED LIVE GROUND SNOW LOAD AND MAY VARY WITH LOCATION TO LOCATION.
64. ALL WINDOWS SHALL CONFORM TO AMMANOWAGA CSA 1011/52
65. COLD AIR INLETS MUST BE FOR CONCRETE FORMS APPLY WHERE OUTDOOR AIR TEMPERATURE IS BELOW -10 DEG. C. FORMS TO REMAIN IN PLACE FOR 72HRS.
66. ALL EXTERIOR FOOTINGS SHALL BE PLACED MINIMUM 48" BELOW FINISHED GRADE UNLESS OTHERWISE NOTED ON PLANS.
67. PROVIDE BLOCKING IN MAIN HALLWAY WALL FRAMING FOR FUTURE GRAB BAR INSTALLATION
68. PROVIDE 1/2" DIA. DRIP TROUGH DIRECTLY VENT EXTERIOR WITH NON-COMBUSTIBLE DUCTWORK.
69. OPTIONAL GAS FIREPLACE SHALL VENT TO EXTERIOR WITH NON-COMBUSTIBLE DUCTWORK.
70. ALL ELECTRICAL SHALL BE COMPLETED IN ACCORDANCE WITH CBC SECTION 9.3.4. AND APPROVED BY EPA.

Revision Schedule	
Revision Number	Revision Description
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<p>PROJECT:</p> <p style="font-size: 1.5em; margin-top: 10px;">Craftsman Vista 1374 B Summit View, Collingwood, ON</p> <p style="font-size: 0.8em; margin-top: 10px;">Issue for Permit 01.22.2019</p> <p>LOCATION:</p> <p>Block 282 Archer Ave Craftsman Vista 1374 B</p>	
<p>DRAWING:</p> <p style="font-size: 2em; margin-top: 10px;">Typical Details</p>	
<p>PROJECT NORTH:</p>	<div style="border: 1px solid black; padding: 5px; margin-bottom: 5px;"> <p>DRAWN BY: sgg</p> </div> <div style="border: 1px solid black; padding: 5px; margin-bottom: 5px;"> <p>ISSUE DATE: 02/04/2019</p> </div> <div style="border: 1px solid black; padding: 5px; margin-bottom: 5px;"> <p>SCALE: As indicated</p> </div> <div style="border: 1px solid black; padding: 5px; margin-bottom: 5px;"> <p>PROJECT NO: Summit View, Collingwood, ON</p> </div> <div style="border: 1px solid black; padding: 5px;"> <p>ORIENTATION:</p> <p style="font-size: 3em; text-align: center; margin-top: 20px;">A8</p> </div>



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<div>DETAIL SYMBOL:<div><div>DETAIL NO:<div>DRAWING NO:</div></div><div>ALL DIMENSIONS SHALL BE VERIFIED BY THE SITE SUPERVISOR BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER SIGNED BELOW PRIOR TO THE COMMENCEMENT OF WORK. ALL DRAWINGS, SPECIFICATIONS ETC., PREPARED BY THE DESIGNER ARE THEIR PROPERTY AS INSTRUMENTS OF SERVICE TO BE RETURNED AS REQUESTED. ALL WORK SHALL COMPLY WITH THE CURRENT EFFECTIVE ONTARIO BUILDING CODE AND ALL BY-LAWS WITH AUTHORITIES HAVING JURISDICTION.</div></div></div>		
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<div>DESIGNER:<div>BCIN : 20823 Rodney G. Greer,</div></div> <div>Owner:<div>Block 282 Archer Ave</div></div>		
<div>PROJECT:<div>Craftsman Vista 1374 B Summit View, Collingwood, ON</div><div>Issue for Permit01.22.2019</div></div>		
<div>LOCATION:<div>Block 282 Archer Ave Craftsman Vista 1374 B</div></div>		
<div>DRAWING:<div>Basement Electrical Plan</div></div>		
<div><div>PROJECT NORTH</div><div><div>DRAWN BY: egg</div><div>ISSUE DATE: 02/04/2019</div><div>SCALE: 3/16" = 1'-0"</div><div>PROJECT NO: Summit View, Collingwood, ON</div></div></div>		
<div><div>ORIENTATION:</div><div><div>DRAWING NO:</div><div>E0</div></div></div>		



DETAIL SYMBOL:		ALL DIMENSIONS SHALL BE VERIFIED BY THE SITE SUPERVISOR BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER SIGNED BELOW PRIOR TO THE COMMENCEMENT OF WORK. ALL DRAWINGS, SPECIFICATIONS ETC, PREPARED BY THE DESIGNER ARE THEIR PROPERTY AS INSTRUMENTS OF SERVICE TO BE RETURNED AS REQUESTED.
	DETAIL NO:	ALL WORK SHALL COMPLY WITH THE CURRENT EFFECTIVE ONTARIO BUILDING CODE AND ALL BY-LAWS WITH AUTHORITIES HAVING JURISDICTION.
	DRAWING NO:	

Devonleigh Homes Inc.

P. O. Box 70
Orangeville, Ontario,
Canada

(519) 942-3311
(519) 942-9892

www.devonleighhomes.com

DESIGNER: BCIN : 20823 Rodney G. Greer_____

Owner:

Block 282 Archer Ave

PROJECT:

Craftsman Vista 1374 B
Summit View,
Collingwood, ON

Issue for Permit 01.22.2019

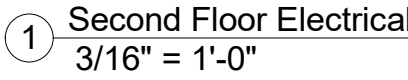
LOCATION:
Block 282 Archer Ave
Craftsman Vista 1374 B

DRAWING:

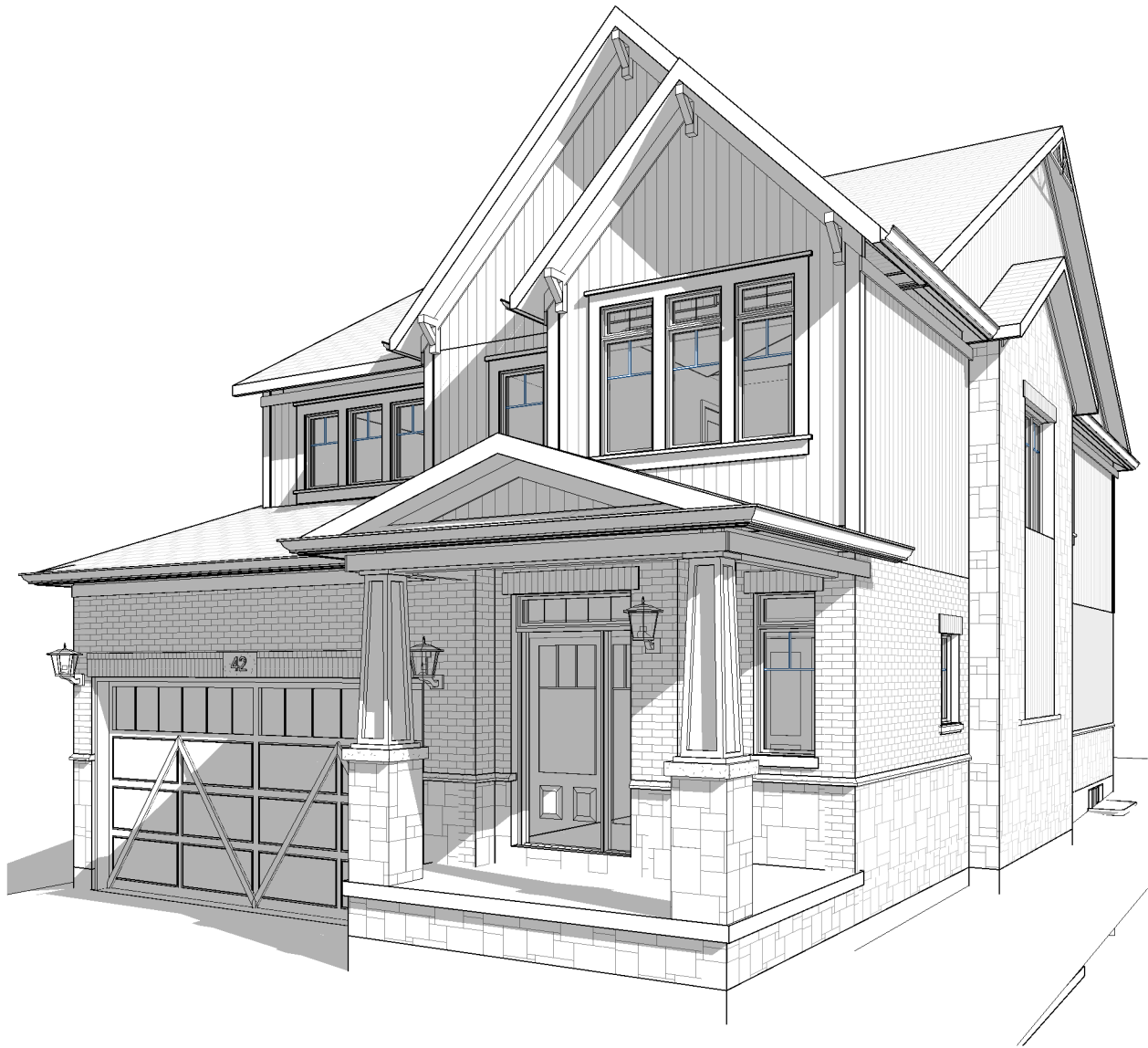
First Floor Electrical

PROJECT NORTH:	DRAWN BY: egg
	ISSUE DATE: 02.04.2019
	SCALE: 3/16" = 1'-0"
	PROJECT NO: Summit View, Collingswood, ON

ORIENTATION:	DRAWING NO.
	E1



<p>ORIENTATION:</p>	<p>DRAWING NO.</p> <p>E2</p>
---------------------	------------------------------



1 3D View 1

Project Design Conditions			
SB-12 Prescriptive Path	Table 3.1.1.2.A	Package A6	
Zone	1		
Heating Equipment	>= 92% AFUE		
Fuel	Gas		
Building Specifications			
Building Component	R Values	Building Component	Efficiency Ratings
Ceiling w/Attic	60	Windows/Sliding Glass Doors	ER 25 U 1.6
Ceiling without Attic	31	Skylights	2.8
Exposed Floor	31		
Walls Above Grade	22+5CI	Space Heating	92%
Basement Walls	20 CI	HRV Eff.	65%
Slab (All > 600mm Below Grade)	NA	DHW Eff.	0.8
Slab (Edge only <=600mm Below Grade)	10	Drain water heat recovery unit (connected to 2 showers/tubs)	1
Slab (All <= 600mm Below Grade Heated)	10		

2 Energy Efficiency Design Summary
6" = 1'-0"

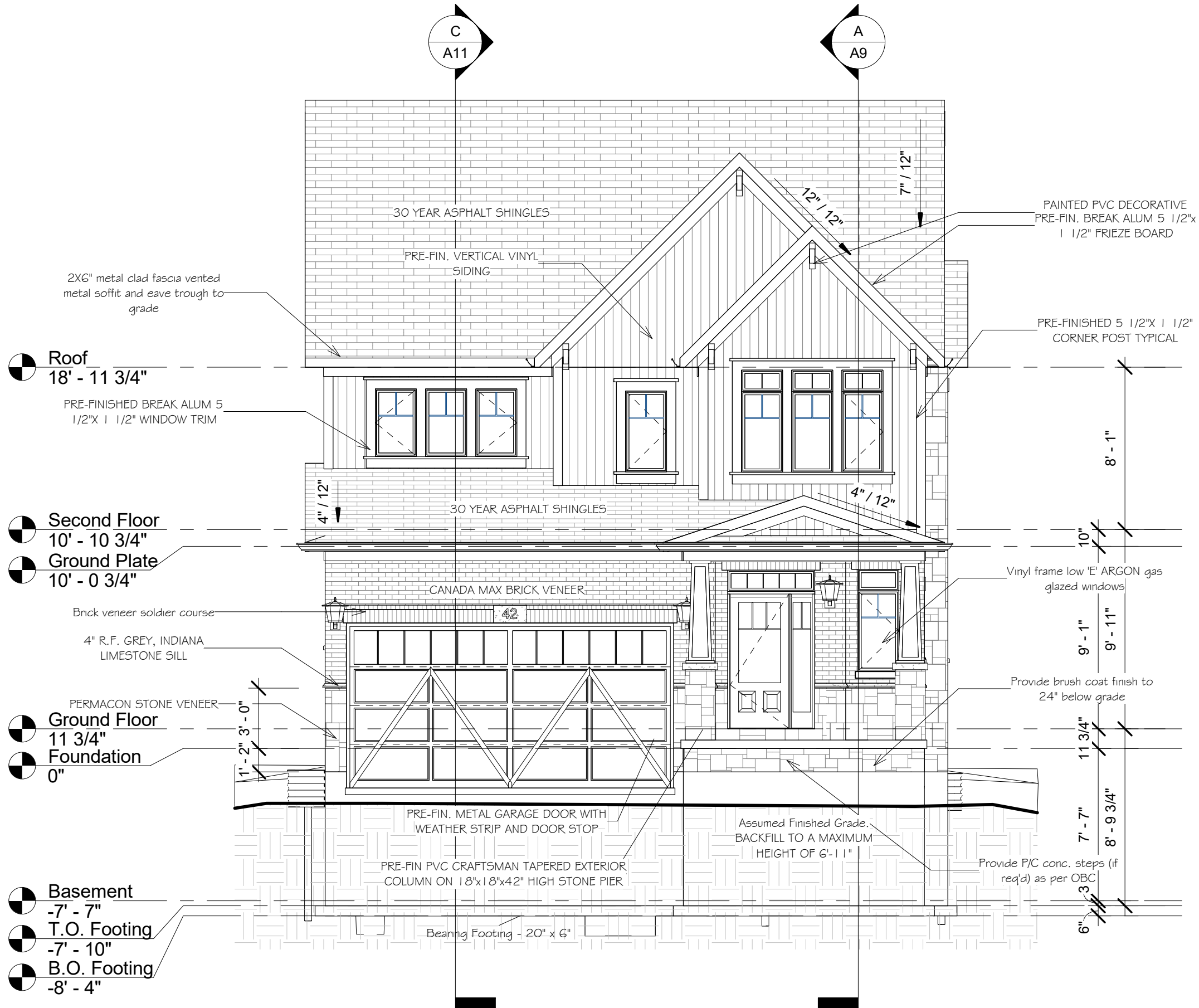
Craftsman Middleton			
Wall to Glass Ratio			
Location	Wall Area	Glass Area	Ratio
South	607.00	74.76	12.32%
West	989.55	36.93	3.73%
North	610.93	109.55	17.93%
East	989.55	6.53	0.66%
Total	3197.03	227.77	7.12%

3 Craftsman Middleton I Wall to Glass Ratio
12" = 1'-0"

Sheet List	
Sheet Number	Sheet Name
A0	Title Sheet
A1	Front Elevation
A2	Basement Plan
A3	Ground Floor Plan
A4	Second Floor Plan
A5	Roof Framing
A6	Left Elevation
A7	Right Elevation
A8	Rear Elevation
A9	Building Sections
A10	Building Sections
A11	Building Sections
A12	Standard Details
A13	Details
A14	Notes
E0	Basement Electrical Plan
E1	Ground Floor Electrical
E2	Second Floor Electrical

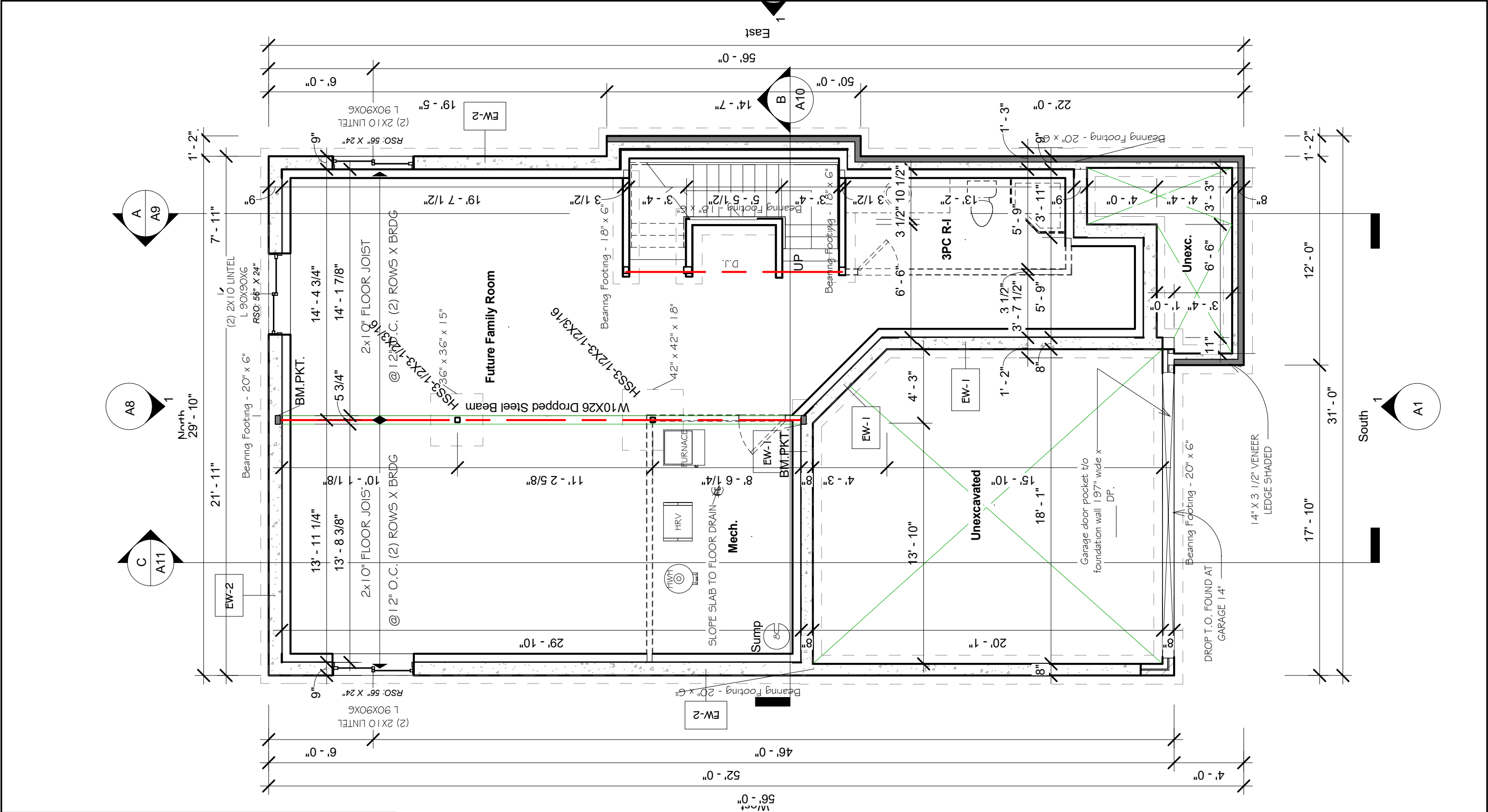
Area Schedule (Gross Building)	
Level	Area
Ground Floor	1140 SF
Second Floor	1195 SF
Grand total: 2	2335 SF

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :			
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton I B Left			
				Orangeville, Ontario www.devonleighthomes.com		Lot 105 (42) Plewes Drive			
				Designer :		DRN. BY: rgg			
				BCIN : 20823 Rodney G. Greer		CHK. BY:			
			DRAWING :		2019-01-30 10:24:47 AM		SCALE: As indicated		DRAWING NO: <div>A0</div>
			Title Sheet		CAD FILE: P:_Collingswood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt				
			Devonleigh Homes		PROJECT NO: Summit View, Collingwood		REV:		

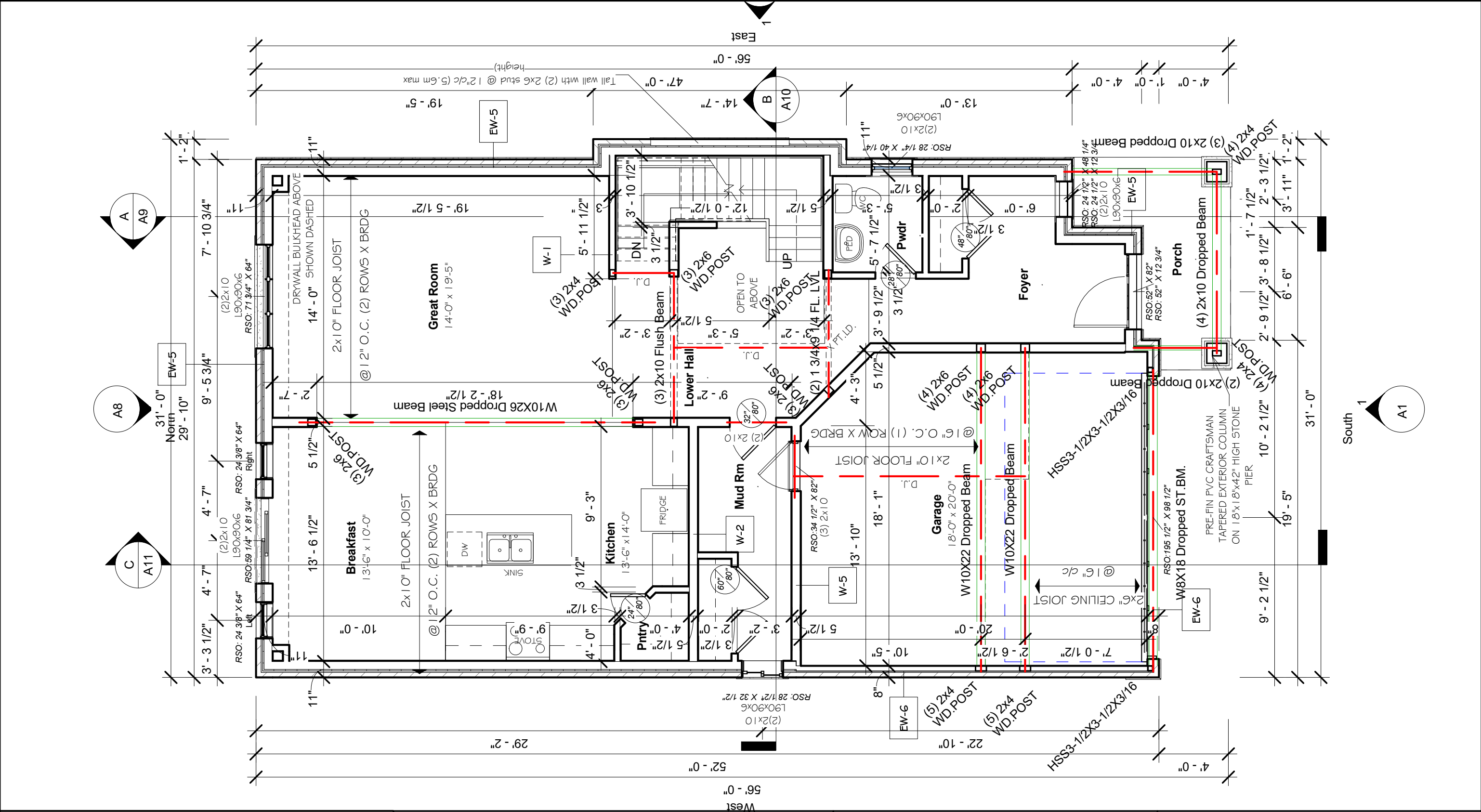


1 South
3/16" = 1'-0"

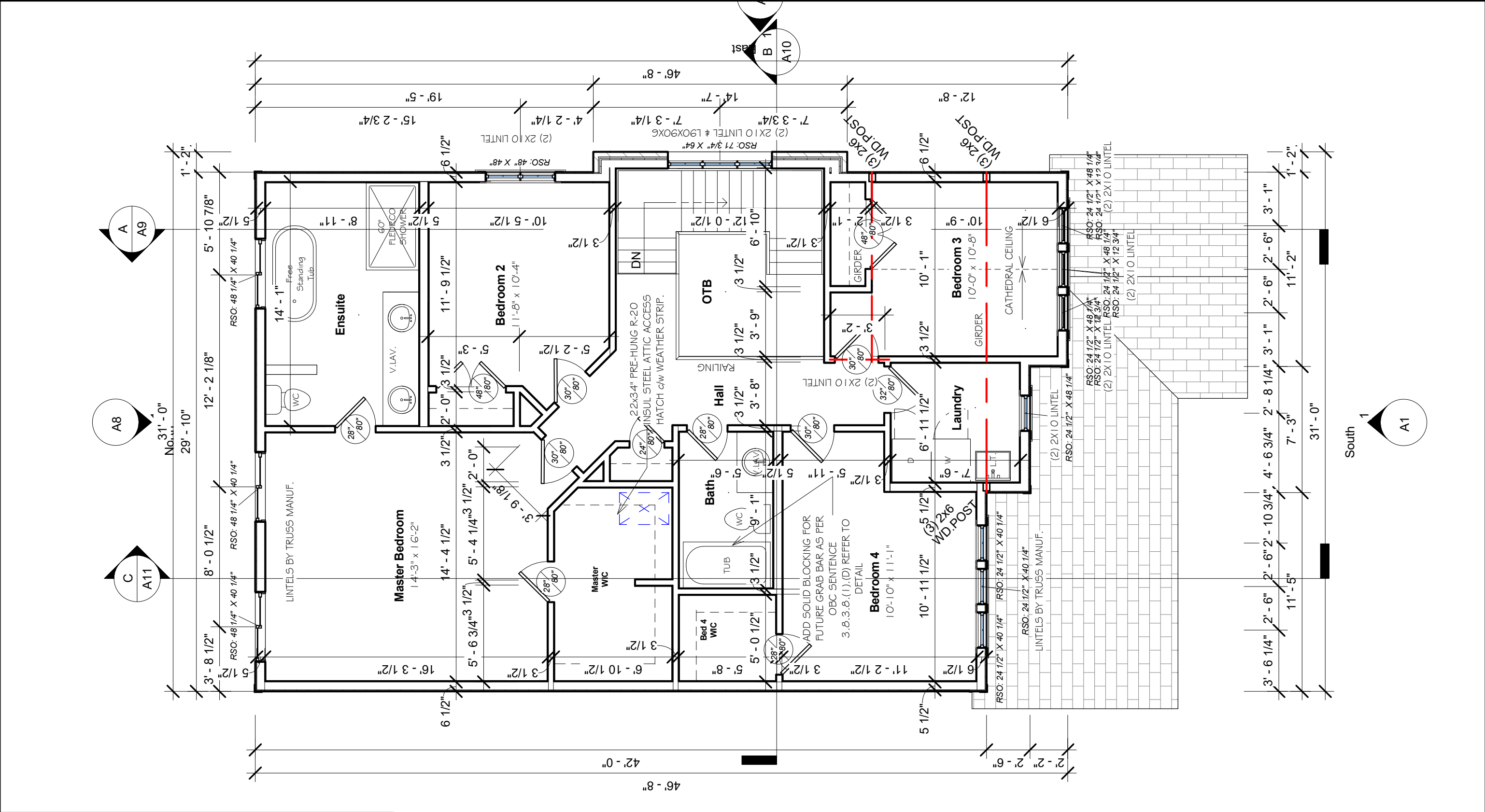
Revision Schedule		PROJECT:	
Number	Date	Description	
		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighhomes.com	PROJECT: Craftsman Middleton I B Left Lot 105 (42) Plewes Drive
		Designer: BCIN : 20823 Rodney G. Greer	DRN. BY: rgg
		DRAWING: Front Elevation Devonleigh Homes	CHK. BY: SCALE: 3/16" = 1'-0" 2019.01.30 10:24:50 AM CAD FILE: Drive Craftsman Middleton I B Left.rvt
			DRAWING NO: A1 REV: PROJECT NO: Summit View, Collingwood



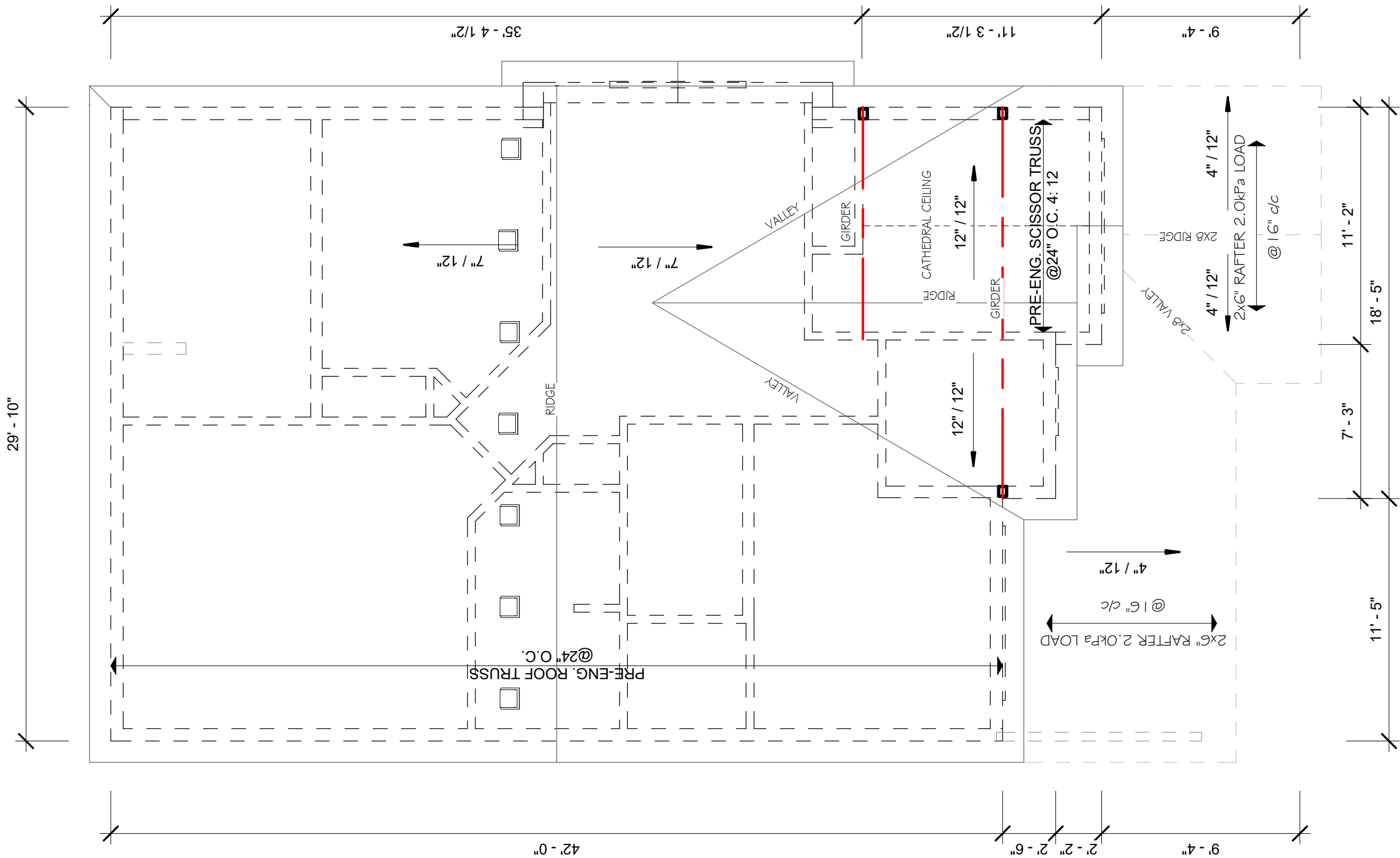
Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	<div><div></div><div>A6</div></div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :	
P.O. Box 70		Fax: (519) 942-9892			Craftsman Middleton I B Left			
Orangeville, Ontario		www.devonleighbhomes.com			Lot 105 (42) Plewes Drive			
Designer :					DRAWING NO:			
BCIN : 20823 Rodney G. Greer					A2			
DRAWING :		Basement Plan		DRN. BY: rgg		CHK. BY:		
Devonleigh Homes				2019-01-30 10:24:52 AM		SCALE: 3/16" = 1'-0"		
				CAD FILE: P:_Collingswood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt				
				PROJECT NO: Summit View, Collingwood		REV:		



Revision Schedule			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Orangeville, Ontario www.devonleighbhomes.com	PROJECT :		
Number	Date	Description				Craftsman Middleton I B Left Lot 105 (42) Plewes Drive		
			1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission. 2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work. 3. Work to dimensions shown - DO NOT SCALE. 4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		Designer : BCIN : 20823 Rodney G. Greer	DRN. BY: rgg	CHK. BY:	DRAWING NO:
					DRAWING : Ground Floor Plan Devonleigh Homes	2019-01-30 10:24:56 AM	SCALE: 3/16" = 1'-0"	A3
						CAD FILE: P:\Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt	PROJECT NO: Summit View, Collingwood	
								REV:



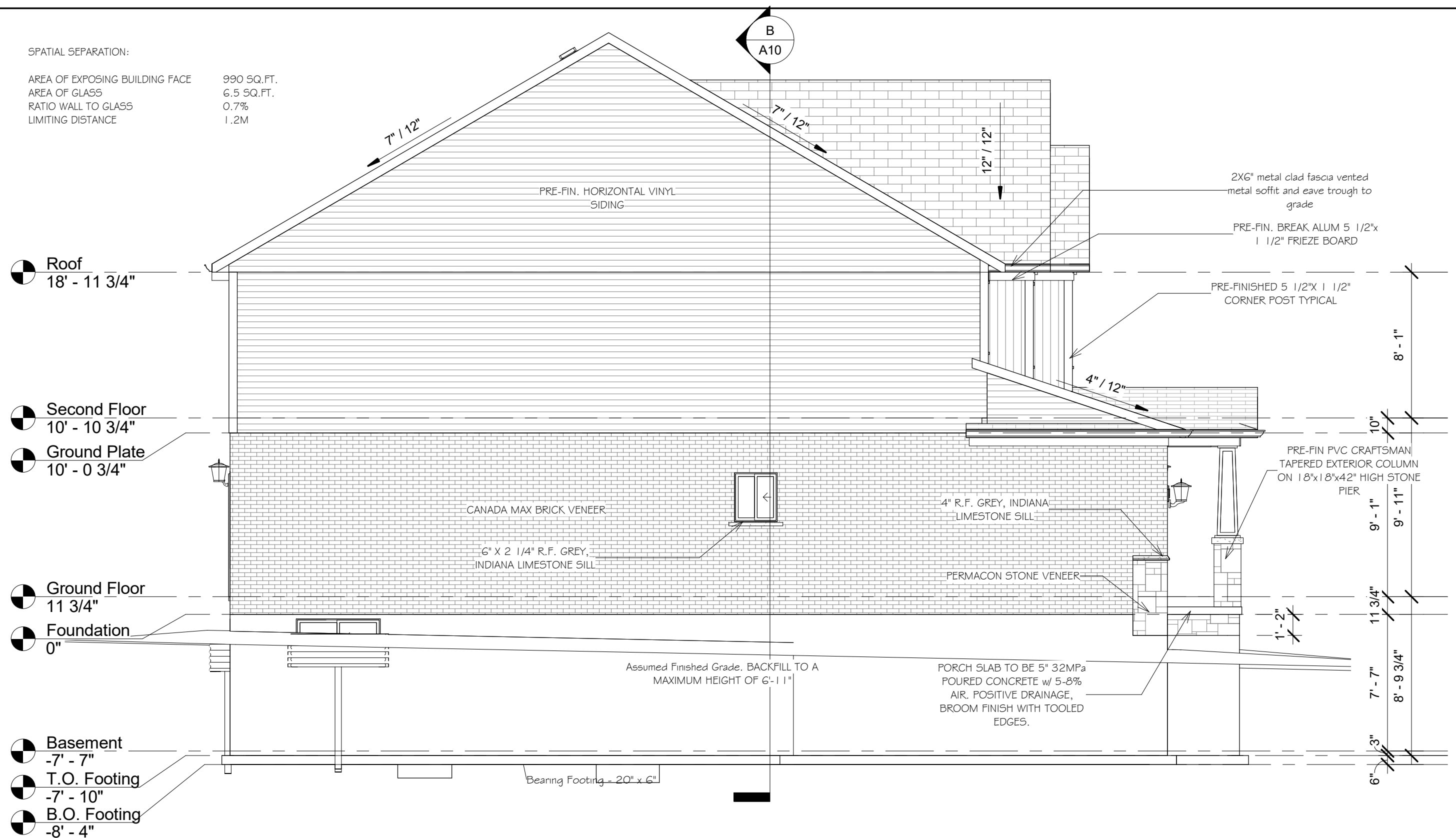
Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div> <div><div>West</div><div><div>1</div><div>A6</div></div></div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :	
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton I B Left	
				Orangeville, Ontario www.devonleighhomes.com		Lot 105 (42) Plewes Drive	
				Designer :		DRN. BY: rgg	
				BCIN : 20823 Rodney G. Greer		CHK. BY:	
			DRAWING :		DRAWING NO:		
			Second Floor Plan		2019-01-30 10:24:59 AM		
			Devonleigh Homes		SCALE: 3/16" = 1'-0"		
					CAD FILE: P:_Collingswood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt		
					PROJECT NO: Summit View, Collingwood		
					REV:		



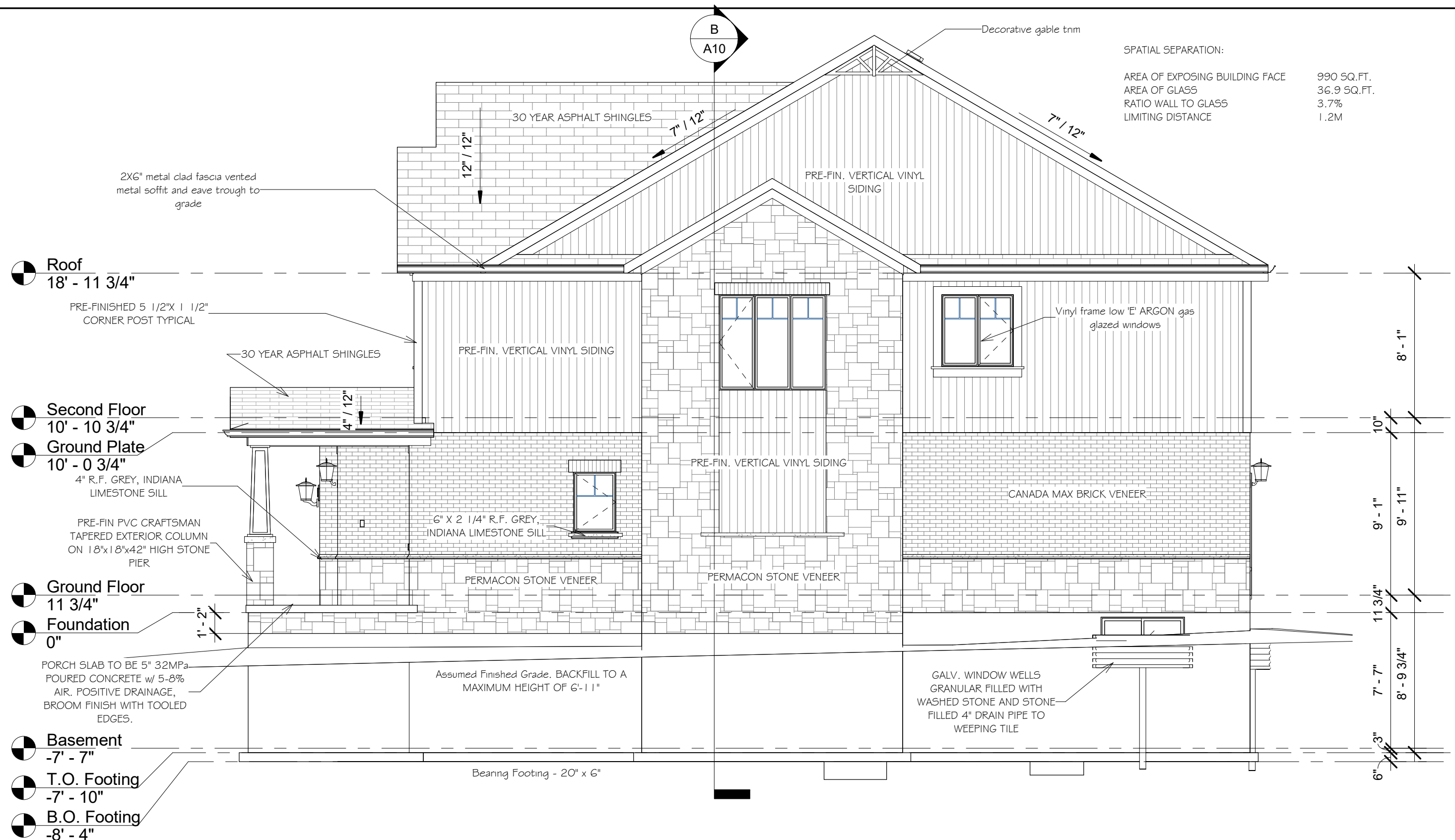
1 Roof Framing
3/16" = 1'-0"

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :			
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton I B Left			
				Orangeville, Ontario www.devonleighbhomes.com		Lot 105 (42) Plewes Drive			
				Designer :		DRN. BY: rgg			
				BCIN : 20823 Rodney G. Greer		CHK. BY:			
			DRAWING :		2019-01-30 10:25:01 AM		SCALE: 3/16" = 1'-0"		DRAWING NO: <div>A5</div>
			Roof Framing Devonleigh Homes		CAD FILE: P:_Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt				
					PROJECT NO: Summit View, Collingwood		REV:		

AREA OF EXPOSING BUILDING FACE	990 SQ.FT.
AREA OF GLASS	6.5 SQ.FT.
RATIO WALL TO GLASS	0.7%
LIMITING DISTANCE	1.2M

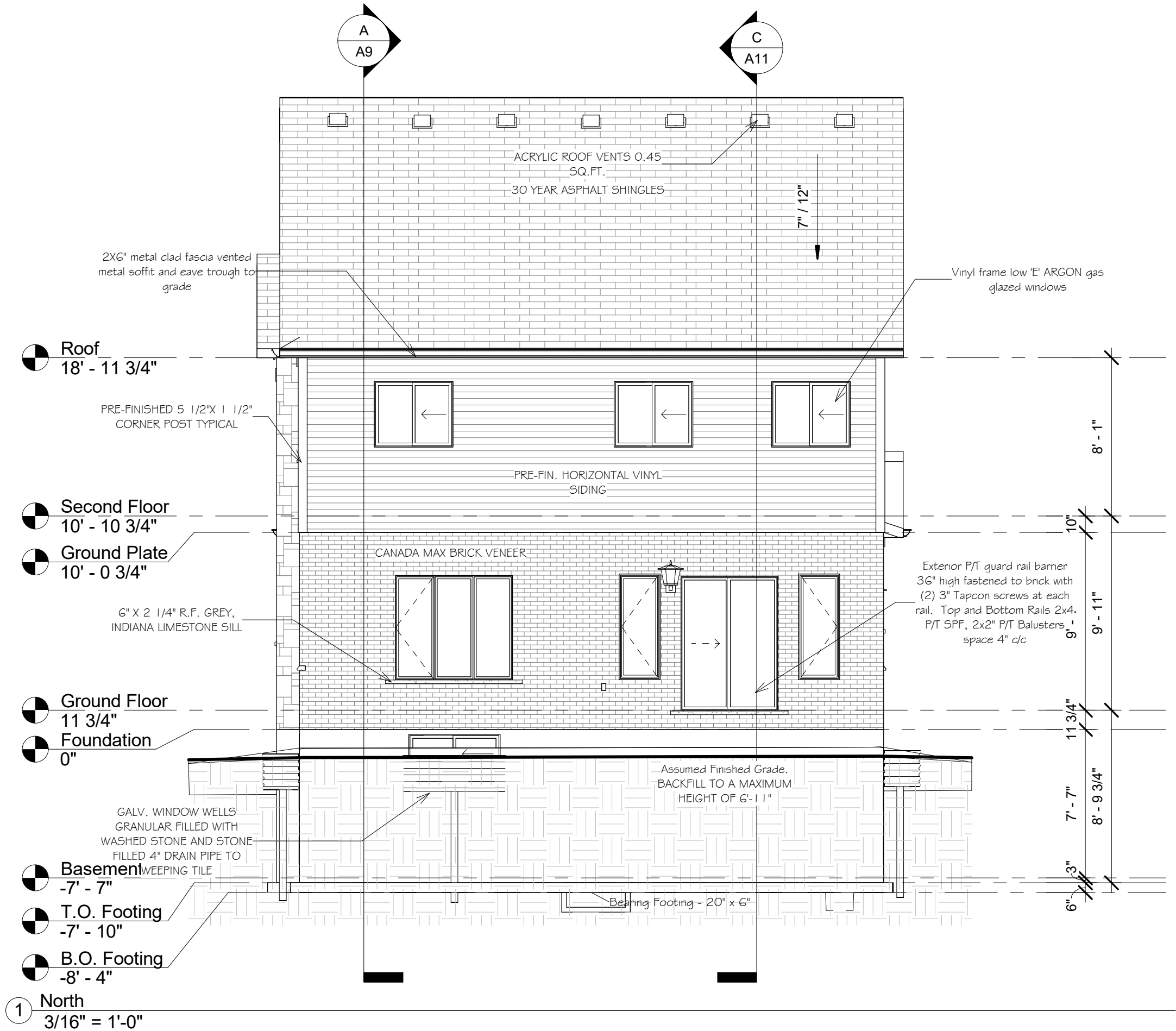


Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :			
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton I B Left			
				Orangeville, Ontario www.devonleighhomes.com		Lot 105 (42) Plewes Drive			
				Designer :		DRN. BY: rgg		CHK. BY:	DRAWING NO: <div>A6</div>
				BCIN : 20823 Rodney G. Greer		2019-01-30 10:25:03 AM		SCALE: 3/16" = 1'-0"	
DRAWING : Left Elevation Devonleigh Homes		CAD FILE: P:_Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt		PROJECT NO: Summit View, Collingwood	REV:				



SPATIAL SEPARATION:	
AREA OF EXPOSING BUILDING FACE	990 SQ.FT.
AREA OF GLASS	36.9 SQ.FT.
RATIO WALL TO GLASS	3.7%
LIMITING DISTANCE	1.2M

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :	
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton I B Left	
				Orangeville, Ontario www.devonleighhomes.com		Lot 105 (42) Plewes Drive	
				Designer :		DRN. BY: rgg	CHK. BY:
				BCIN : 20823 Rodney G. Greer		2019-01-30 10:25:05 AM	SCALE: 3/16" = 1'-0"
				DRAWING :		P:_Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt	
				Right Elevation		PROJECT NO: Summit View, Collingwood	
				Devonleigh Homes		REV:	
						A7	



PROJECT:

Craftsman Middleton I B Left
Lot 105 (42) Plewes Drive

DRAWING NO:

A8

DRN. BY: rgg

CHK. BY:

SCALE: 3/16" = 1'-0"

CAD FILE: Drive Craftsman Middleton I B Left.rvt

PROJECT NO: Summit View, Collingwood

REV:

Devonleigh Homes Inc (519) 942-3311
P.O. Box 70 Fax: (519) 942-9892
Orangeville, Ontario www.devonleighbomes.com

Designer:

BCIN : 20823 Rodney G. Greer

DRAWING:

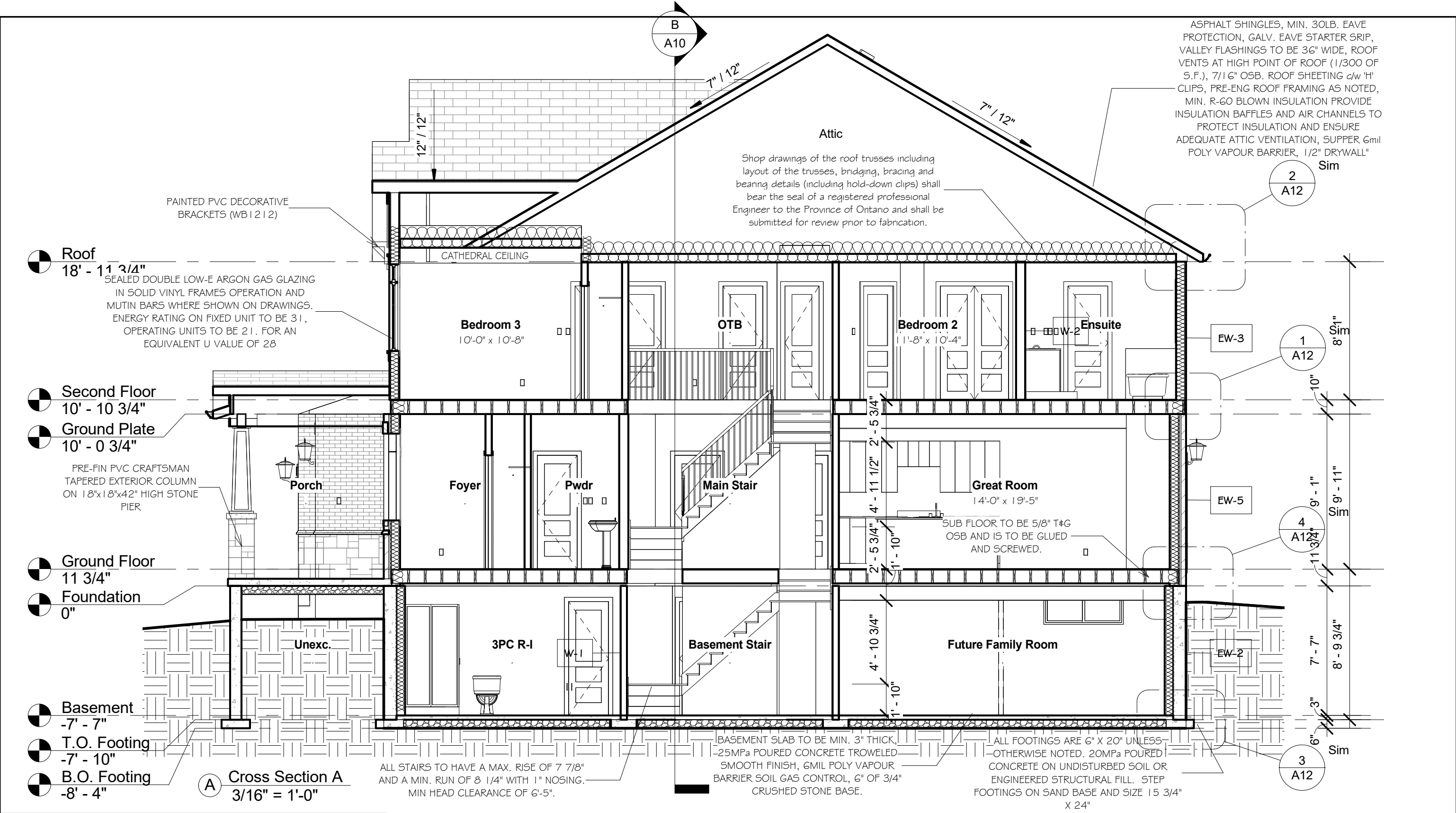
Rear Elevation
Devonleigh Homes

Revision Schedule

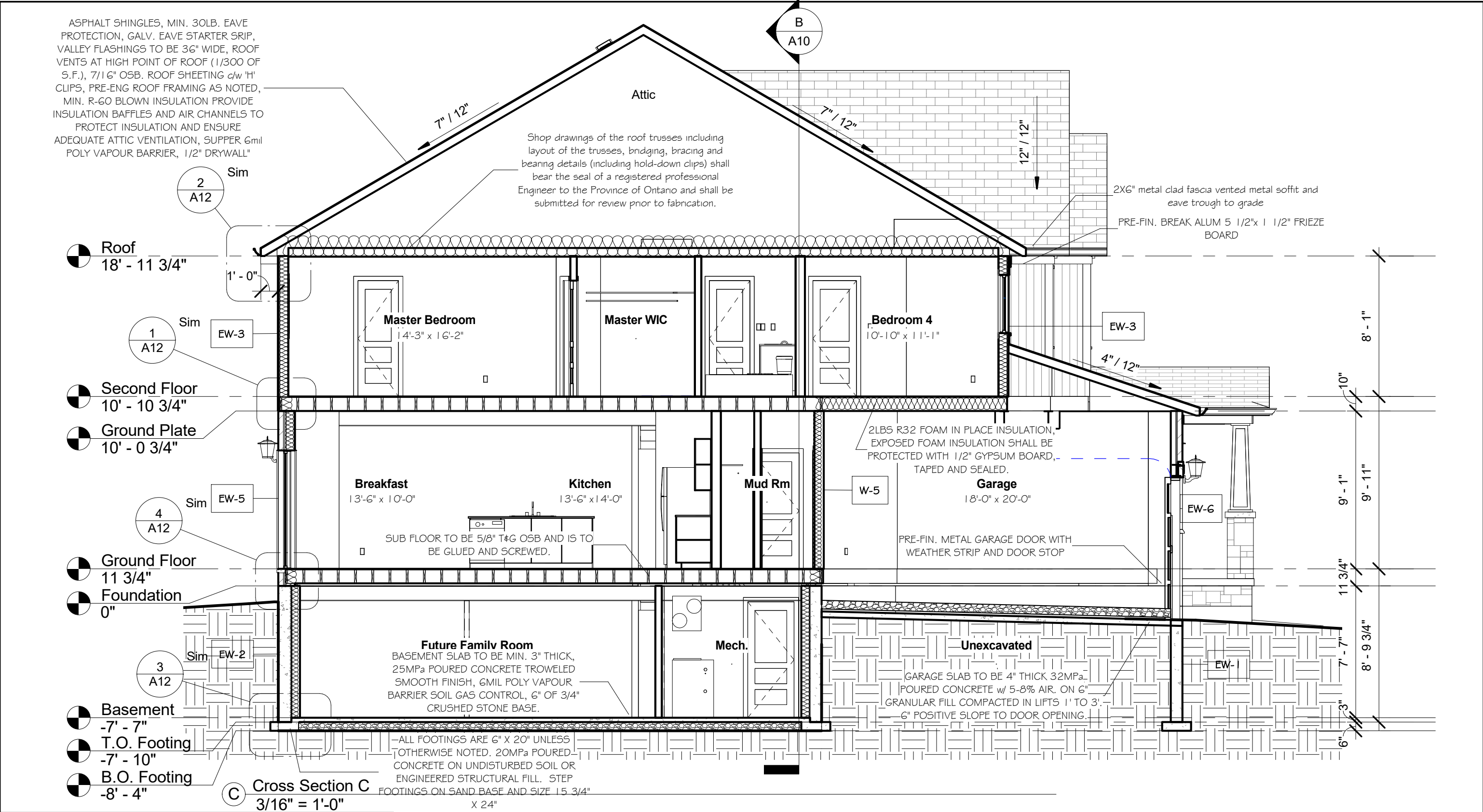
Description

Date

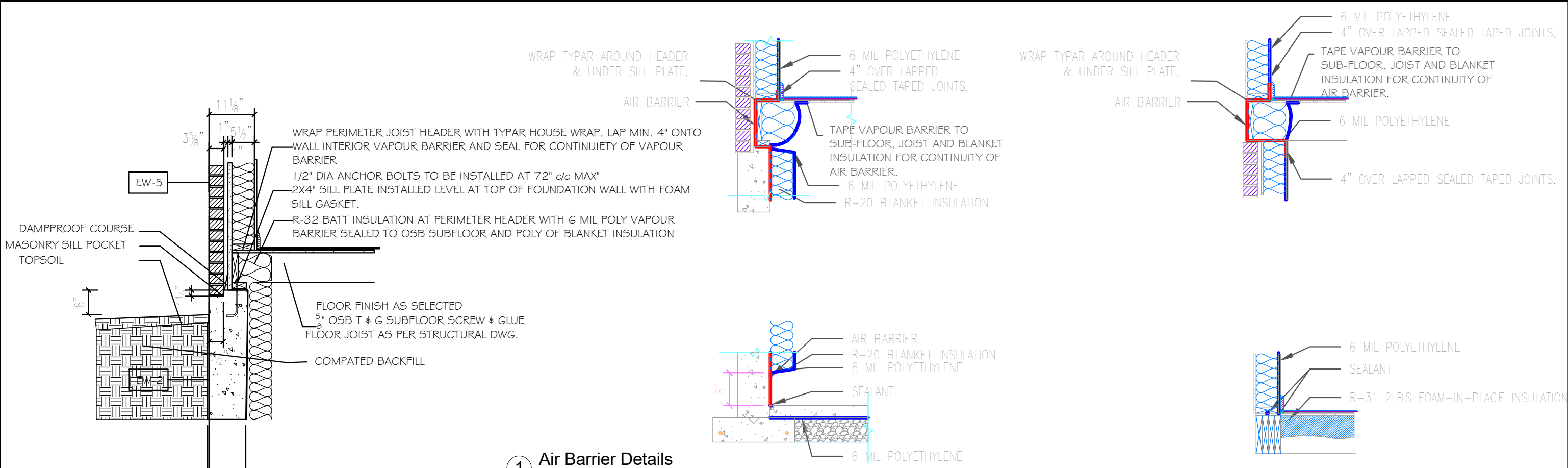
Number



Revision Schedule			GENERAL NOTES:		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighbhomes.com		PROJECT: Craftsman Middleton I B Left Lot 105 (42) Plewes Drive		
Number	Date	Description							
			1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.		Designer:		DRN. BY: rgg		
			2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.		BCIN : 20823 Rodney G. Greer		CHK. BY:		
			3. Work to dimensions shown - DO NOT SCALE.		DRAWING:		2019-01-30 10:25:11 AM		
			4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		Building Sections Devonleigh Homes		SCALE: 3/16" = 1'-0"		
							CAD FILE: P:_Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt		
							PROJECT NO: Summit View, Collingwood		
							DRAWING NO: A9		
							REV:		



Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	<div>Devonleigh Homes Inc (519) 942-3311</div> <div>P.O. Box 70 Fax: (519) 942-9892</div> <div>Orangeville, Ontario www.devonleighhomes.com</div>		<div>PROJECT :</div> <div>Craftsman Middleton I B Left</div> <div>Lot 105 (42) Plewes Drive</div>		
Number	Date	Description		Designer : BCIN : 20823 Rodney G. Greer_____		DRN. BY: rgg	CHK. BY:	DRAWING NO:
				<div>DRAWING :</div> <div>Building Sections</div> <div>Devonleigh Homes</div>		2019-01-30 10:25:16 AM	SCALE: 3/16" = 1'-0"	A11
						CAD FILE: P:_Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt		
					PROJECT NO: Summit View, Collingwood		REV:	



Revision Schedule		
Number	Date	Description

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Devonleigh Homes Inc

P.O. Box 70

Orangeville, Ontario

(519) 942-3311

Fax: (519) 942-9892

www.devonleighthomes.com

Designer :

BCIN : 20823 Rodney G. Greer

DRAWING :

Standard Details

Devonleigh Homes

PROJECT :

Craftsman Middleton I B Left

Lot 105 (42) Plewes Drive

DRN. BY: rgg

CHK. BY:

DRAWING NO:

2019-01-30 10:25:18 AM

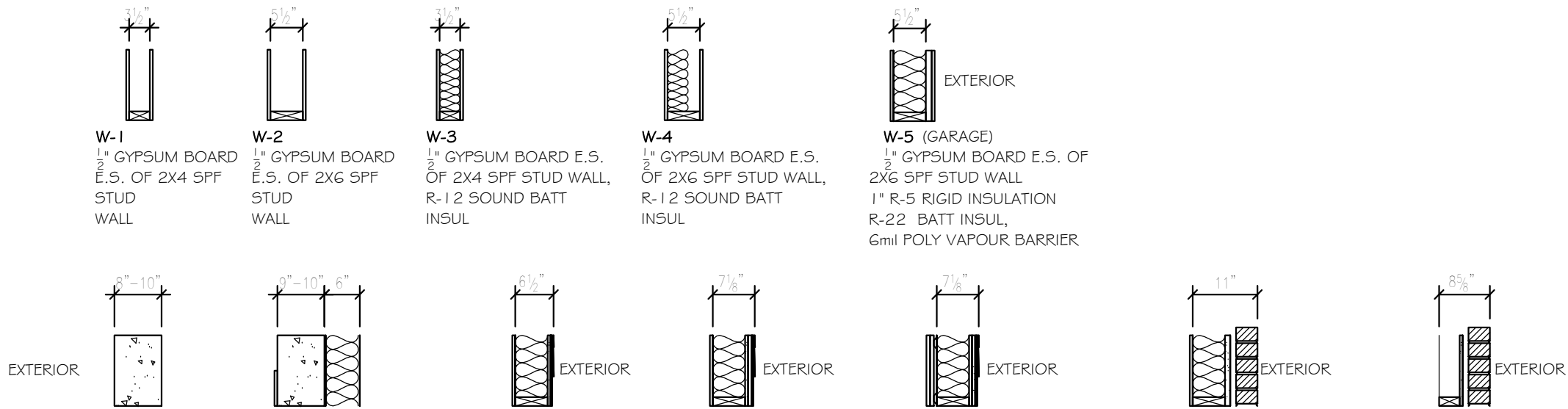
SCALE: 1/2" = 1'-0"

REV:

P:_Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt

PROJECT NO: Summit View, Collingwood

A12



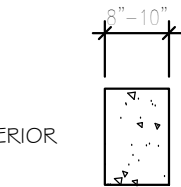
W-1
1/2" GYPSUM BOARD
E.S. OF 2X4 SPF
STUD
WALL

W-2
1/2" GYPSUM BOARD
E.S. OF 2X6 SPF
STUD
WALL

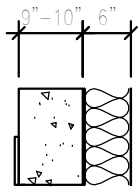
W-3
1/2" GYPSUM BOARD E.S.
OF 2X4 SPF STUD WALL,
R-12 SOUND BATT
INSUL

W-4
1/2" GYPSUM BOARD E.S.
OF 2X6 SPF STUD WALL,
R-12 SOUND BATT
INSUL

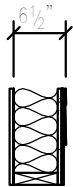
W-5 (GARAGE)
1/2" GYPSUM BOARD E.S. OF
2X6 SPF STUD WALL
1" R-5 RIGID INSULATION
R-22 BATT INSUL,
6mil POLY VAPOUR BARRIER



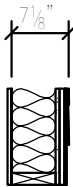
EW-1
20 MPa POURED CONC.
FND.
WALL



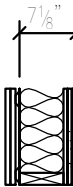
EW-2
DRAINAGE LAYER
BITUMEN DAMPPROOFING
20 MPa POURED CONC.
FND.
WRAP WRAP (REVERSE)
R-20 ROLL BLANKET
INSUL. IN 6mil POLY
VAPOUR
BARRIER



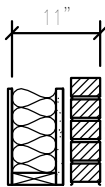
EW-3
VINYL SIDING
TYPAR HOUSE WRAP ALL
JOINTS LAPPED AND TAPED
1" R-5 RIGID INSULATION
2X6 STUD WALL DIAG. BRCD
R-22 BATT INSUL.
6mil POLY VAPOUR BARRIER
1/2" GYPSUM BOARD



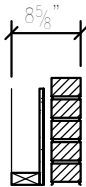
EFR-2 (F.R.)
VINYL SIDING
TYPAR HOUSE WRAP ALL
JOINTS LAPPED AND TAPED
5/8" DENSE GLASS
SHEATHING
1" R-5 RIGID INSULATION
2X6 STUD WALL DIAG. BRCD
R-22 BATT INSUL.
6mil POLY VAPOUR BARRIER
1/2" TYPE 'X' GYPSUM BOARD



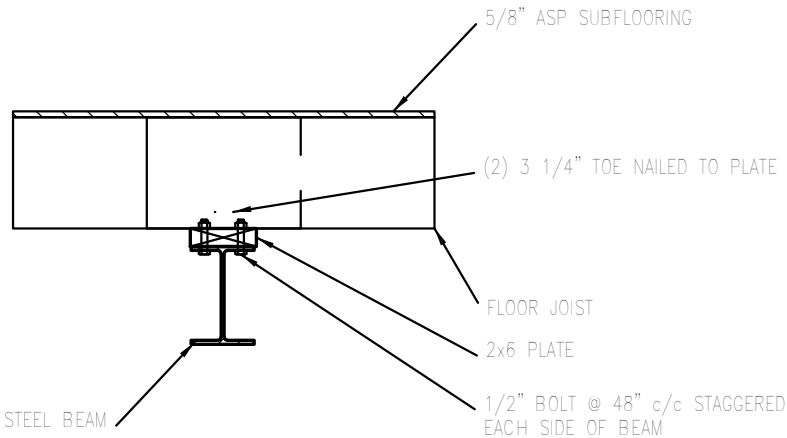
EW-4 (STC 53)
VINYL SIDING
TYPAR HOUSE WRAP ALL
JOINTS LAPPED AND TAPED
1/2" EXT. GYPSUM SHEATHING
1" R-5 RIGID INSULATION
2X6 STUD WALL DIAG. BRCD
R-22 BATT INSUL.
6mil POLY VAPOUR BARRIER
1/2" RESILIENT CHANNELS
(2) LAYERS 5/8" GYPSUM BOARD



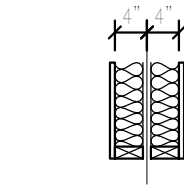
EW-5
MASONRY VENEER
1" AIR SPACE
TYPAR HOUSE WRAP ALL
JOINTS LAPPED AND TAPED
1" R-5 RIGID INSULATION
2X6 STUD WALL DIAG. BRCD
R-22 BATT INSUL.
6mil POLY VAPOUR BARRIER
1/2" GYPSUM BOARD



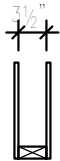
EW-6
MASONRY VENEER
1" AIR SPACE
15# ASPHALT B.P.
7/16" OSB EXT.
SHEATHING
2X4 STUD WALL



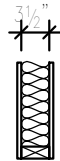
3 Detail Beam Connection
3/4" = 1'-0"



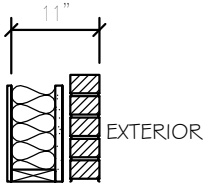
FS-1 (W13c STC 57, 1 HR F.R.R.)
5/8" TYPE 'X' GYPSUM BOARD
2X4 STUD WALL
MINERAL FIBRE BATT INSUL.
1" AIR SPACE
(FIRE STOP AT FLOOR LEVELS)
2X4 STUD WALL (STAGGER STUD)
MINERAL FIBRE BATT INSUL.
5/8" TYPE 'X' GYPSUM BOARD



FS-2 (W1a 1 HR F.R.R.)
5/8" TYPE 'X' GYPSUM
BOARD E.S. OF 2X4
STUD
WALL



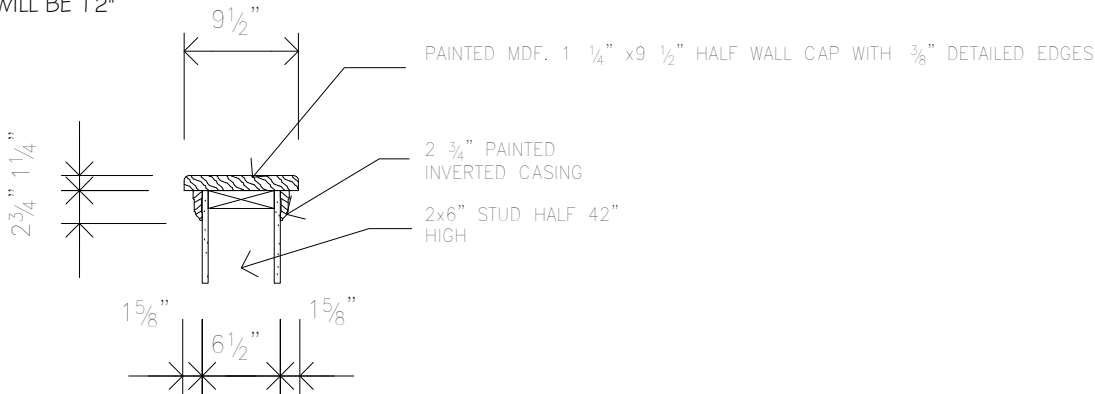
FS-3 (W4a 1 HR F.R.R. STC 51)
5/8" TYPE 'X' GYPSUM BOARD
2X4 STUD WALL @ 16"c/c
3 1/2" R-12 ROXUL MINERAL BATT
RESILIENT METAL CHANNEL @ 16"c/c
(2) LAYERS 5/8" TYPE 'X' GYPSUM
BOARD



EFR-1 (45-60 MIN F.R.R.)
MASONRY VENEER
1" AIR SPACE
TYPAR HOUSE WRAP ALL
JOINTS LAPPED AND TAPED
1" R-5 RIGID INSULATION
2X6 STUD WALL DIAG. BRACED
R-22 BATT INSUL.
6mil POLY VAPOUR BARRIER
1/2" TYPE 'X' GYPSUM BOARD (45MIN F.R.R.)
OR 5/8" TYPE 'X' GYPSUM BOARD (1 HR F.R.R.)

NOTES:

ALL STUD SPACING ARE @ 16" c/c UNLESS OTHERWISE STATED.
WHERE STUD SUPPORT ROOF TRUSSES WITH SPANS GREATER THAN 42'-0", STUD SPACING WILL BE 12" c/c WITH MID HEIGHT BLOCKING.



2 Detail Half Wall
3/4" = 1'-0"

1 Typical Wall Assemblies
1/2" = 1'-0"

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Number	Date	Description		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg	CHK. BY:	DRAWING NO:
				<div>DRAWING :</div> <div>Details</div> <div>Devonleigh Homes</div>		2019-01-30 10:25:20 AM	SCALE: As indicated	A13
						CAD FILE: P:_Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt		
						PROJECT NO: Summit View, Collingwood		REV:

GENERAL NOTES:

1. THE BUILDING SHALL BE SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
2. GARAGE SLAB TO BE 4" THICK 32MPa POURED CONCRETE w/ 5-8% AIR, ON 6" GRANULAR FILL COMPACTED IN LIFTS. 1"-3" POSITIVE SLOPE TO DOOR OPENING.
3. WEEPING TILE TO BE 4" BIG 'O' c/w SOCK AND 6" OF 3/4" STONE COVER MIN.
4. BRICK VENEER TO BE MAX SIZE CANADA BRICK WITH METAL TIES AT 15 3/4" VERTICAL AND 31 1/2" HORIZONTAL OR 23 5/8" VERTICAL AND 15 3/4" HORIZONTAL. WEEP HOLES SHALL BE PROVIDED AT 2'-7" C/C AT BOTTOM OF CAVITY WALLS AND ABOVE LINTELS.FLASHING BENEATH WEEP HOLES IN BRICK VENEER OVER WOOD FRAMED WALLS SHALL EXTEND 3/16" BEYOND THE OUTER FACE OF THE BUILDING AND 5 7/8" UP THE WOOD FRAME.
5. INSTALL WALL GIRTS WHEN WALL HEIGHT EXCEEDS 9'-10"
6. DRYWALL SCREWS MAX 11 3/4" c/c FOR CEILINGS, 15 3/4" c/c ON WALLS WITH STUDS 16"c/c
7. EXTERIOR CONCRETE TO HAVE 32MPa COMPRESSIVE STRENGTH w/ MAX 4" SLUMP.
8. WINDOW AND DOOR HEAD HEIGHTS TO BE 82 1/2" UNLESS OTHERWISE STATED. TRANSOM WINDOWS SET ABOVE 82 1/2"
9. DOOR WIDTH RSO TO BE 2" LARGER THAN NOTED DOOR SIZE
10. LIGHT OUTLETS SHALL BE CONTROLLED BY A WALL SWITCH IN KITCHENS, BEDROOMS, LIVING ROOMS, UTILITY ROOMS, LAUNDRY ROOMS, DINING ROOMS, BATH ROOMS, WATER CLOSET ROOMS, VESTIBULES AND HALLWAYS. A SWITCH TO RECEPTACLE CONTROLLED BY A WALL SWITCH CAN BE USED IN BEDROOMS AND LIVING ROOMS. BASEMENTS LIGHT OUTLETS SHALL BE PROVIDED FOR EACH 323 SQ.FT. OF FLOOR AREA
11. PROVIDE BLOCKING FOR NEWEL POST AT WALL 42" HIGH, CORNER SHOWER STALLS 38" FROM CORNERS.

BASEMENT NOTES:

12. INTERIOR PERIMETER OF CONCRETE FOUNDATION WALLS TO HAVE FULL HEIGHT R-20 BLANKET INSULATION W/ SUPER 6MIL POLY VAPOUR BARRIER AND TYPAR BUILDING WRAP.
13. INTERIOR LINTELS TO BE (2) 2X6" #2 SPF UNLESS OTHERWISE NOTED REFER TO SCHEDULES.
14. ROUGH-IN FUTURE (3) THREE PIECE BATH WHERE (IF) SHOWN.
15. ALL FOOTINGS ARE 6" X 20" UNLESS OTHERWISE NOTED. 15MPA POURED CONCRETE ON UNDISTURBED SOIL OR ENGINEERED STRUCTURAL FILL. STEP FOOTINGS ON SAND BASE AND SIZE 15 3/4" X 24"
16. FOUNDATION WALLS TO BE 8" THICK, UNLESS OTHERWISE NOTED, WITH 20MPA POURED CONCRETE COMPRESSIVE STRENGTH.
17. ANCHOR BOLTS TO BE INSTALLED AT 72" C/C MAX
18. 4" DIA. STEEL TELEPOSTS TO BE USED WHERE SHOWN, BOLT TO CONCRETE FOOTING AND SUPPORTED STEEL BEAM
19. BACKFILL TO A MAXIMUM HEIGHT OF 6'-11"
20. DAMPPROOF EXTERIOR PERIMETER OF FOUNDATION WALL WITH BITUMEN. TAR SNAP TIES AND AROUND ANY MECHANICAL / PLUMBING PENETRATIONS.
21. DRAINAGE LAYER TO BE SYSTEM PLATON.
22. BASEMENT SLAB TO BE MIN. 3" THICK, 25MPA POURED CONCRETE TROWELED SMOOTH FINISH ON 6" OF 3/4" STONE BASE.
23. IF GARAGE IS EXCAVATED FILL WITH SAND COMPACT TO 98% STANDARD PROCTOR.
24. PROVIDE DIRECT VENTING FROM GAS FURNACE AND HOT WATER HEATER TO EXTERIOR
25. PROVIDE 4" DIA METAL PIPE TO VENT DRYER TO EXTERIOR C/W HOOD AND DAMPER
26. SLOPE BASEMENT FLOOR SLAB TO FLOOR DRAIN
27. GARAGE DOOR POCKET SIZE TO SUIT GRADE FROM TOP OF BRICK LEDGE AND GARAGE DOOR WIDTH.
28. PROVIDE 6" SLEEVE FOR SEPTIC SYSTEM PIPE 6" BELOW FINISHED GRADE WHERE APPLICABLE
29. PROVIDE 6" SLEEVE FOR WATERLINE AND HYDRO ENTRY
30. SUMP PIT AND PUMP, PROVIDE DUPLEX RECEPTACLE WITHIN 24" TO POWER PUMP.
31. SMOKE ALARMS C/W STROBE, SHALL BE HARDWIRED AND INTERCONNECTED AND SHALL BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE THAT CAN CONTINUE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN THE NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM.
32. HOT WATER PIPES THAT ARE VERTICALLY CONNECTED TO A HOT WATER STORAGE TANK SHALL HAVE HEAT TRAPS ON BOTH INLET AND OUTLET PIPING AS CLOSE AS PRACTICAL TO THE TANK, EXCEPT WHERE THE TANK,(A) HAS AN INTEGRAL HEAT TRAP, OR (B) SERVES A RECIRCULATING SYSTEM. THE FIRST 2.5 M OF HOT WATER OUTLET PIPING OF A HOT WATER STORAGE TANK SERVING A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.62. THE INLET PIPE OF A HOT WATER STORAGE TANK BETWEEN THE HEAT TRAP AND THE TANK SERVING A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.62.
33. WHERE A SUPPLY DUCT IS LOCATED IN A CONDITIONED SPACE, THE DUCTWORK SHALL BE SEALED TO A CLASS C SEAL LEVEL IN ACCORDANCE WITH THE SMACNA, "HVAC DUCT CONSTRUCTION STANDARDS – METAL AND FLEXIBLE".

FIRST FLOOR NOTES:

34. PRE-HUNG INSULATED STEEL SKIN DOOR C/W SELF-CLOSER, WEATHERSTRIP AND ALUMINUM THRESHOLD FROM GARAGE TO HOUSE
35. PROVIDE SMOKE-TIGHT JOINTS BETWEEN HOUSE AND GARAGE C/W R-22 F.F. BATT INSULATION AND 1" R-5 RIGID INSUL. SUPER 6MIL POLY VAPOUR BARRIER. CAULK AROUND ALL OPENINGS AND PENETRATIONS BETWEEN GARAGE AND HOUSE.
36. ALL INTERIOR LINTELS ARE (2) 2X6" #2 SPF UNLESS OTHERWISE NOTED REFER TO SCHEDULE.
37. REFER TO LINTEL SCHEDULES FOR EXTERIOR LINTELS.
38. GARAGE DOOR LINTEL TO BE (2) 2X12" WITH 7/16" OSB UNLESS OTHERWISE NOTED
39. PORCH SLAB TO BE 5" 32MPA POURED CONCRETE W/ 5-8% AIR. POSITIVE DRAINAGE, BROOM FINISH WITH TOOLED EDGES.
40. WIRE ROD AND SHELF IN ALL CLOSETS
41. DECORATIVE POSTS (8" OR 10") ON TOP OF BRICK PILLARS AS SHOWN ON THE ELEVATIONS.
42. INTERIOR WALLS TO BE 2X4" #2 SPF STUDS @16"C/C (3 1/2" THICK) UNLESS OTHERWISE NOTED (2X6" STUDS - 5 1/2" THICK)
43. USE PRE-ENGINEERED ROOF TRUSSES @24"C/C OR CONVENTIONAL FRAME WITH 2X6" #2SPF RAFTERS AND CEILING JOISTS @16"C/C
44. SUB FLOOR TO BE 5/8" T&G OSB AND IS TO BE GLUED AND SCREWED.
45. ALL STAIRS TO HAVE A MAX. RISE OF 7 7/8" AND A MIN. RUN OF 8 1/4" WITH 1" NOSING. MIN HEAD CLEARANCE OF 6'-5". HANDRAILS AND GUARD RAILS CONSTRUCTED IN ACCORDANCE WITH THE SUPPLEMENTARY GUIDELINES SG-7 OF THE ONTARIO BUILDING CODE.
46. AIR / VAPOUR BARRIER TO BE LAPPED 4" AND SEALED. ELECTRICAL BOXES TO BE SELF SEALING PVC AND SEALED TO VAPOUR BARRIER
47. WHERE PORCH IS UNEXCAVATED PROVIDE 6" COMPACTED GRANULAR DIRECTLY BELOW SLAB. WHERE PORCH IS OVER COLD ROOM PROVIDE 10M BARS @8" C/C EACH DIRECTION WITH 1 1/4" COVER FROM THE BOTTOM. MIN. 3" BEARING ON TOP OF FOUNDATION WALL ALL SIDES AND ANCHORED TO WALL WITH 10M DOWELS 24"x24" @24" C/C, UNLESS NOTED OTHERWISE.
48. 22X34" PRE-HUNG R-20 INSUL STEEL ATTIC ACCESS HATCH C/W WEATHER STRIP.
49. PRE-HUNG INSULATED STEEL SKIN DOOR C/W WEATHER STRIP AND ALUMN. THRESHOLD
50. SEALED TRIPLE SOLARBAN 60 LOW E GLAZING IN VINYL FRAMES OPERATION AND MUNTIN BARS WHERE SHOWN ON DRAWINGS.
51. ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR.
52. MECHANICAL AND PLUMBING SPECIFICATIONS, LOCATIONS, AND MATERIALS BY MECHANICAL AND PLUMBING CONTRACTORS.
53. THE PROGRAMMABLE THERMOSTATIC CONTROL DEVICE SHALL,(A) ALLOW THE SETTING OF DIFFERENT AIR TEMPERATURES FOR AT LEAST, (I) FOUR TIME PERIODS PER DAY, AND (II) TWO DIFFERENT DAY-TYPES PER WEEK,(B) INCLUDE A MANUAL OVERRIDE, AND (C) ALLOW THE SETTING OF THE AIR TEMPERATURE TO,(I) 13°C OR LOWER IN HEATING MODE, AND (II) 29°C OR HIGHER IN COOLING MODE, WHERE AIRCONDITIONING IS PROVIDED.
54. ADD SOLID BLOCKING FOR FUTURE GRAB BAR AS PER OBC SENTENCE 3.8.3.8.(1).(D) REFER TO DETAIL

STRUCTURAL SPECIFICATIONS:

55. ENSURE MIN 75KPA SOIL BEARING CAPACITY
56. EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL, KEPT FREE OF STANDING WATER AND SHALL BE KEPT FROM FREEZING DURING THE COURSE OF CONSTRUCTION.
57. COMPRESSIVE STRENGTH OF CONCRETE:

A. FOOTINGS SHALL BE 20MPA

B. FOUNDATION WALLS 15MPA CODE MIX

C. INTERIOR FLOOR SLABS 25MPA

D. EXTERIOR SLABS EXPOSED TO WEATHER 32MPA

E. GARAGE FLOOR SLAB 32MPA
58. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-S16.1-M
59. STEEL BEAMS AND LINTELS SHALL HAVE AN MINIMUM 6" END BEARING ON CONCRETE OR MASONRY.
60. WELDING OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W59 AND SHALL BE UNDERTAKEN BY A FABRICATOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W41.
61. SHOP DRAWINGS OF THE ROOF TRUSSES INCLUDING LAYOUT OF THE TRUSSES, BRIDGING, BRACING AND BEARING DETAILS (INCLUDING HOLD-DOWN CLIPS) SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER TO THE PROVINCE OF ONTARIO AND SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
62. ALL LUMBER FOR WOOD TRUSSES SHALL BE KILN DRIED AND WELL SEASONED IN ORDER TO PREVENT POSSIBLE DISTORTION OR DEFORMATION OF THE TRUSS.
63. STRUCTURAL LOADS AND DEFLECTION:

A. FLOORS: DEAD LOAD = 0.70KPA (15PSF) 1/360 MAX DEFLECTION

B. FLOORS: DEAD LOAD = 1.30KPA (27.2PSF) 1/360 MAX DEFLECTION CERAMIC AREAS

C. OTHER AREAS: LIVE LOAD = 1.90KPA (40PSF) 1/360 MAX DEFLECTION

D. PARTITIONS: DEAD LOAD = 1.0KPA (20.8PSF)

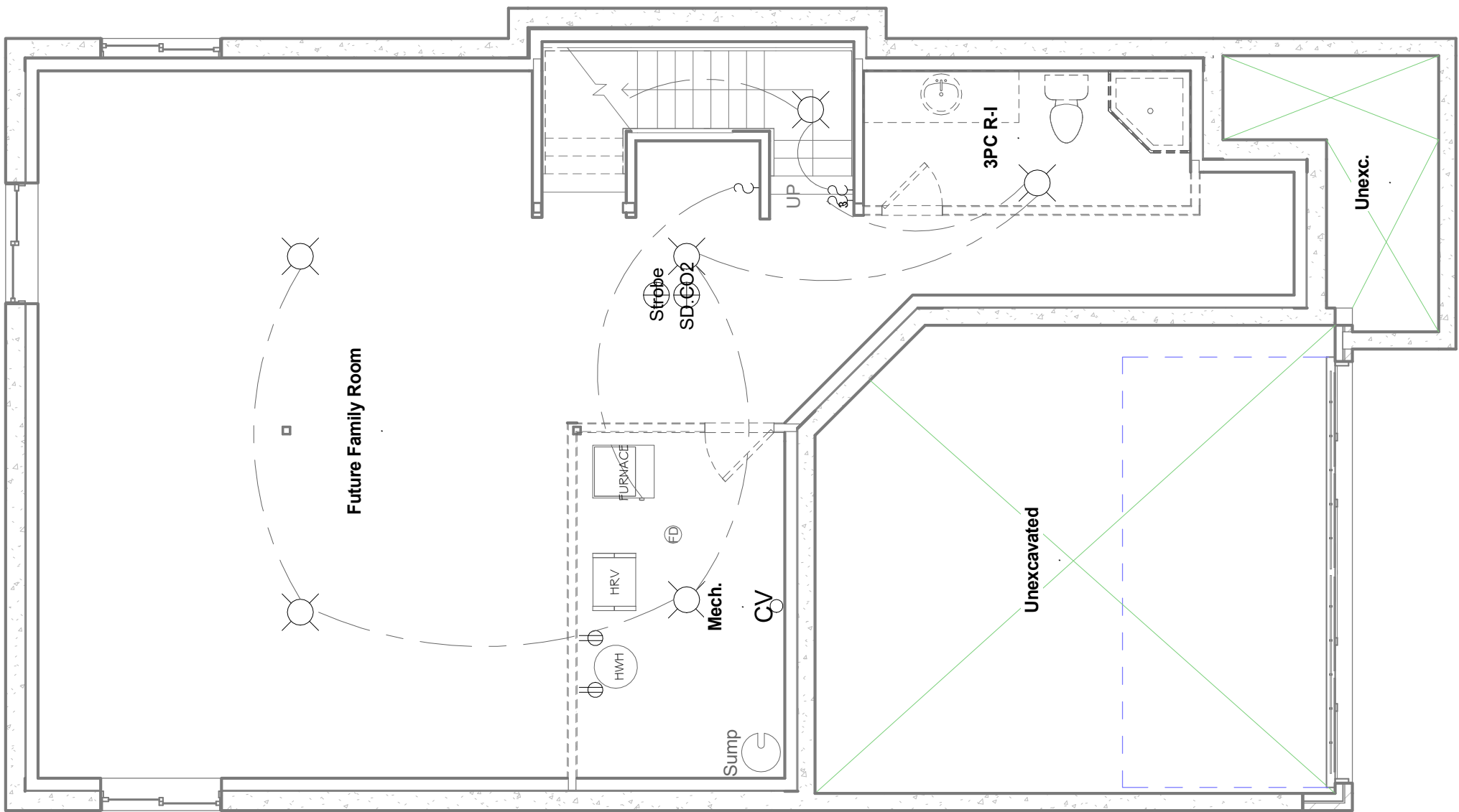
E. ROOF: DEAD LOAD = 0.70KPA (14.6PSF) RAFTER NO CEILING 1/240 MAX. DEFLECTION

F. GROUND SNOW LOAD = 2.80KPA* (58.5PSF) CEILING/SUPPORTING CEILING 1/360MAX

G. RAIN LOAD = 0.40KPA (8.3PSF)

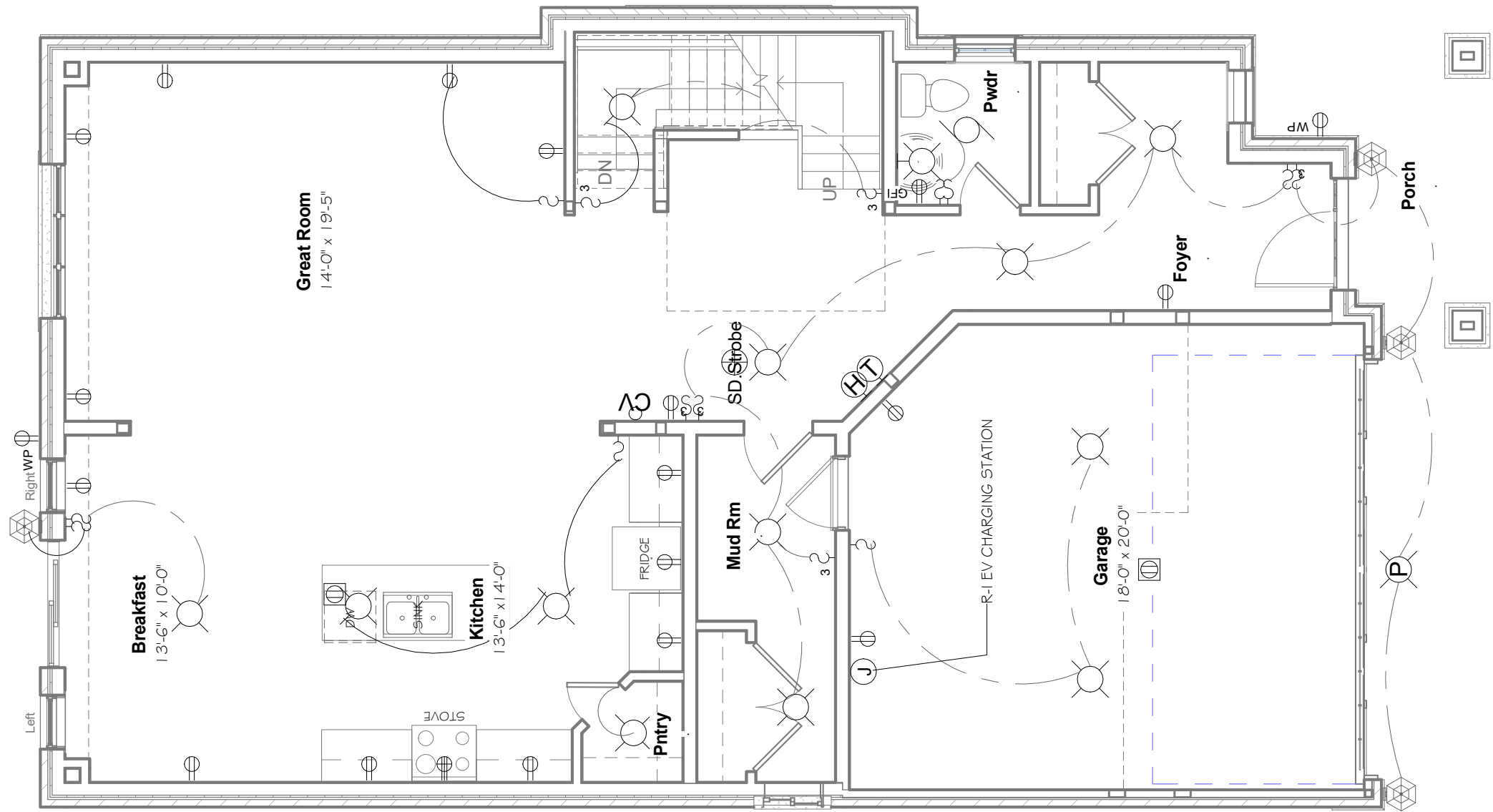
H. * UNFACTORED LIVE GROUND SNOW LOAD AND MAY VARY FROM LOCATION TO LOCATION.
64. ALL WINDOWS SHALL CONFORM TO AAMA/WDMA CSA 101/1.52
65. COLD WEATHER REQUIREMENTS FOR CONCRETE FORMS APPLY WHERE OUTSIDE AIR TEMPERATURE IS BELOW -10 DEG. C. FORMS TO REMAIN IN PLACE FOR 72HRS.
66. ALL EXTERIOR FOOTINGS SHALL BE PLACED MINIMUM 48" BELOW ADJACENT GRADE UNLESS OTHERWISE NOTED ON PLANS.
67. PROVIDE BLOCKING IN MAIN BATHROOM WALL FRAMING FOR FUTURE GRAB BAR INSTALLATION
68. KITCHEN HOOD VENT SHALL DIRECTLY VENT TO EXTERIOR WITH NON-COMBUSTIBLE DUCTWORK.
69. OPTIONAL GAS FIREPLACE SHALL VENT TO EXTERIOR WITH NON-COMBUSTIBLE DUCTWORK.
70. ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH OBC SECTION 9.34. AND APPROVED BY EPA.

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :	
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton I B Left	
				Orangeville, Ontario www.devonleighbhomes.com		Lot 105 (42) Plewes Drive	
				Designer :		DRN. BY: rgg	
				BCIN : 20823 Rodney G. Greer		CHK. BY:	
				DRAWING :		2019-01-30 10:25:22 AM	
Notes		P:_Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt		SCALE:		DRAWING NO:	
Devonleigh Homes		CAD FILE:		PROJECT NO: Summit View, Collingwood			A14
				REV:			



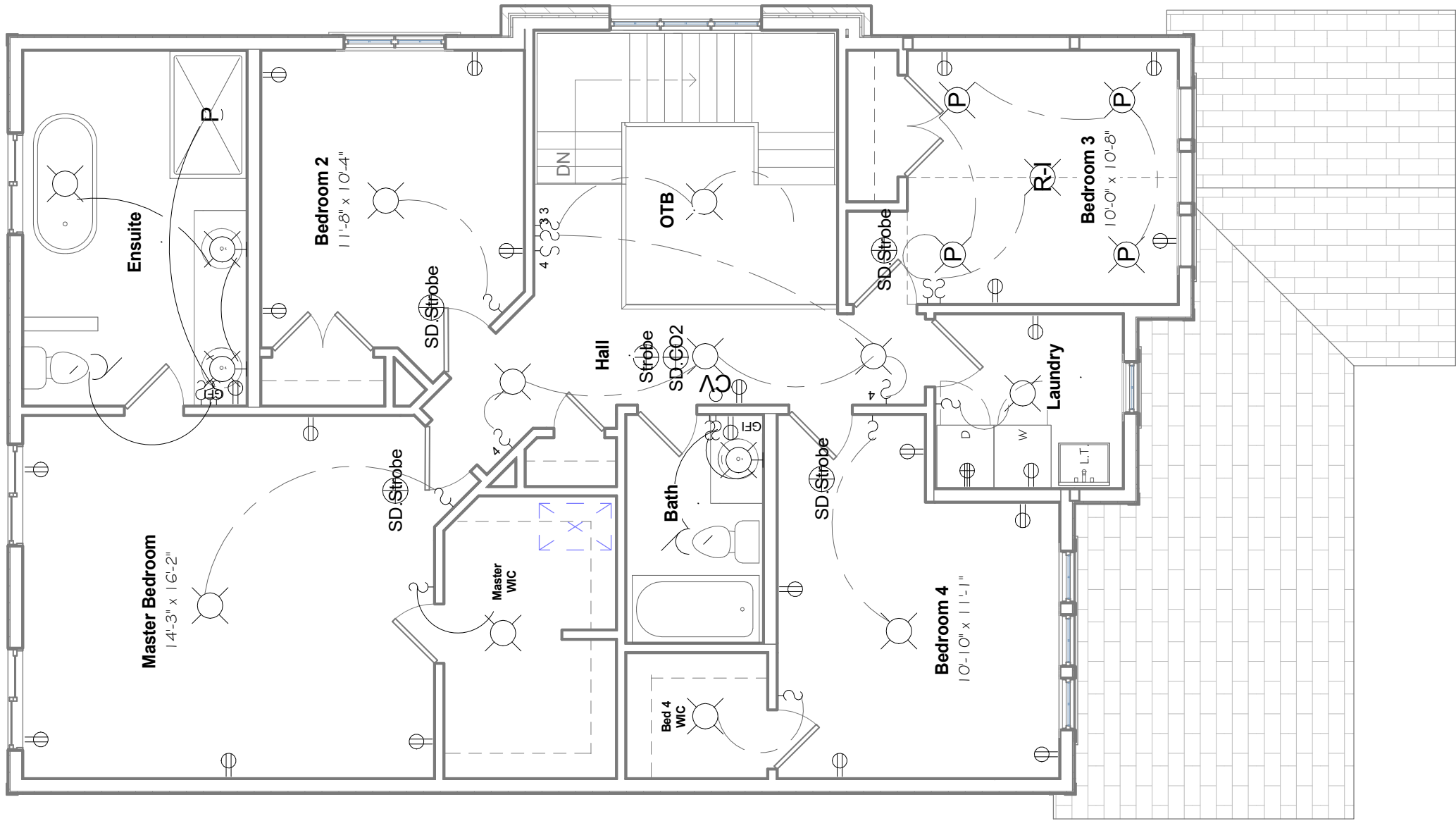
1 Basement Electrical
3/16" = 1'-0"

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Number	Date	Description		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg	CHK. BY:	DRAWING NO:
				<div>DRAWING :</div> <div>Basement Electrical Plan</div> <div>Devonleigh Homes</div>		2019-01-30 10:25:25 AM	SCALE: 3/16" = 1'-0"	E0
						CAD FILE: P:_Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt		
						PROJECT NO: Summit View, Collingwood		REV:



1 Ground Floor Electrical
3/16" = 1'-0"

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :	
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton I B Left	
				Orangeville, Ontario www.devonleighthomes.com		Lot 105 (42) Plewes Drive	
				Designer :		DRN. BY: rgg	
				BCIN : 20823 Rodney G. Greer		CHK. BY:	
DRAWING :		2019-01-30 10:25:27 AM		DRAWING NO:			
Ground Floor Electrical		SCALE: 3/16" = 1'-0"		E1			
Devonleigh Homes		CAD FILE: P:_Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt					
		PROJECT NO: Summit View, Collingwood		REV:			



1 Second Floor Electrical
3/16" = 1'-0"

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :	
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton I B Left	
				Orangeville, Ontario www.devonleighbhomes.com		Lot 105 (42) Plewes Drive	
				Designer :			
				BCIN : 20823 Rodney G. Greer			
DRAWING :		DRN. BY: rgg		CHK. BY:		DRAWING NO: E2	
Second Floor Electrical		2019-01-30 10:25:29 AM		SCALE: 3/16" = 1'-0"			
Devonleigh Homes		CAD FILE: P:_Collingwood - Summit View\105 Plewes Drive\Lot 105 Plewes Drive Craftsman Middleton I B Left.rvt					
		PROJECT NO: Summit View, Collingwood		REV:			



1 Aurora B Perspective
12" = 1'-0"

Project Design Conditions			
SB-12 Prescriptive Path	Table 3.1.1.2.A	Package A6	
Zone	1		
Heating Equipment	>= 92% AFUE		
Fuel	Gas		
Building Specifications			
Building Component	R Values	Building Component	Efficiency Ratings
Ceiling w/Attic	60	Windows/Sliding Glass Doors	ER 25 U 1.6
Ceiling without Attic	31	Skylights	2.8
Exposed Floor	31		
Walls Above Grade	22+5CI	Space Heating	92%
Basement Walls	20 CI	HRV Eff.	65%
Slab (All > 600mm Below Grade)	NA	DHW Eff.	0.8
Slab (Edge only <=600mm Below Grade)	10	Drain water heat recovery unit (connected to 2 showers/tubs)	1
Slab (All <= 600mm Below Grade Heated)	10		

2 Energy Efficiency Design Summary
6" = 1'-0"

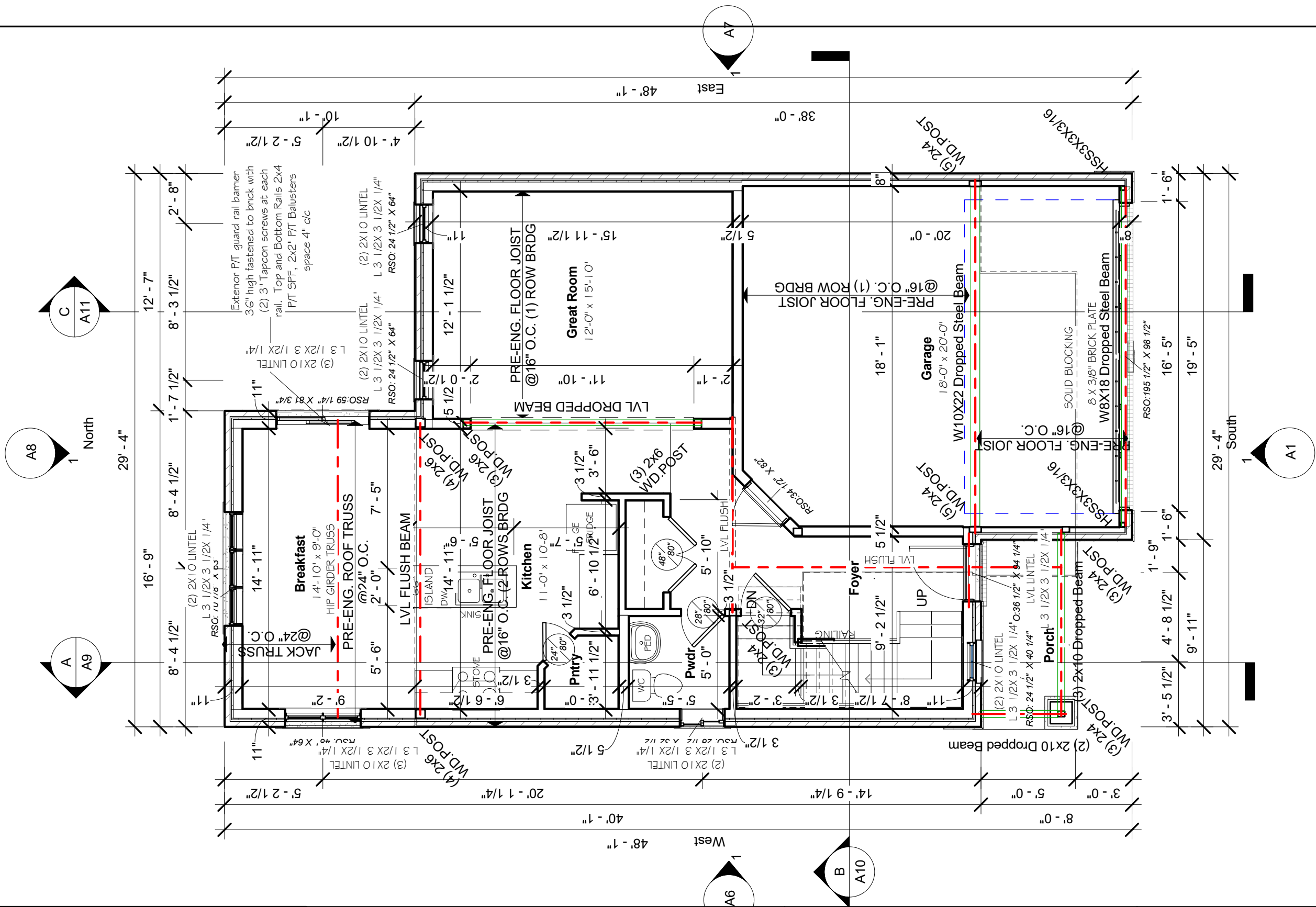
Craftsman Aurora A			
Wall to Glass Ratio			
Location	Wall Area	Glass Area	Ratio
North	577.7	80.4	13.9%
East	948.0	33.8	3.6%
South	577.7	66.7	11.5%
West	948.0	64.0	6.8%
Total	3051.4	244.9	8.0%

4 Wall to Glass Ratio
12" = 1'-0"

Sheet List	
Sheet No:	Sheet Name
A0	Title Sheet
A1	Front Elevation
A2	Basement Plan
A3	Ground Floor Plan
A4	Second Floor Plan
A5	Roof Framing
A6	Left Elevation
A7	Right Elevation
A8	Rear Elevation
A9	Building Sections
A10	Building Sections
A11	Building Sections
A12	Details
A13	Details
A14	Notes
E0	Basement Electrical Plan
E1	Ground Floor Electrical
E2	Second Floor Electrical

Area Schedule (Gross Building)	
Level	Area
Ground Floor	814 SF
Second Floor	899 SF
Grand total: 2	1713 SF

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :		
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Aurora B Right Lot 104 (44) Plewes Drive		
				Orangeville, Ontario www.devonleighbhomes.com				
				Designer :				
				BCIN : 20823 Rodney G. Greer				
			DRAWING :		DRN. BY: rgg		CHK. BY:	DRAWING NO: <div>A0</div>
			Title Sheet Devonleigh Homes		2019-02-08 11:35:19 AM		SCALE: As indicated	
					CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt			
					PROJECT NO: Summit View, Collingwood		REV:	



Revision Schedule

Number	Date	Description
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3. Work to dimensions shown - DO NOT SCALE.
4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.

Devonleigh Homes Inc (519) 942-3311
P.O. Box 70 Fax: (519) 942-9892
Orangeville, Ontario www.devonleighbhomes.com

Designer :

BCIN : 20823 Rodney G. Greer

DRAWING :

Ground Floor Plan
Devonleigh Homes

PROJECT :

Craftsman Aurora B Right
Lot 104 (44) Plewes Drive

DRN. BY: rgg

CHK. BY:

DRAWING NO:

2019-02-08 11:35:28 AM

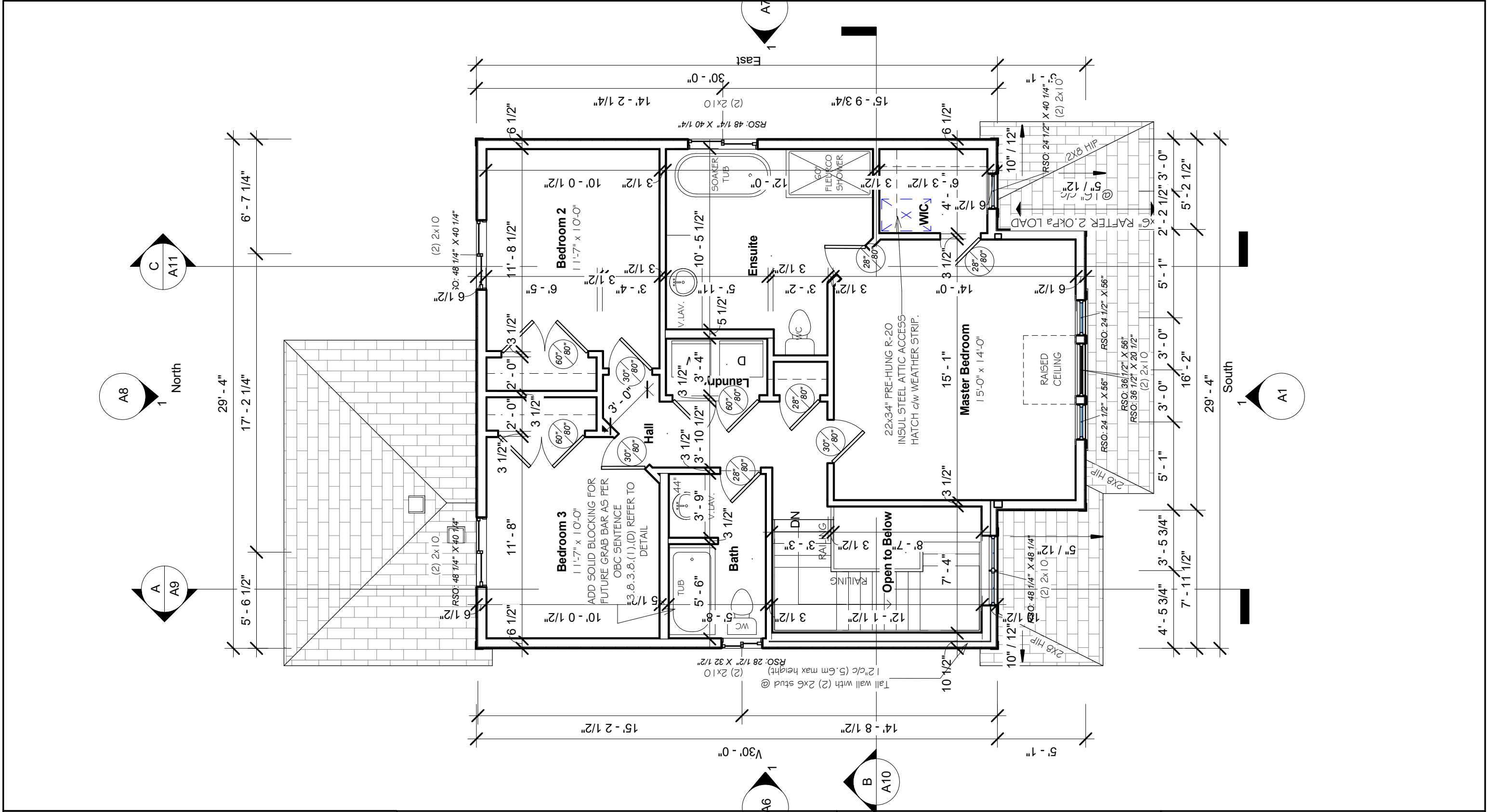
SCALE: 3/16" = 1'-0"

CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt

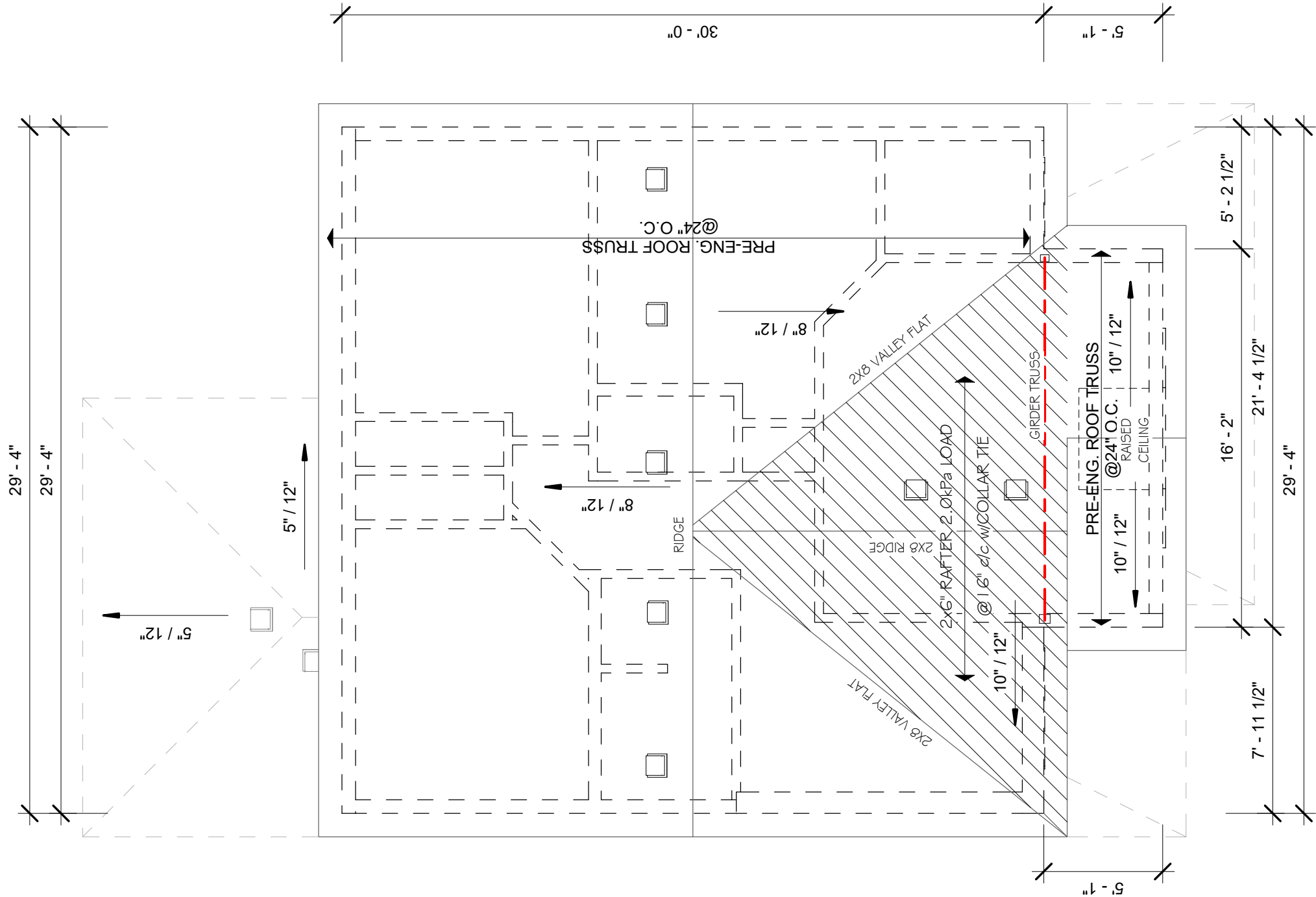
PROJECT NO: Summit View, Collingwood

REV:

A3

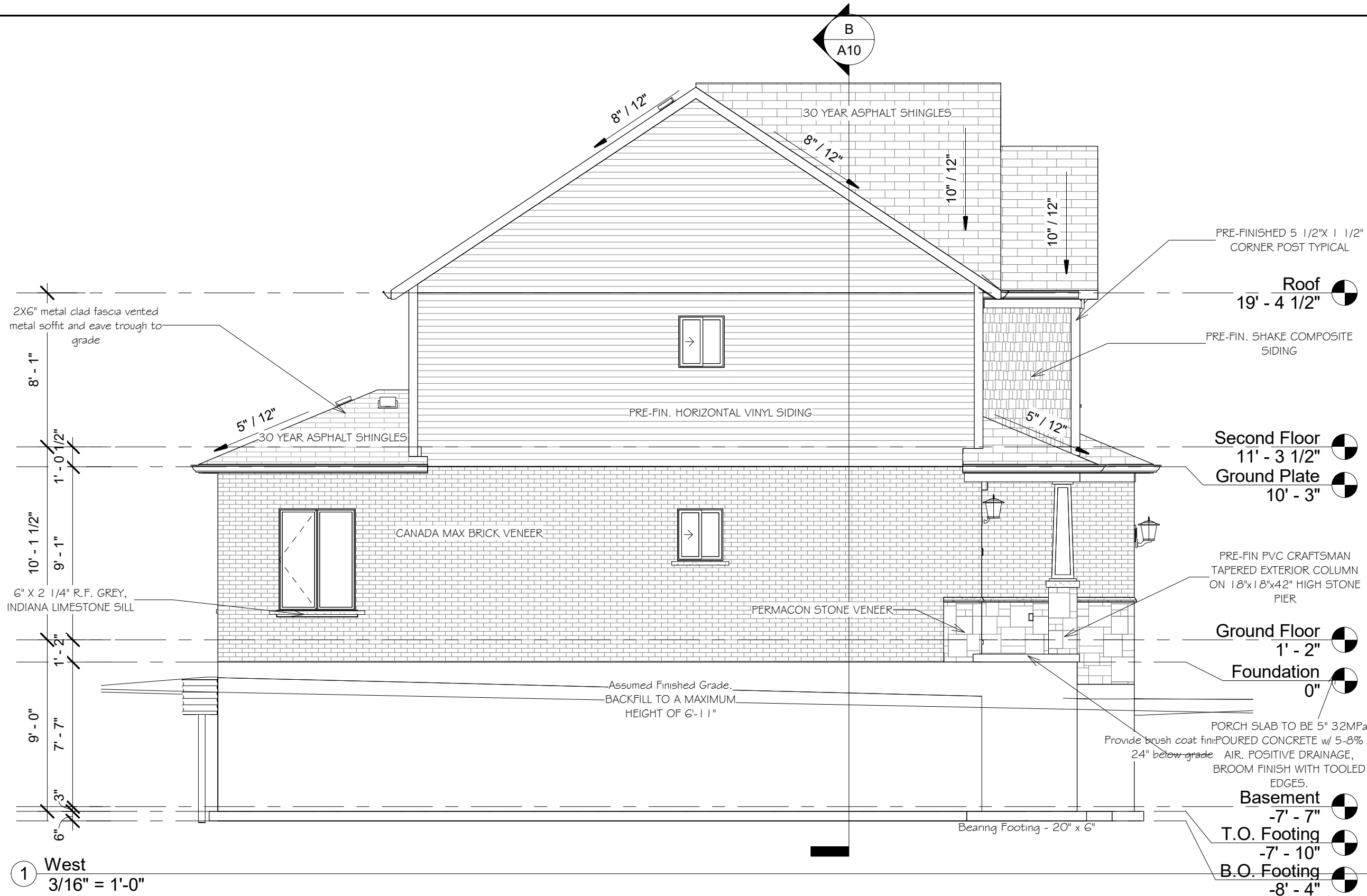


Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>		<div>Devonleigh Homes Inc (519) 942-3311</div> <div>P.O. Box 70 Fax: (519) 942-9892</div> <div>Orangeville, Ontario www.devonleighbhomes.com</div>		PROJECT : Craftsman Aurora B Right Lot 104 (44) Plewes Drive			
Number	Date	Description			Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg		CHK. BY:	DRAWING NO:
					<div>DRAWING :</div> <div>Second Floor Plan</div> <div>Devonleigh Homes</div>		2019-02-08 11:35:30 AM		SCALE: 3/16" = 1'-0"	A4
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					PROJECT NO: Summit View, Collingwood		REV:			

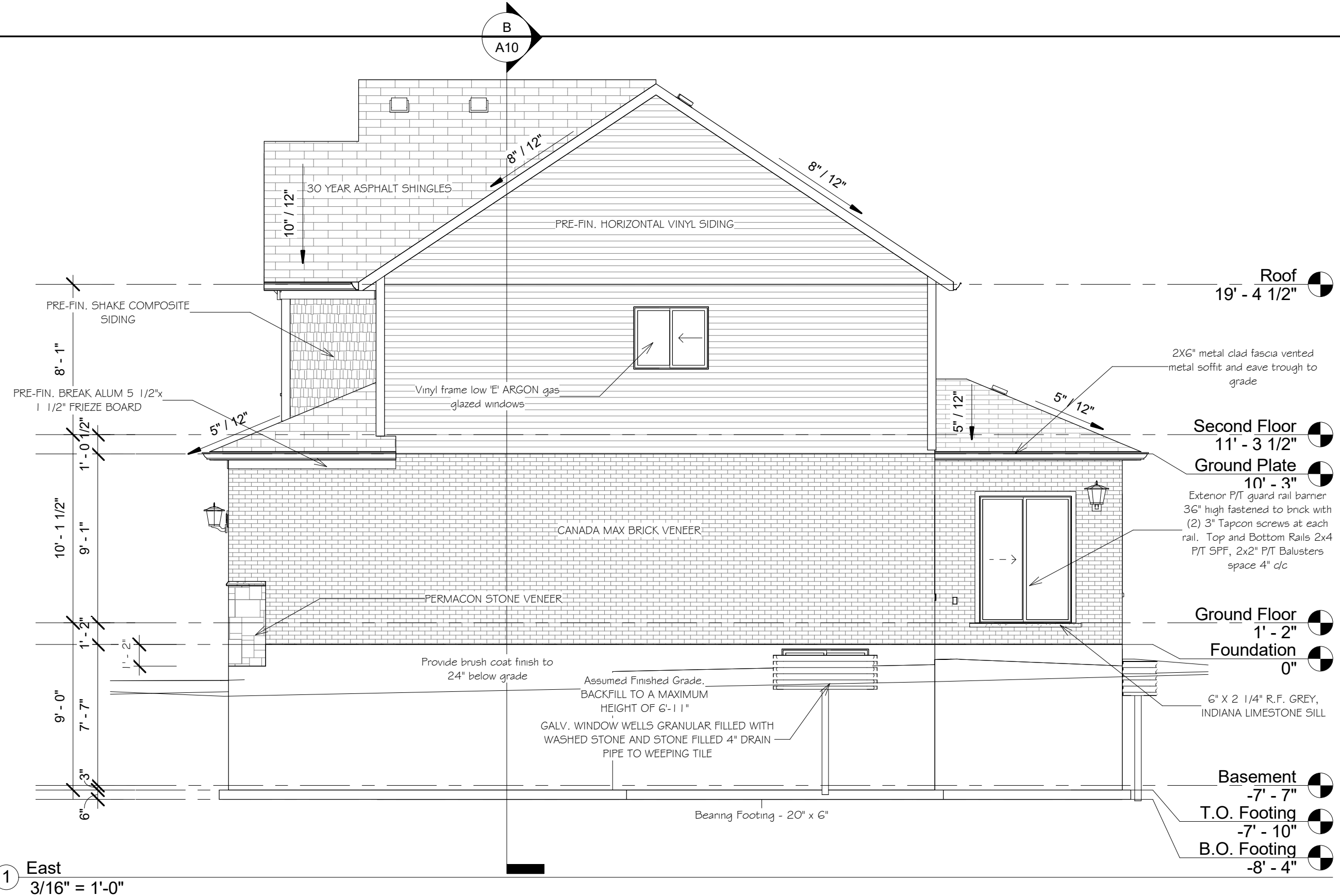


1 Roof Framing
3/16" = 1'-0"

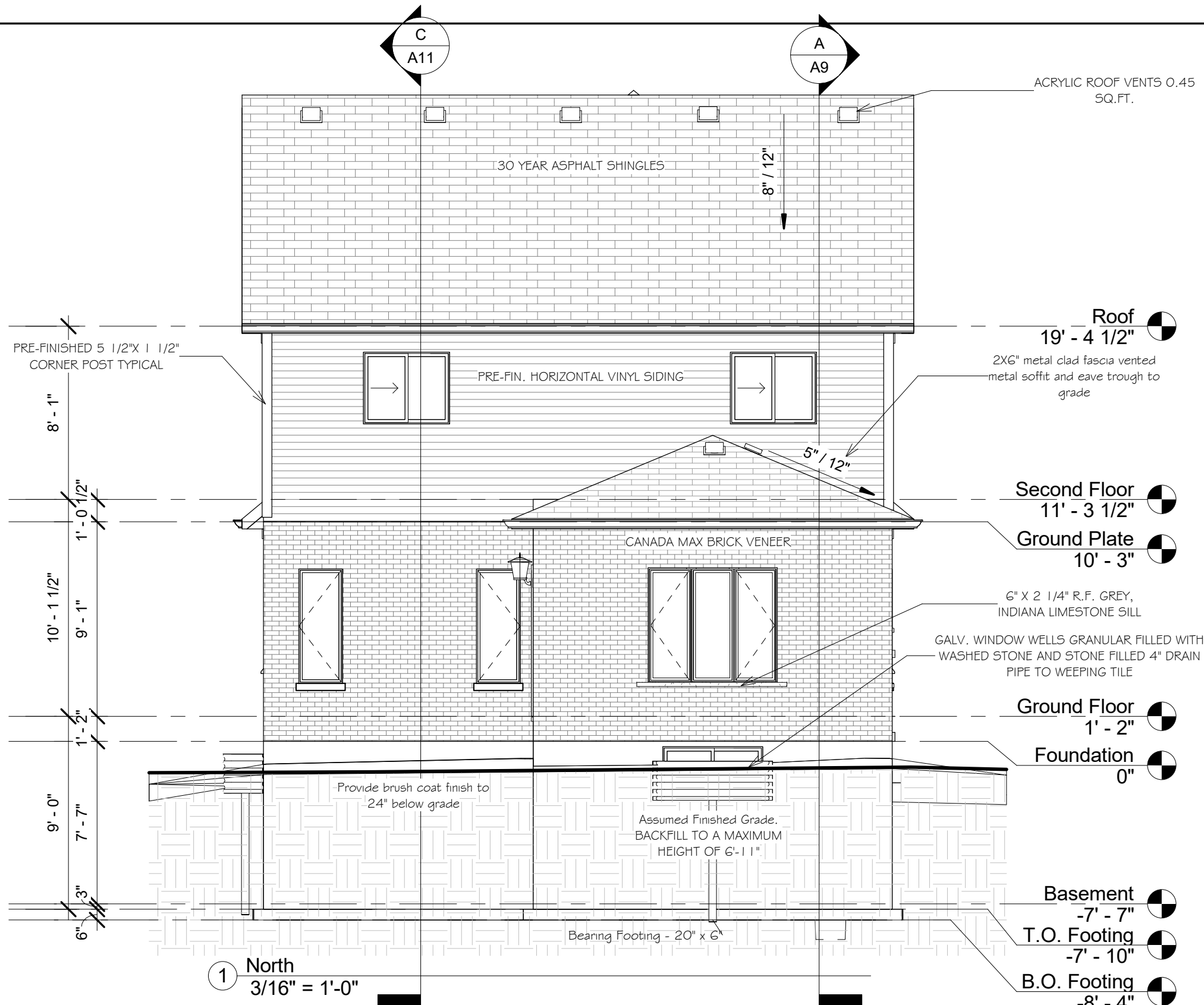
			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Orangeville, Ontario www.devonleighthomes.com		PROJECT : Craftsman Aurora B Right Lot 104 (44) Plewes Drive			
Number	Date	Description	1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg		CHK. BY:	DRAWING NO:
			2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.				2019-02-08 11:35:33 AM		SCALE: 3/16" = 1'-0"	A5
			3. Work to dimensions shown - DO NOT SCALE.		DRAWING : Roof Framing Devonleigh Homes		CAD FILE: P:_Collingswood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt			
			4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.				PROJECT NO: Summit View, Collingwood		REV:	



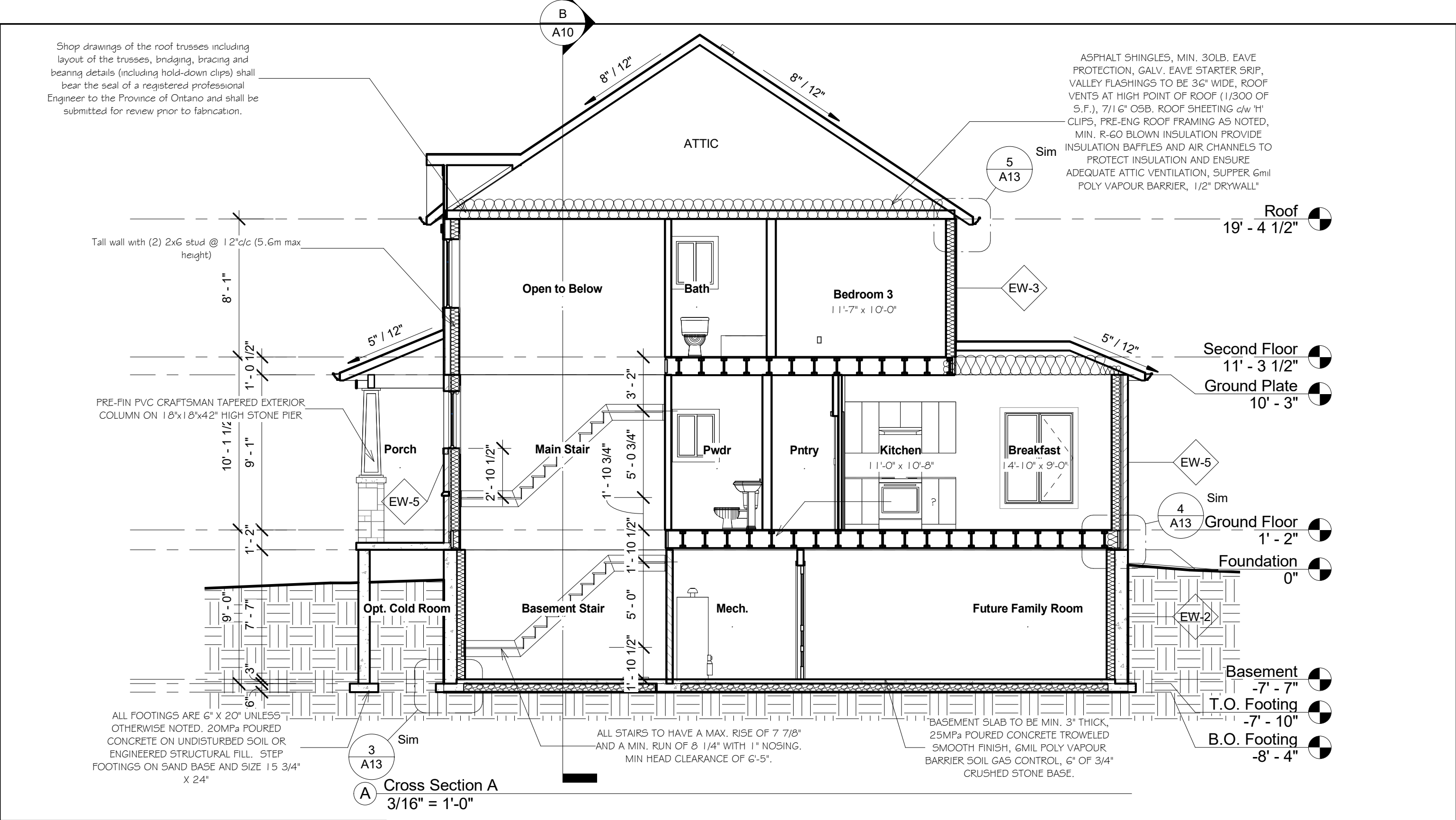
			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighbhomes.com		PROJECT : Craftsman Aurora B Right Lot 104 (44) Plewes Drive			
Number	Date	Description	1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg		CHK. BY:	DRAWING NO:
			2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.				2019-02-08 11:35:35 AM		SCALE: 3/16" = 1'-0"	A6
			3. Work to dimensions shown - DO NOT SCALE.		DRAWING : Left Elevation Devonleigh Homes		CAD FILE: P:_Collingswood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt			
			4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.				PROJECT NO: Summit View, Collingwood		REV:	



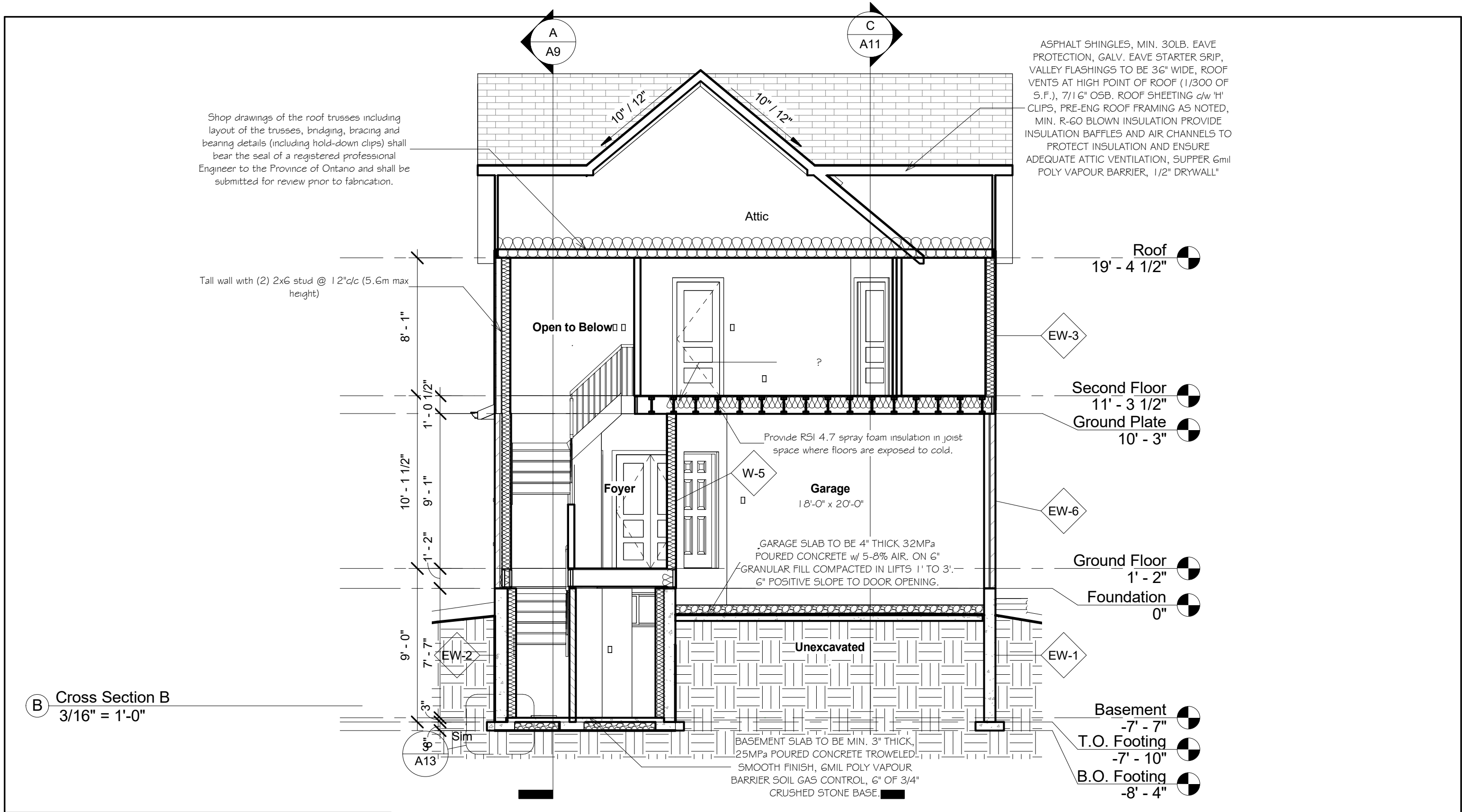
			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighbhomes.com		PROJECT : Craftsman Aurora B Right Lot 104 (44) Plewes Drive			
Number	Date	Description	1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission. 2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work. 3. Work to dimensions shown - DO NOT SCALE. 4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg		CHK. BY:	DRAWING NO:
		DRAWING : Right Elevation Devonleigh Homes			2019-02-08 11:35:38 AM		SCALE: 3/16" = 1'-0"		A7	
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					PROJECT NO: Summit View, Collingwood		REV:			



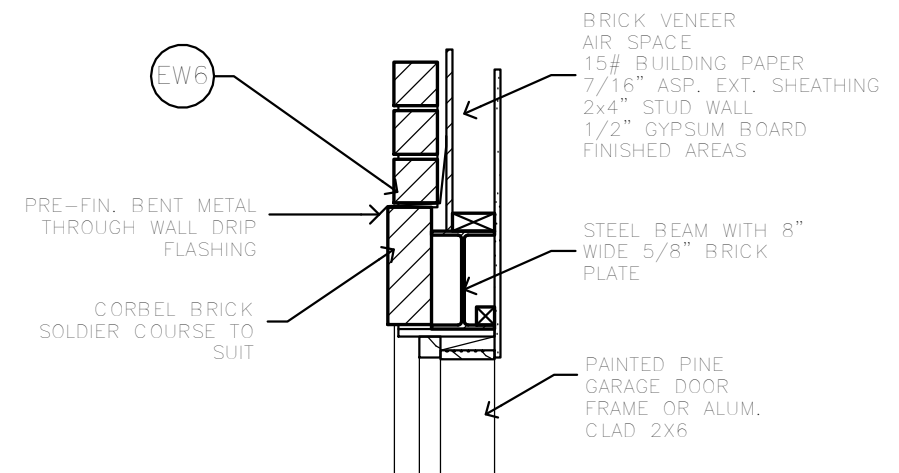
			<p>GENERAL NOTES :</p> <p>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</p> <p>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</p> <p>3. Work to dimensions shown - DO NOT SCALE.</p> <p>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</p>	<p>Devonleigh Homes Inc (519) 942-3311</p> <p>P.O. Box 70 Fax: (519) 942-9892</p> <p>Orangeville, Ontario www.devonleighhomes.com</p>		<p>PROJECT :</p> <p>Craftsman Aurora B Right</p> <p>Lot 104 (44) Plewes Drive</p>			
<p>Number</p>	<p>Date</p>	<p>Description</p>		<p>Designer :</p> <p>BCIN : 20823 Rodney G. Greer</p>		<p>DRN. BY: rgg</p>		<p>CHK. BY:</p>	<p>DRAWING NO:</p> <p>A8</p>
				<p>DRAWING :</p> <p>Rear Elevation</p> <p>Devonleigh Homes</p>		<p>2019-02-08 11:35:40 AM</p>		<p>SCALE: 3/16" = 1'-0"</p>	
						<p>CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt</p>			
						<p>PROJECT NO: Summit View, Collingwood</p>		<p>REV:</p>	



			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighbhomes.com		PROJECT : Craftsman Aurora B Right Lot 104 (44) Plewes Drive				
Number	Date	Description	1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission. 2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work. 3. Work to dimensions shown - DO NOT SCALE. 4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		Designer :		DRN. BY: rgg		CHK. BY:	DRAWING NO: A9	
					BCIN : 20823 Rodney G. Greer_____		2019-02-08 11:35:43 AM				
					DRAWING : Building Sections Devonleigh Homes		CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt				
							SCALE: 3/16" = 1'-0"		REV:		
							PROJECT NO: Summit View, Collingwood				



			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311		PROJECT:			
			1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.		P.O. Box 70 Fax: (519) 942-9892		Craftsman Aurora B Right			
			2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.		Orangeville, Ontario www.devonleighhomes.com		Lot 104 (44) Plewes Drive			
			3. Work to dimensions shown - DO NOT SCALE.		Designer :		DRN. BY: rgg		CHK. BY:	DRAWING NO:
			4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		BCIN : 20823 Rodney G. Greer_____		2019-02-08 11:35:45 AM		SCALE: 3/16" = 1'-0"	A10
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					Building Sections Devonleigh Homes		PROJECT NO: Summit View, Collingwood		REV:	



3 Detail Garage Lintel

$3/4" = 1'-0"$

The diagram shows a cross-section of a garage lintel. A steel beam is positioned at the bottom, supporting a floor joist. The floor joist is a 2x6 plate, which is nailed to a 5/8" ASP subflooring. The connection is secured with two 3 1/4" toe nails on each side of the beam, and a 1/2" bolt is used to connect the steel beam to the floor joist. The bolt is staggered 48" center-to-center on each side of the beam.

Labels in the diagram include:

- 5/8" ASP SUBFLOORING
- (2) 3 1/4" TOE NAILED TO PLATE
- FLOOR JOIST
- 2x6 PLATE
- 1/2" BOLT @ 48" c/c STAGGERED EACH SIDE OF BEAM
- STEEL BEAM

2 Detail Beam Connection

$3/4" = 1'-0"$

1/2"

PAINTED MDF. 1 1/4" x 9 1/2" HALF WALL CAP WITH 3/8" DETAILED EDGES

2 3/4" PAINTED INVERTED CASING

2x6" STUD HALF 42" HIGH

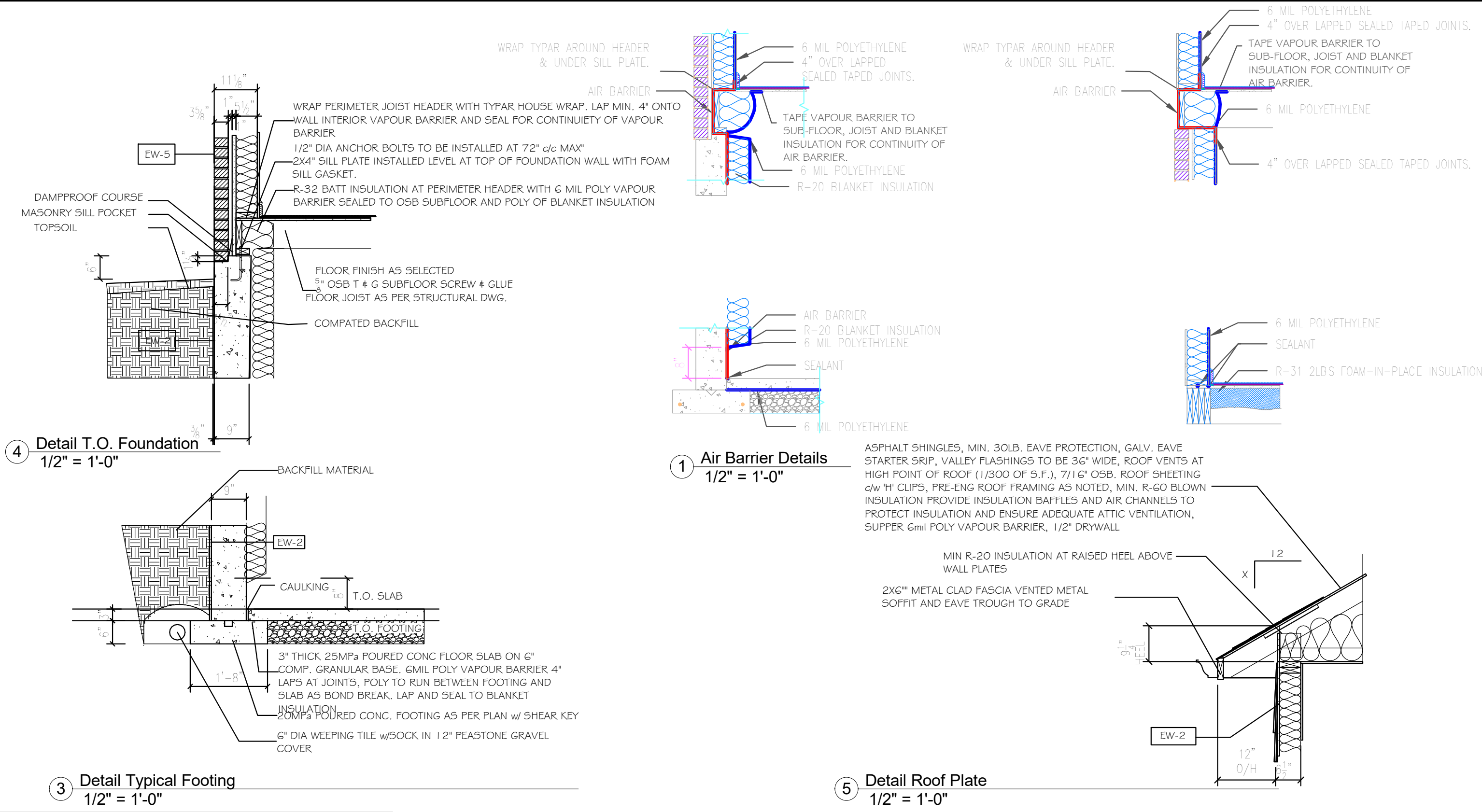
15/8"

1/2"

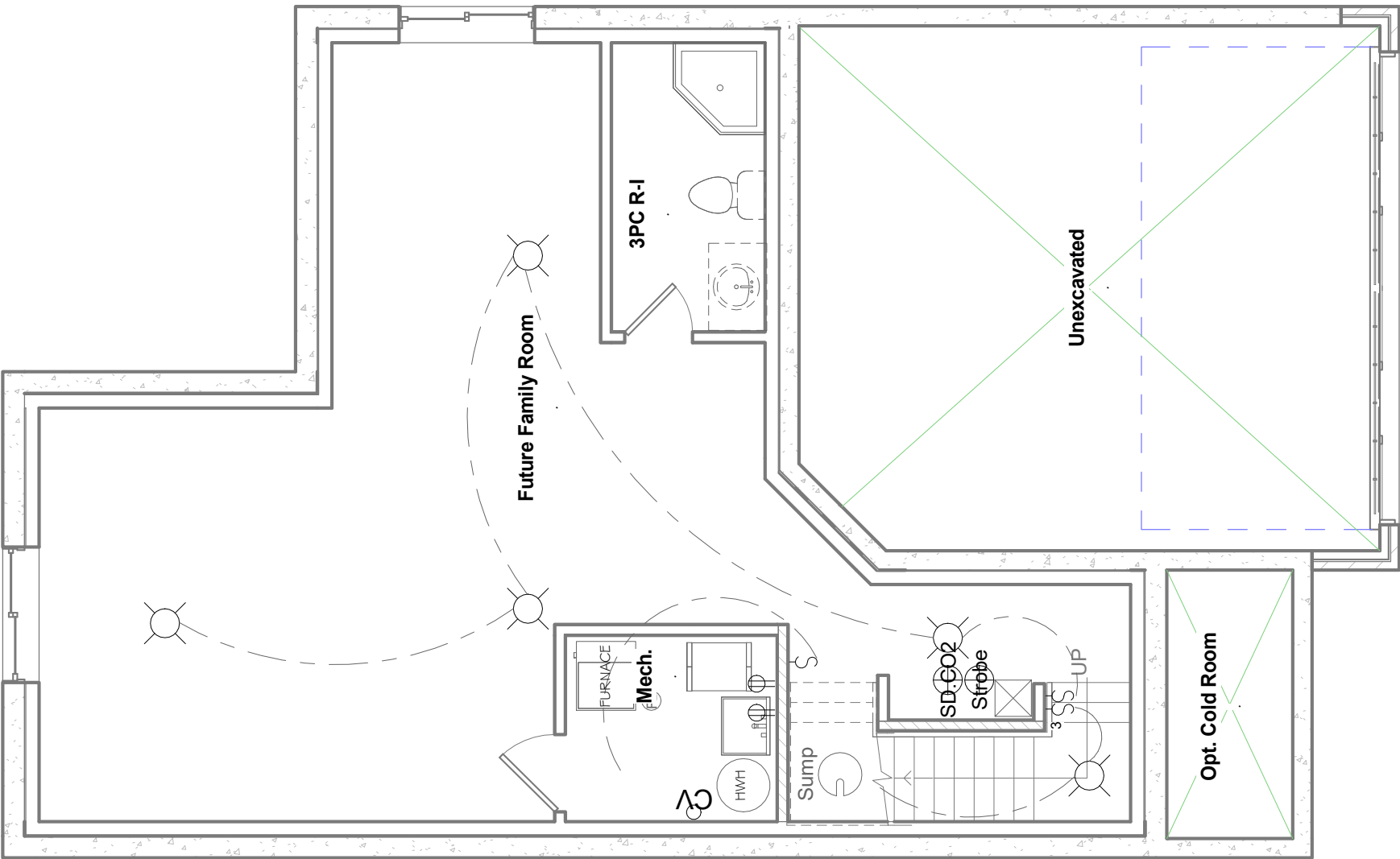
<div style="border: 1px solid black; border-radius: 50%; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; margin: 0 auto 10px auto;">1</div> <div style="margin-left: 10px;"> <p>Detail Half Wall</p> <p>3/4" = 1'-0"</p> </div>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="3" style="padding: 5px;"> <div style="display: flex; justify-content: space-between;"> <div> <p>Devonleighbuilding</p> <p>h Homes Inc (519) 942-3311</p> <p>70 Fax: (519) 942-9892</p> <p>le, Ontario www.devonleighbuilding.com</p> </div> <div style="text-align: center;"> <p>PROJECT:</p> <p>Craftsman Aurora B Right</p> <p>Lot 104 (44) Plewes Drive</p> </div> </div> </td> </tr> <tr> <td style="width: 33%; padding: 5px; vertical-align: top;"> <p>23 Rodney G. Greer</p> </td> <td style="width: 33%; padding: 5px; vertical-align: top;"> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px 5px;">DRN. BY: rgg</td> <td style="padding: 2px 5px;">CHK. BY:</td> </tr> <tr> <td style="padding: 2px 5px;">2019-02-08 11:35:50 AM</td> <td style="padding: 2px 5px;">SCALE: As indicated</td> </tr> <tr> <td colspan="2" style="padding: 2px 5px;"> CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt </td> </tr> <tr> <td colspan="2" style="padding: 2px 5px;">PROJECT NO: Summit View, Collingwood</td> </tr> </table> </td> <td style="width: 33%; padding: 5px; vertical-align: top;"> <p>DRAWING NO:</p> <div style="font-size: 48px; font-weight: bold; text-align: center; margin: 10px 0;">A12</div> <p>REV:</p> </td> </tr> </table>	<div style="display: flex; justify-content: space-between;"> <div> <p>Devonleighbuilding</p> <p>h Homes Inc (519) 942-3311</p> <p>70 Fax: (519) 942-9892</p> <p>le, Ontario www.devonleighbuilding.com</p> </div> <div style="text-align: center;"> <p>PROJECT:</p> <p>Craftsman Aurora B Right</p> <p>Lot 104 (44) Plewes Drive</p> </div> </div>			<p>23 Rodney G. Greer</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px 5px;">DRN. BY: rgg</td> <td style="padding: 2px 5px;">CHK. BY:</td> </tr> <tr> <td style="padding: 2px 5px;">2019-02-08 11:35:50 AM</td> <td style="padding: 2px 5px;">SCALE: As indicated</td> </tr> <tr> <td colspan="2" style="padding: 2px 5px;"> CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt </td> </tr> <tr> <td colspan="2" style="padding: 2px 5px;">PROJECT NO: Summit View, Collingwood</td> </tr> </table>	DRN. BY: rgg	CHK. BY:	2019-02-08 11:35:50 AM	SCALE: As indicated	CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt		PROJECT NO: Summit View, Collingwood		<p>DRAWING NO:</p> <div style="font-size: 48px; font-weight: bold; text-align: center; margin: 10px 0;">A12</div> <p>REV:</p>
<div style="display: flex; justify-content: space-between;"> <div> <p>Devonleighbuilding</p> <p>h Homes Inc (519) 942-3311</p> <p>70 Fax: (519) 942-9892</p> <p>le, Ontario www.devonleighbuilding.com</p> </div> <div style="text-align: center;"> <p>PROJECT:</p> <p>Craftsman Aurora B Right</p> <p>Lot 104 (44) Plewes Drive</p> </div> </div>															
<p>23 Rodney G. Greer</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="padding: 2px 5px;">DRN. BY: rgg</td> <td style="padding: 2px 5px;">CHK. BY:</td> </tr> <tr> <td style="padding: 2px 5px;">2019-02-08 11:35:50 AM</td> <td style="padding: 2px 5px;">SCALE: As indicated</td> </tr> <tr> <td colspan="2" style="padding: 2px 5px;"> CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt </td> </tr> <tr> <td colspan="2" style="padding: 2px 5px;">PROJECT NO: Summit View, Collingwood</td> </tr> </table>	DRN. BY: rgg	CHK. BY:	2019-02-08 11:35:50 AM	SCALE: As indicated	CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt		PROJECT NO: Summit View, Collingwood		<p>DRAWING NO:</p> <div style="font-size: 48px; font-weight: bold; text-align: center; margin: 10px 0;">A12</div> <p>REV:</p>					
DRN. BY: rgg	CHK. BY:														
2019-02-08 11:35:50 AM	SCALE: As indicated														
CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt															
PROJECT NO: Summit View, Collingwood															

4	<div> <div>Typical Wall Assemblies</div> <div>1/2" = 1'-0"</div> </div>						
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Number	Date	Description					

			GENERAL NOTES : 1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission. 2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work. 3. Work to dimensions shown - DO NOT SCALE. 4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighhomes.com		PROJECT : Craftsman Aurora B Right Lot 104 (44) Plewes Drive	
Number	Date	Description			Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg 2019-02-08 11:35:50 AM CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt PROJECT NO: Summit View, Collingwood	
					DRAWING : Details Devonleigh Homes		CHK. BY: SCALE: As indicated REV:	
							DRAWING NO: A12	

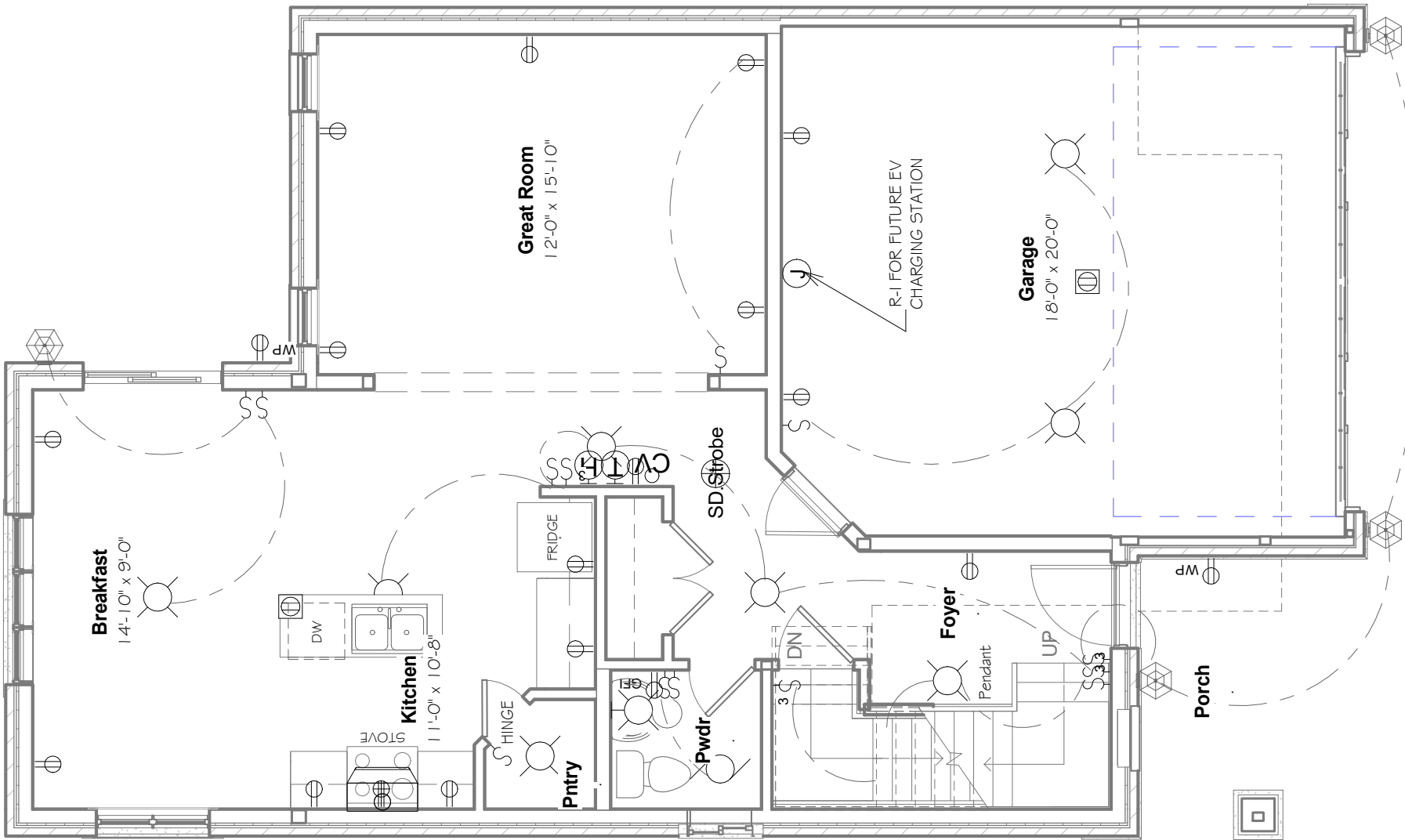


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			2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.		Orangeville, Ontario www.devonleighbhomes.com		Lot 104 (44) Plewes Drive		
			3. Work to dimensions shown - DO NOT SCALE.		Designer :		DRN. BY: rgg	CHK. BY:	DRAWING NO: A13
			4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		BCIN : 20823 Rodney G. Greer_____		2019-02-08 11:35:54 AM	SCALE: 1/2" = 1'-0"	
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							PROJECT NO: Summit View, Collingwood		REV:



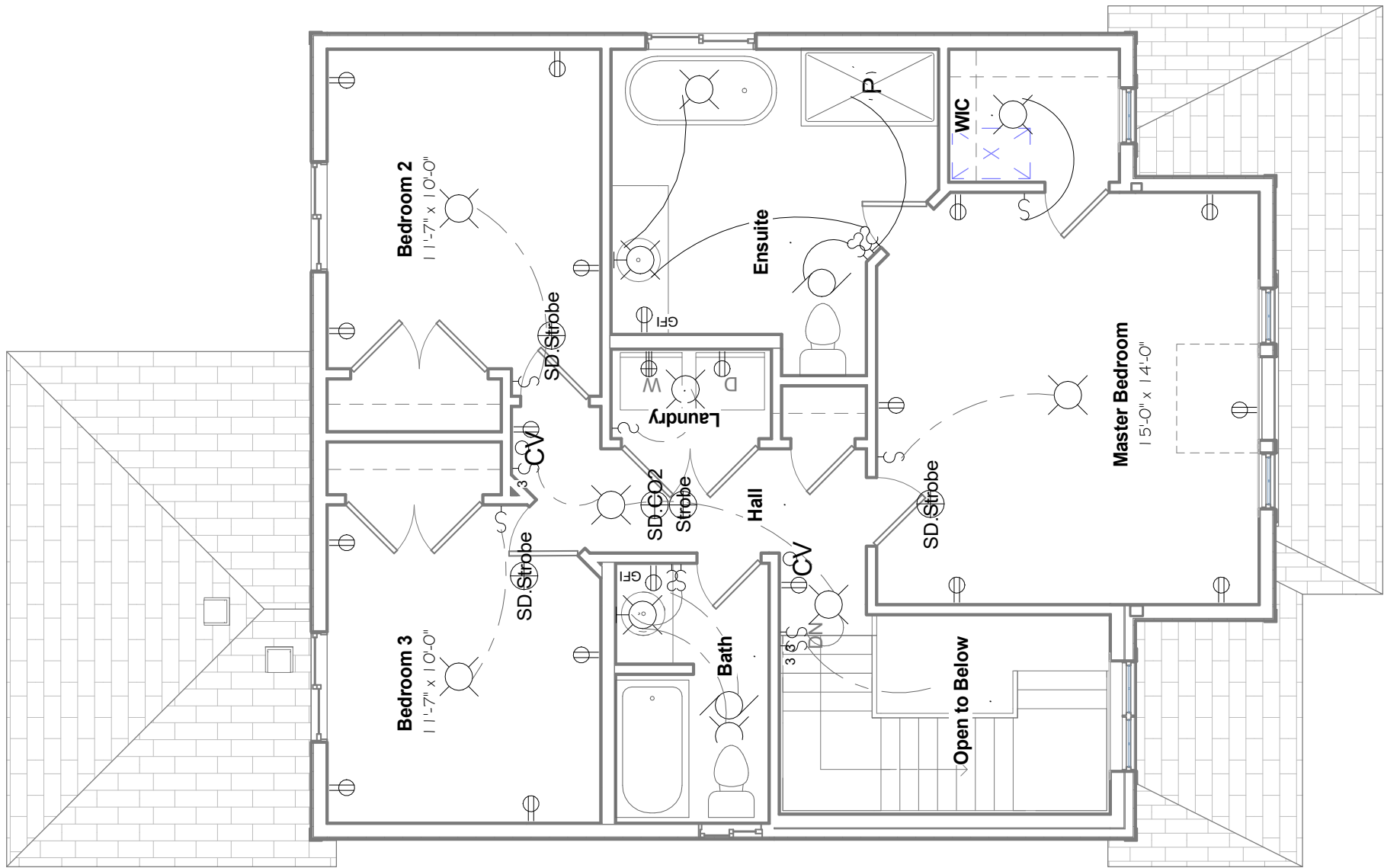
1 Basement Electrical
3/16" = 1'-0"

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			3. Work to dimensions shown - DO NOT SCALE.		Designer :		DRN. BY: rgg		
			4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		BCIN : 20823 Rodney G. Greer_____		CHK. BY:		
					DRAWING :		DRAWING NO:		
					Basement Electrical Plan		E0		
					Devonleigh Homes				
							2019-02-08 11:35:57 AM		
							SCALE: 3/16" = 1'-0"		
							P:_Collingswood - Summit View\104 Plewes Drive\Lot		
							104 Plewes Drive Craftsman Aurora B Right.rvt		
							PROJECT NO: Summit View, Collingwood		
							REV:		



1 Ground Floor Electrical
3/16" = 1'-0"

			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighbhomes.com		PROJECT : Craftsman Aurora B Right Lot 104 (44) Plewes Drive			
Number	Date	Description	1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission. 2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work. 3. Work to dimensions shown - DO NOT SCALE. 4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg		CHK. BY:	DRAWING NO:
		DRAWING : Ground Floor Electrical Devonleigh Homes			2019-02-08 11:36:01 AM		SCALE: 3/16" = 1'-0"		E1	
					CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt					
					PROJECT NO: Summit View, Collingwood		REV:			



1 Second Floor Electrical
3/16" = 1'-0"

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			2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.		Orangeville, Ontario www.devonleighthomes.com		Lot 104 (44) Plewes Drive			
			3. Work to dimensions shown - DO NOT SCALE.		Designer :		DRN. BY: rgg	CHK. BY:	DRAWING NO:	
			4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		BCIN : 20823 Rodney G. Greer_____		2019-02-08 11:36:03 AM	SCALE: 3/16" = 1'-0"	E2	
					DRAWING :		CAD FILE: P:_Collingwood - Summit View\104 Plewes Drive\Lot 104 Plewes Drive Craftsman Aurora B Right.rvt			
					Second Floor Electrical Devonleigh Homes		PROJECT NO: Summit View, Collingwood			
							REV:			



1 Craftsman Bluewater B
12" = 1'-0"

Project Design Conditions			
SB-12 Prescriptive Path	Table 3.1.1.2.A	Package A6	
Zone	1		
Heating Equipment	>= 92% AFUE		
Fuel	Gas		
Building Specifications			
Building Component		Building Component	Efficiency Ratings
Ceiling w/Attic	60	Windows/Sliding Glass Doors	ER 25 U 1.6
Ceiling without Attic	31	Skylights	2.8
Exposed Floor	31		
Walls Above Grade	22+5CI	Space Heating	92%
Basement Walls	20 CI	HRV EFF.	65%
Slab (All > 600mm Below Grade)	NA	DHW EFF.	0.8
Slab (Edge only <=600mm Below Grade)	10	Drain water heat recovery unit (connected to 2 showers/tubs)	1
Slab (All <= 600mm Below Grade Heated)	10		

2 Energy Efficiency Design Summary
6" = 1'-0"

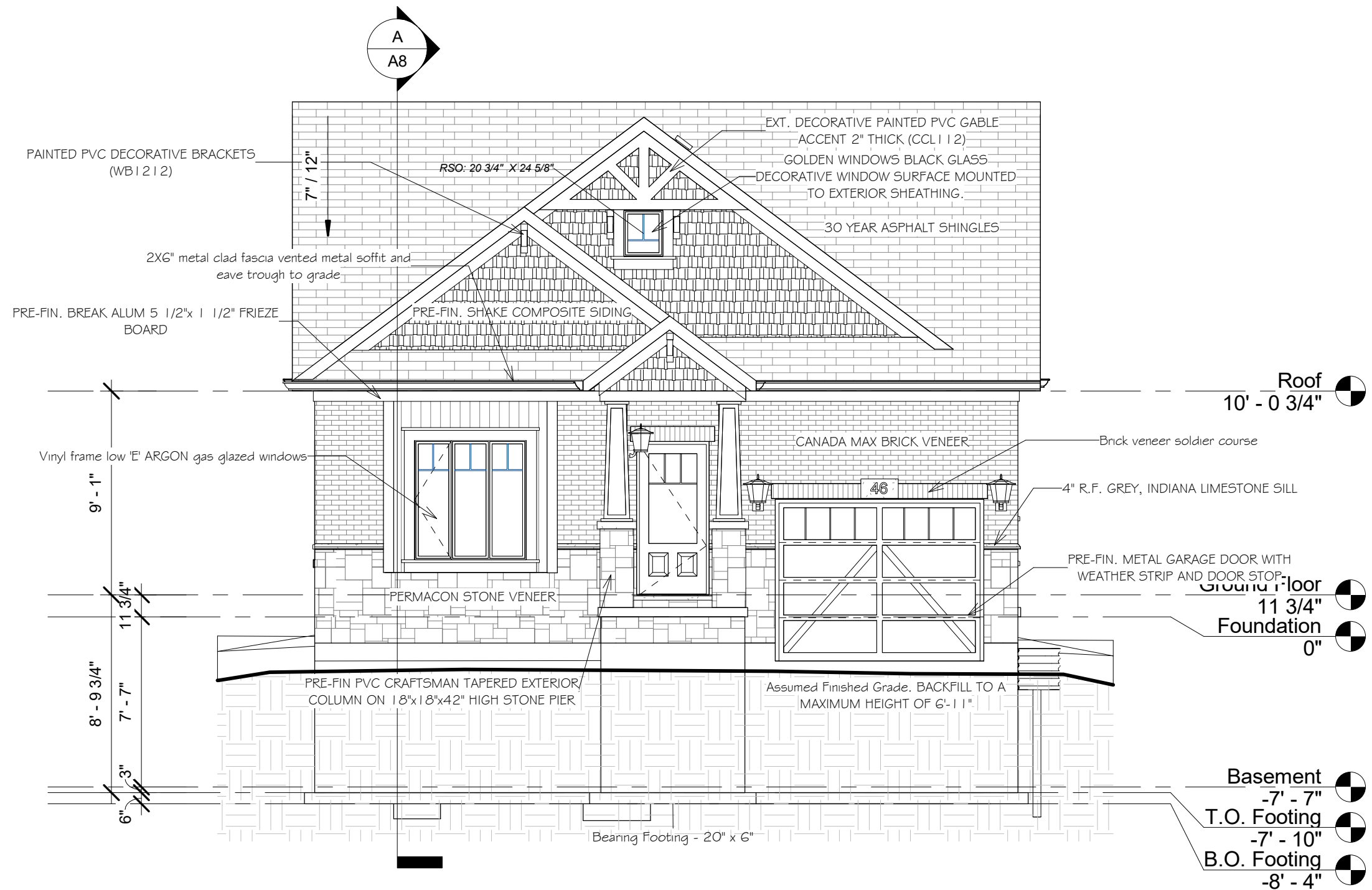
Wall To Glass Ratio			
Location	Wall Area	Glass Area	Ratio
South	347.78	26.45	7.6%
East	608.45	25.2	4.1%
North	346.98	44.76	12.9%
West	623.03	35.89	5.8%
Total	1926.24	132.3	6.9%

4 Wall to Glass Ratio
12" = 1'-0"

Sheet List		
Sheet Number	Sheet Name	Drawn By
A0	Title Sheet	rgg
A1	Front Elevation	rgg
A2	Basement Plan	rgg
A3	First Floor Plan	rgg
A4	Roof Framing	rgg
A5	Left Elevation	rgg
A6	Right Elevation	rgg
A7	Rear Elevation	rgg
A8	Building Sections	rgg
A9	Building Sections	rgg
A10	Details	rgg
A11	Details	rgg
A12	Notes	rgg
E0	Basement Electrical Plan	rgg
E1	Ground Floor Electrical	rgg

Area Schedule (Gross Building)	
Level	Area
Basement	939 SF
Ground Floor	1379 SF
Grand total: 2	2319 SF

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	<div>Devonleigh Homes Inc (519) 942-3311</div> <div>P.O. Box 70 Fax: (519) 942-9892</div> <div>Orangeville, Ontario www.devonleighbhomes.com</div>		<div>PROJECT :</div> <div>Craftsman Bluewater B Right</div> <div>Lot 103 (46) Plewes Drive</div>		
Number	Date	Description		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rggCHK. BY: DRAWING NO:		
				<div>DRAWING :</div> <div>Title Sheet</div> <div>Devonleigh Homes Inc.</div>		2019-01-21 10:10:25 AMSCALE: As indicated		A0
						P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes CAD FILE: Drive Craftsman Bluewater B Right.rvt		
						PROJECT NO: Summit View, Collingwood		



1 South
3/16" = 1'-0"

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Designer:

BCIN : 20823 Rodney G. Greer

DRAWING:

Front Elevation
Devonleigh Homes Inc.

PROJECT:

Craftsman Bluewater B Right
Lot 103 (46) Plewes Drive

DRN. BY: rgg

CHK. BY:

DRAWING NO:

2019-01-21 10:10:28 AM

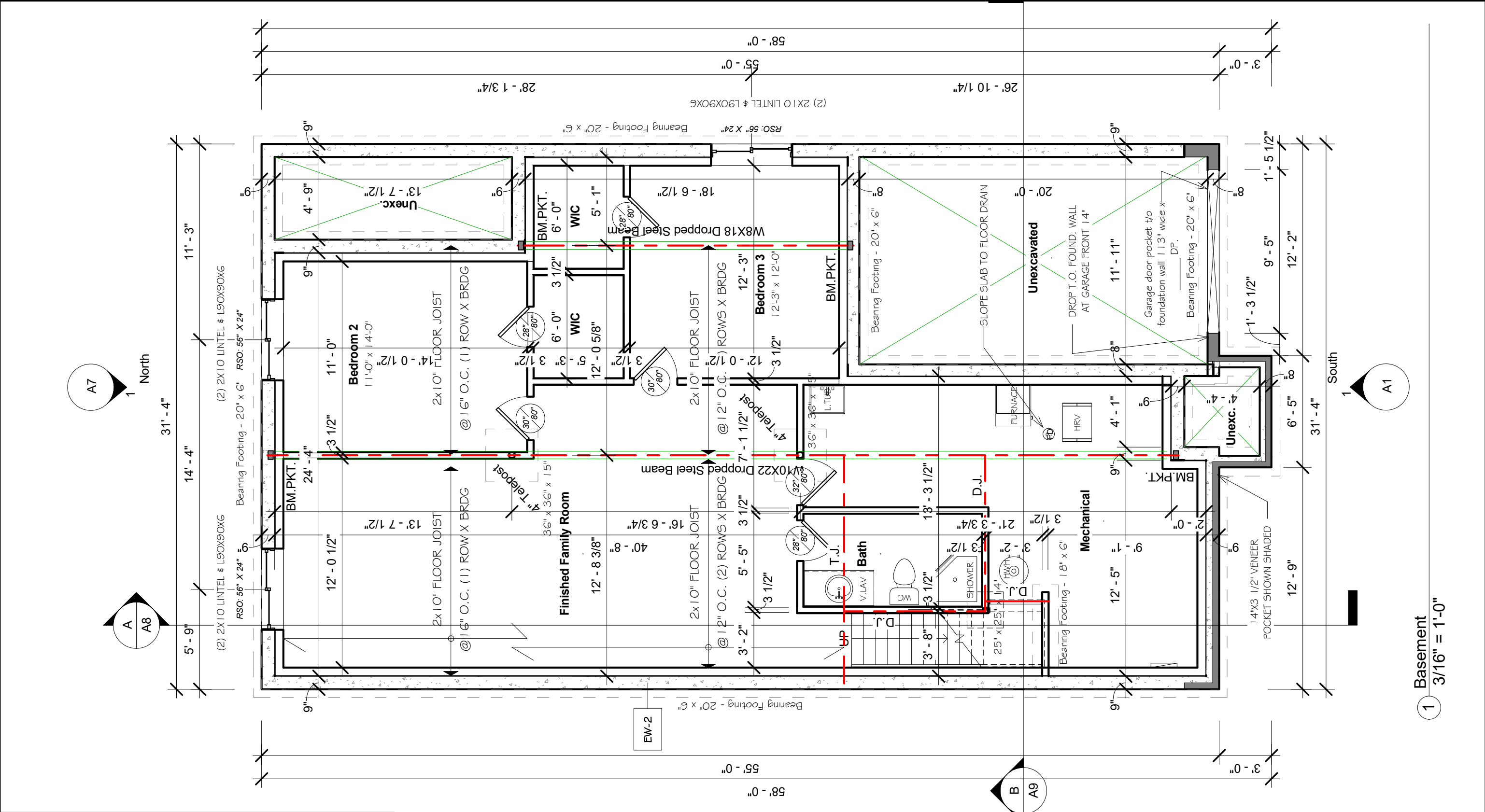
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P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes
CAD FILE: Drive Craftsman Bluewater B Right.rvt

PROJECT NO: Summit View, Collingwood

REV:

A1



Number	Date	Description

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West

A5

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Fax: (519) 942-9892

www.devonleighthomes.com

Designer :

BCIN : 20823 Rodney G. Greer

DRAWING :

Basement Plan

Devonleigh Homes Inc.

PROJECT :

Craftsman Bluewater B Right

Lot 103 (46) Plewes Drive

DRN. BY: rgg

CHK. BY:

DRAWING NO:

2019-01-21 10:10:29 AM

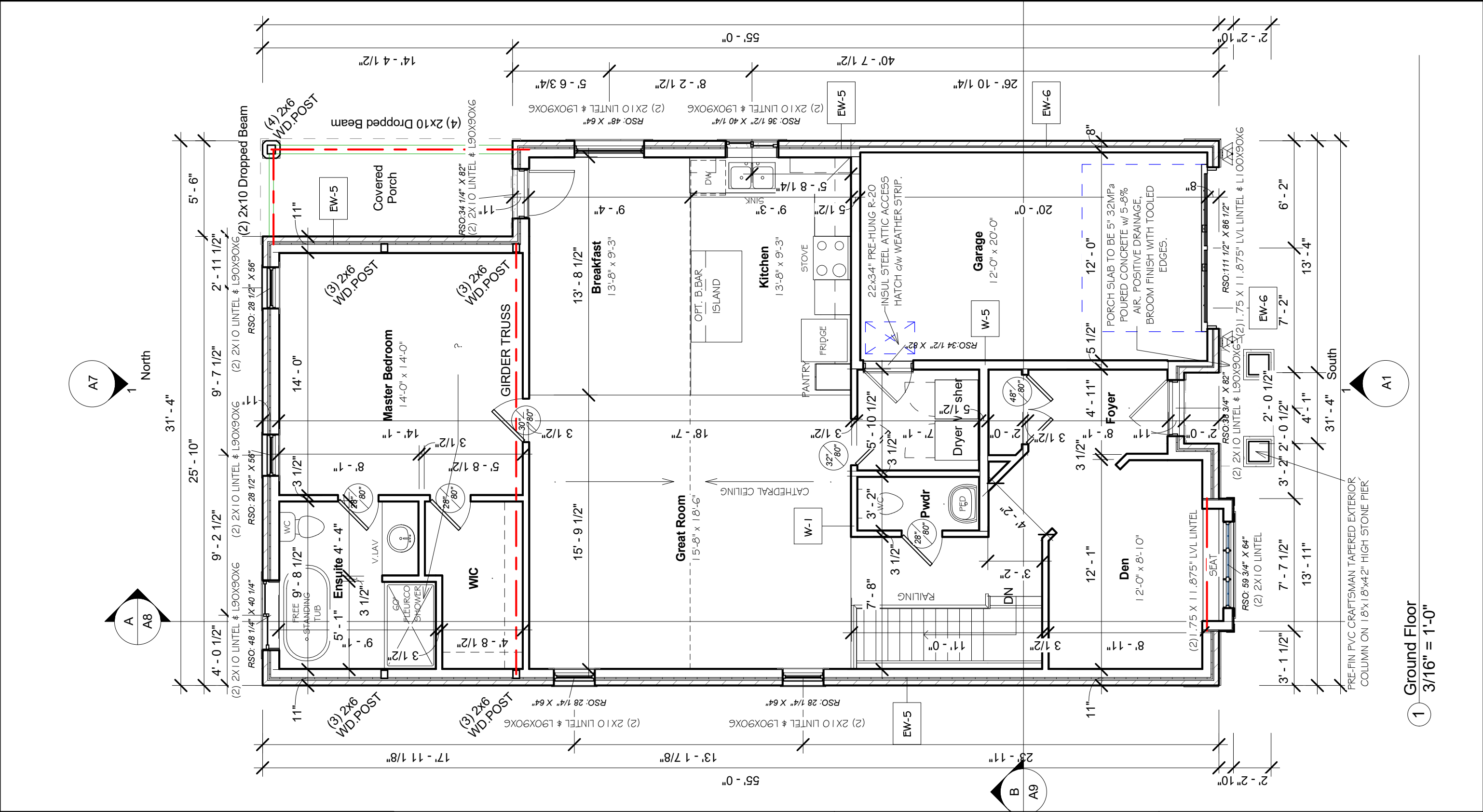
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P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes CAD FILE: Drive Craftsman Bluewater B Right.rvt

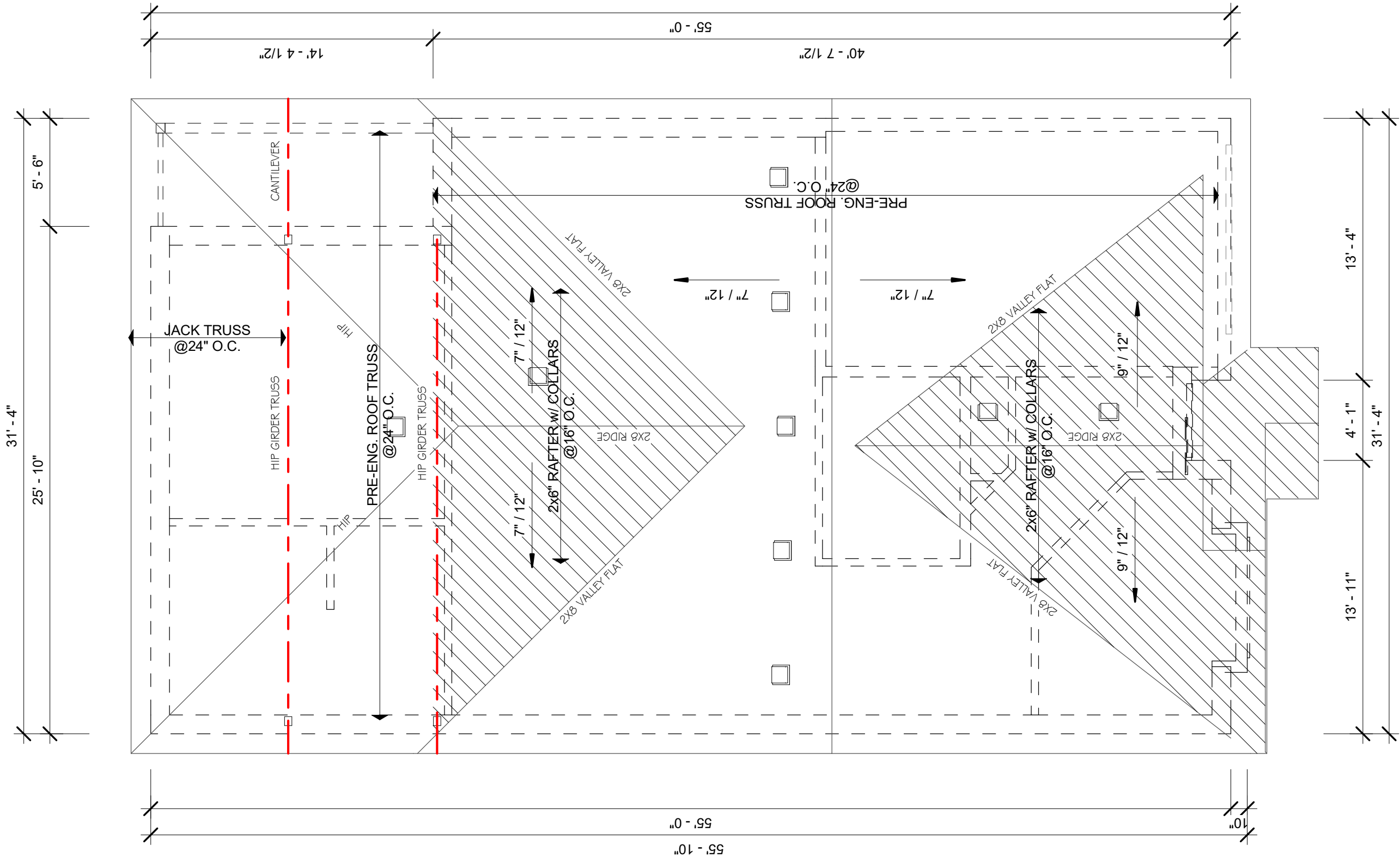
PROJECT NO: Summit View, Collingwood

REV:

A2

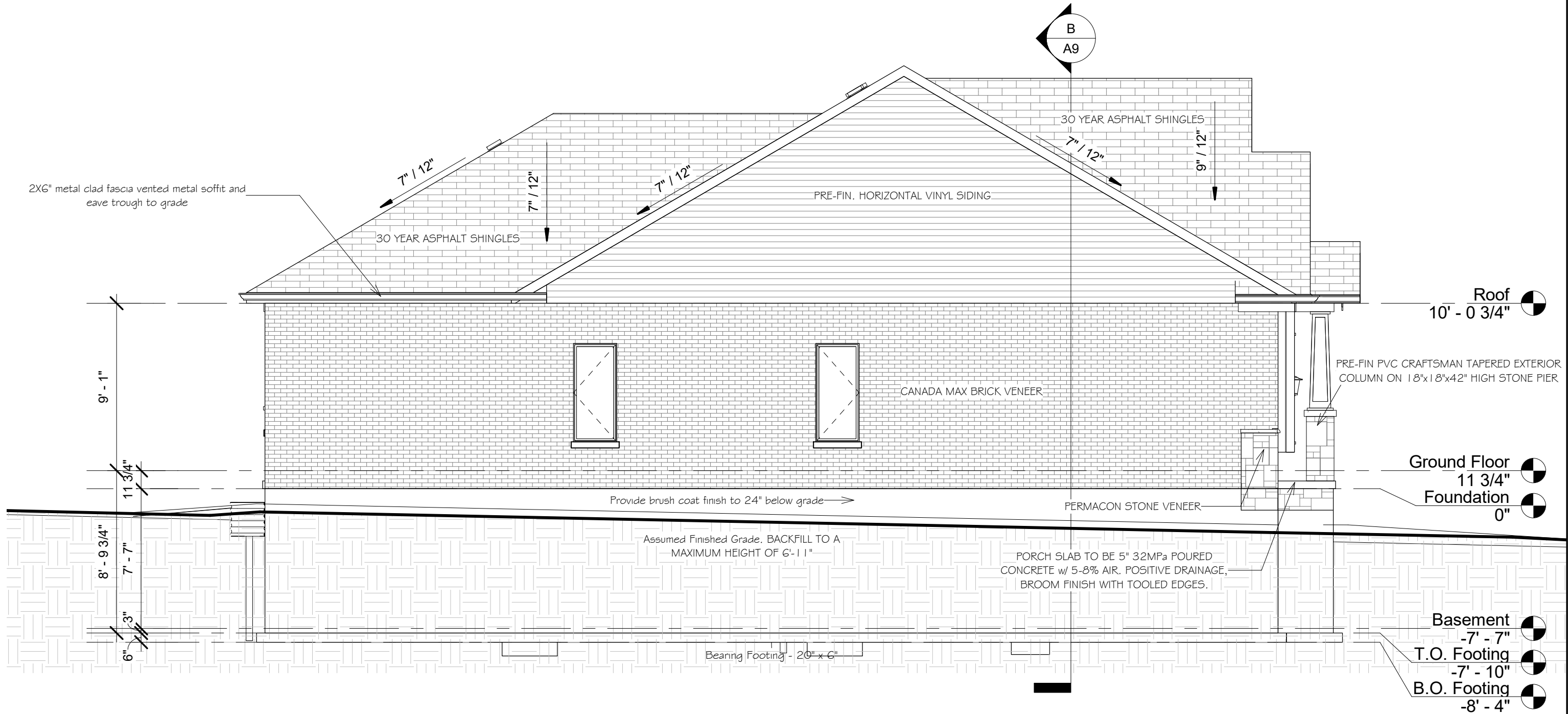


			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311		PROJECT :	
			1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.		P.O. Box 70 Fax: (519) 942-9892		Craftsman Bluewater B Right	
			2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.		Orangeville, Ontario www.devonleighthomes.com		Lot 103 (46) Plewes Drive	
			3. Work to dimensions shown - DO NOT SCALE.		Designer :		DRN. BY: rgg	CHK. BY:
			4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		BCIN : 20823 Rodney G. Greer		2019-01-21 10:10:32 AM	SCALE: 3/16" = 1'-0"
					DRAWING :		P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes CAD FILE: Drive Craftsman Bluewater B Right.rvt	
					First Floor Plan		PROJECT NO: Summit View, Collingwood	
					Devonleigh Homes Inc.		REV:	



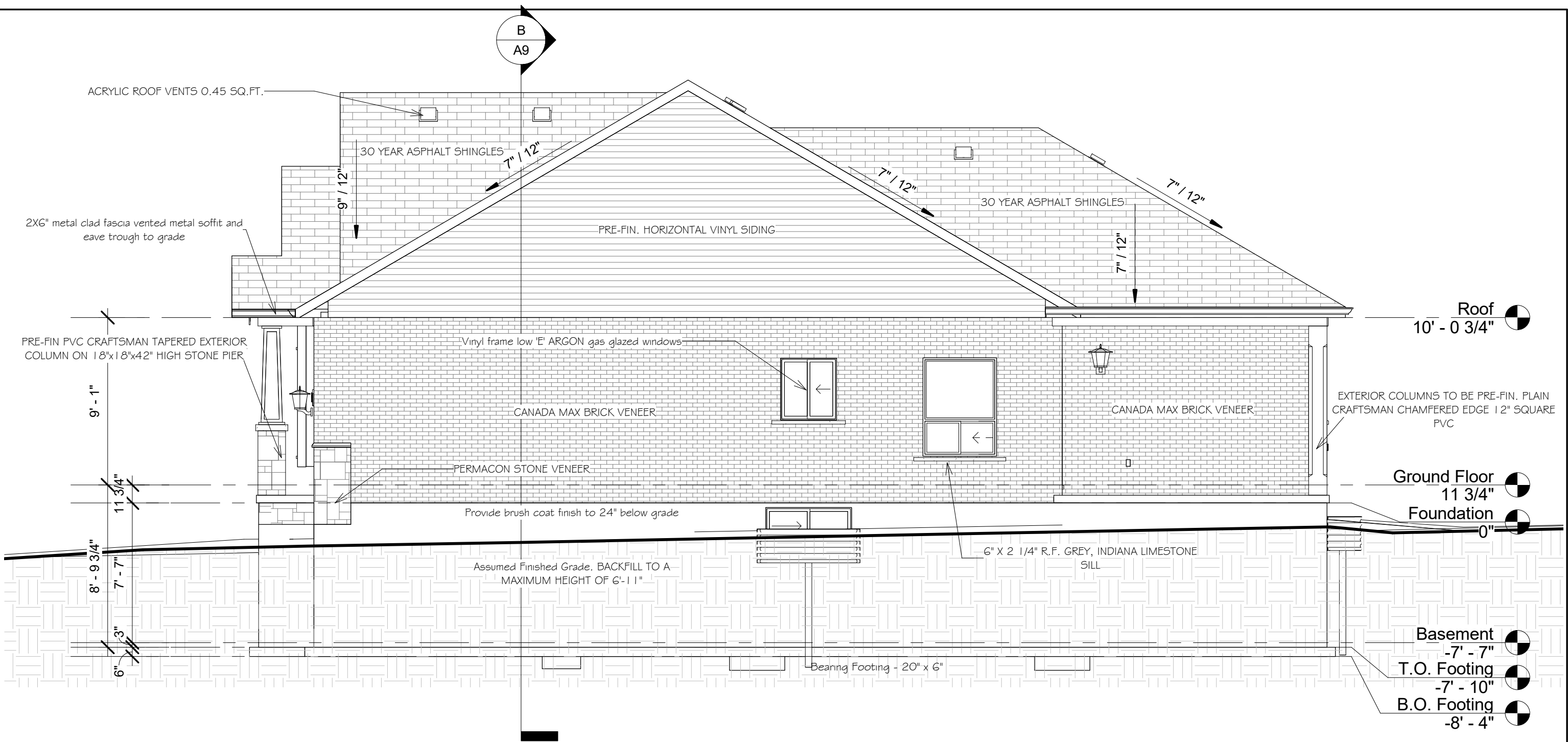
1 Roof Framing
3/16" = 1'-0"

			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighbhomes.com		PROJECT : Craftsman Bluewater B Right Lot 103 (46) Plewes Drive			
Number	Date	Description	1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg		CHK. BY:	DRAWING NO:
			2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.		DRAWING : Roof Framing Devonleigh Homes Inc.		2019-01-21 10:10:35 AM		SCALE: 3/16" = 1'-0"	A4
			3. Work to dimensions shown - DO NOT SCALE.				P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes CAD FILE: Drive Craftsman Bluewater B Right.rvt			
			4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.				PROJECT NO: Summit View, Collingwood		REV:	



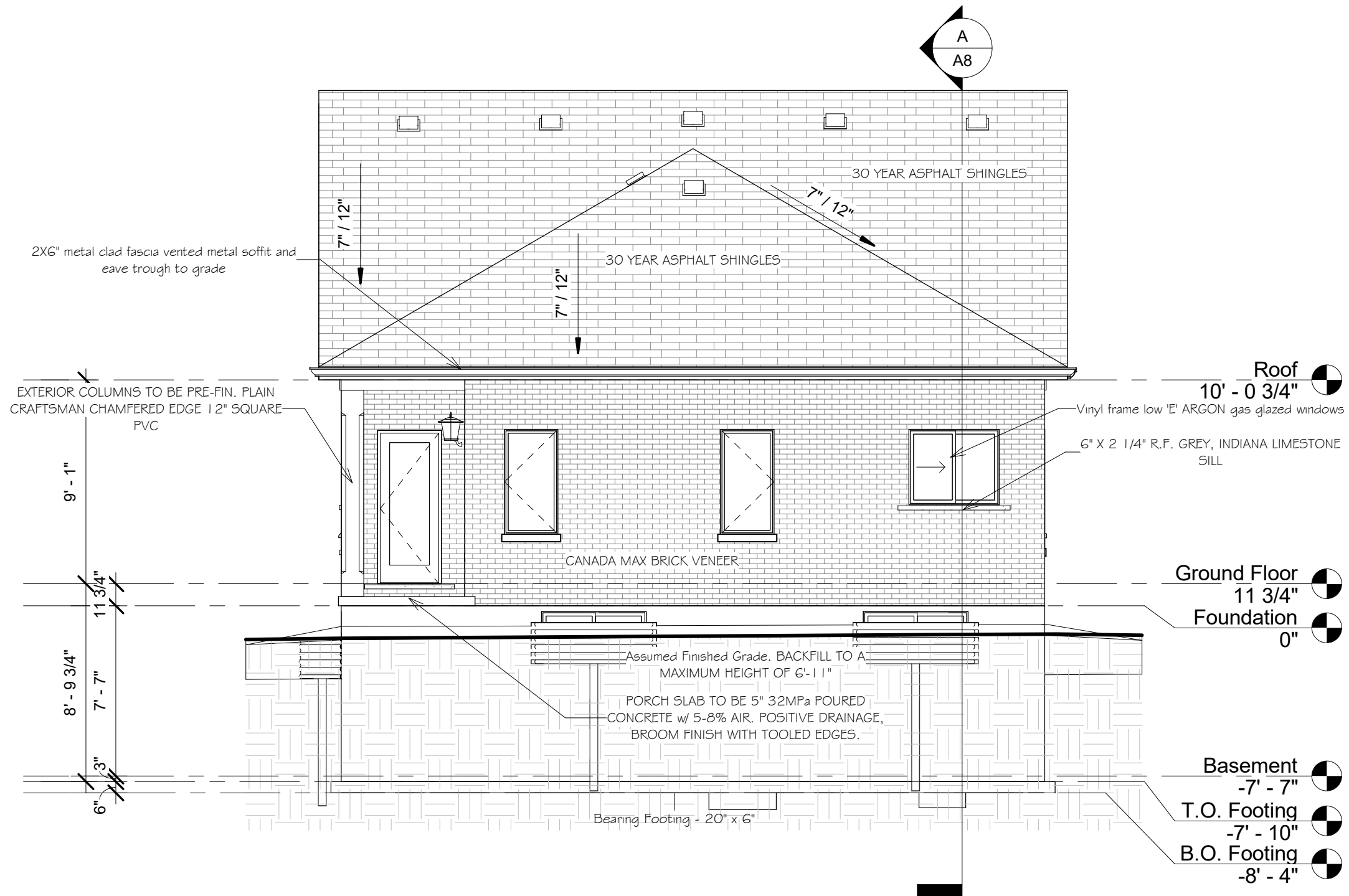
1 West
3/16" = 1'-0"

			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighbhomes.com		PROJECT : Craftsman Bluewater B Right Lot 103 (46) Plewes Drive						
Number	Date	Description	1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission. 2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work. 3. Work to dimensions shown - DO NOT SCALE. 4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg		CHK. BY:		DRAWING NO:		
					DRAWING : Left Elevation Devonleigh Homes Inc.		2019-01-21 10:10:39 AM		SCALE: 3/16" = 1'-0"		A5		
							P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes CAD FILE: Drive Craftsman Bluewater B Right.rvt						
									PROJECT NO: Summit View, Collingwood		REV:		



1 East
3/16" = 1'-0"

			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighbhomes.com	PROJECT : Craftsman Bluewater B Right Lot 103 (46) Plewes Drive		
Number	Date	Description	1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission. 2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work. 3. Work to dimensions shown - DO NOT SCALE. 4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		Designer : BCIN : 20823 Rodney G. Greer	DRN. BY: rgg CHK. BY: DRAWING NO:		
					DRAWING : Right Elevation Devonleigh Homes Inc.	2019-01-21 10:10:41 AM SCALE: 3/16" = 1'-0"		
						P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes CAD FILE: Drive Craftsman Bluewater B Right.rvt		
						PROJECT NO: Summit View, Collingwood REV:		



1 North
3/16" = 1'-0"

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Designer :

BCIN : 20823 Rodney G. Greer

DRAWING :

Rear Elevation
Devonleigh Homes Inc.

PROJECT :

Craftsman Bluewater B Right
Lot 103 (46) Plewes Drive

DRN. BY: rgg

CHK. BY:

DRAWING NO:

2019-01-21 10:10:43 AM

SCALE: 3/16" = 1'-0"

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CAD FILE: Drive Craftsman Bluewater B Right.rvt

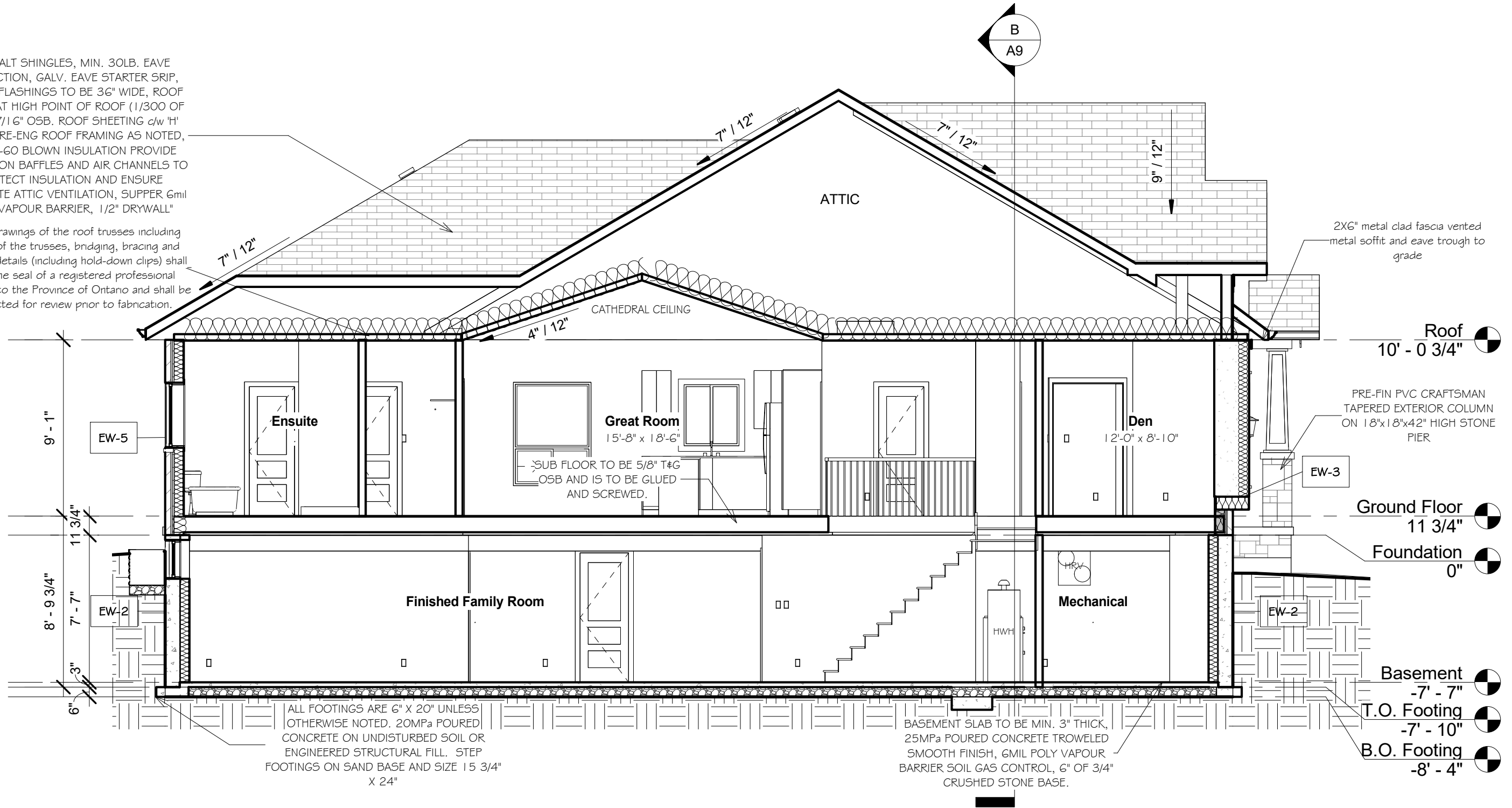
PROJECT NO: Summit View, Collingwood

REV:

A7

ASPHALT SHINGLES, MIN. 30LB. EAVE PROTECTION, GALV. EAVE STARTER STRIP, VALLEY FLASHINGS TO BE 36" WIDE, ROOF VENTS AT HIGH POINT OF ROOF (1/300 OF S.F.), 7/16" OSB. ROOF SHEETING c/w 'H' CLIPS, PRE-ENG ROOF FRAMING AS NOTED, MIN. R-60 BLOWN INSULATION PROVIDE INSULATION BAFFLES AND AIR CHANNELS TO PROTECT INSULATION AND ENSURE ADEQUATE ATTIC VENTILATION, SUPPER 6mil POLY VAPOUR BARRIER, 1/2" DRYWALL"

Shop drawings of the roof trusses including layout of the trusses, bridging, bracing and bearing details (including hold-down clips) shall bear the seal of a registered professional Engineer to the Province of Ontario and shall be submitted for review prior to fabrication.



A Cross Section A
3/16" = 1'-0"

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Designer:

BCIN : 20823 Rodney G. Greer

DRAWING:

Building Sections
Devonleigh Homes Inc.

PROJECT:

Craftsman Bluewater B Right
Lot 103 (46) Plewes Drive

DRN. BY: rgg

CHK. BY:

DRAWING NO:

2019-01-21 10:10:46 AM

SCALE: 3/16" = 1'-0"

P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes
CAD FILE: Drive Craftsman Bluewater B Right.rvt

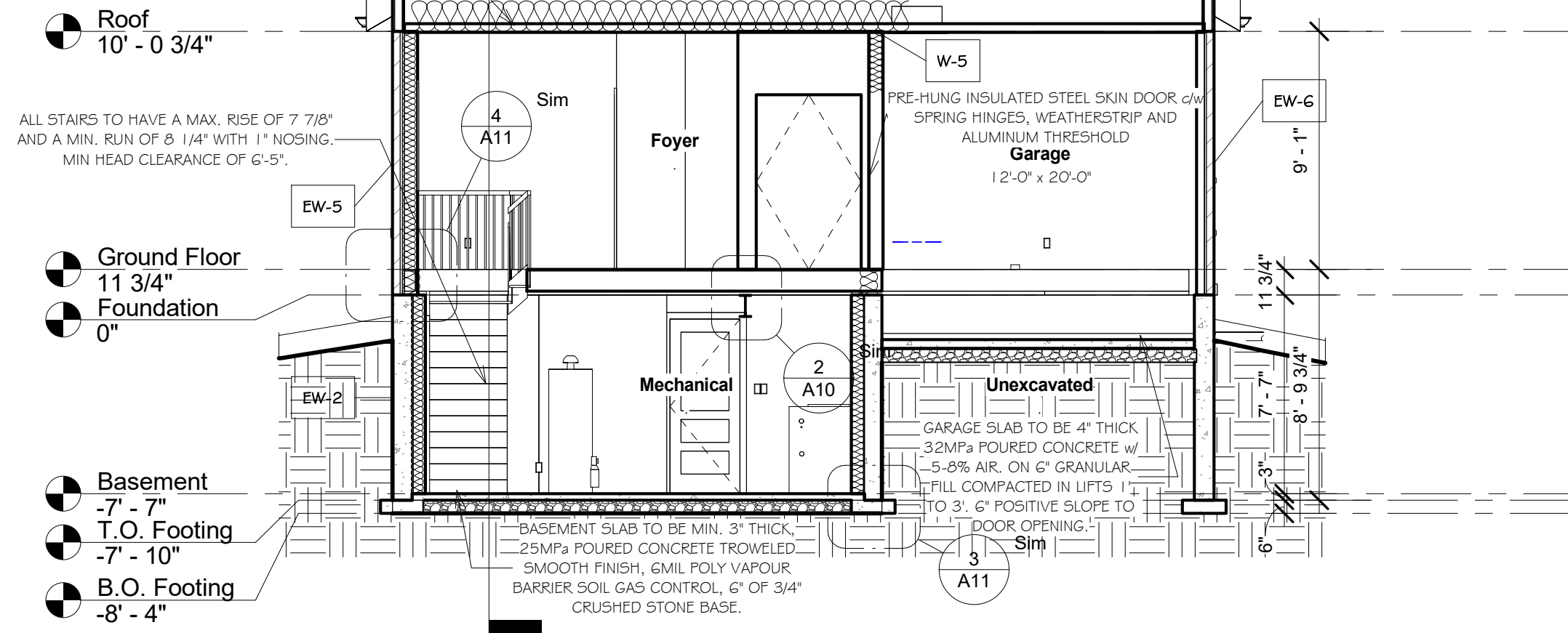
PROJECT NO: Summit View, Collingwood

REV:

A8

ASPHALT SHINGLES, MIN. 30LB. EAVE PROTECTION, GALV. EAVE STARTER STRIP, VALLEY FLASHINGS TO BE 36" WIDE, ROOF VENTS AT HIGH POINT OF ROOF (1/300 OF S.F.), 7/16" OSB, ROOF SHEETING c/w 'H' CLIPS, PRE-ENG ROOF FRAMING AS NOTED, MIN. R-60 BLOWN INSULATION PROVIDE INSULATION BAFFLES AND AIR CHANNELS TO PROTECT INSULATION AND ENSURE ADEQUATE ATTIC VENTILATION, SUPPER 6mil POLY VAPOUR BARRIER, 1/2" DRYWALL"

Shop drawings of the roof trusses including layout of the trusses, bridging, bracing and bearing details (including hold-down clips) shall bear the seal of a registered professional Engineer to the Province of Ontario and shall be submitted for review prior to fabrication.



B Cross Section B
3/16" = 1'-0"

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Designer:

BCIN : 20823 Rodney G. Greer

DRAWING:

Building Sections
Devonleigh Homes Inc.

PROJECT:

Craftsman Bluewater B Right
Lot 103 (46) Plewes Drive

DRN. BY: rgg

CHK. BY:

DRAWING NO:

2019-01-21 10:10:49 AM

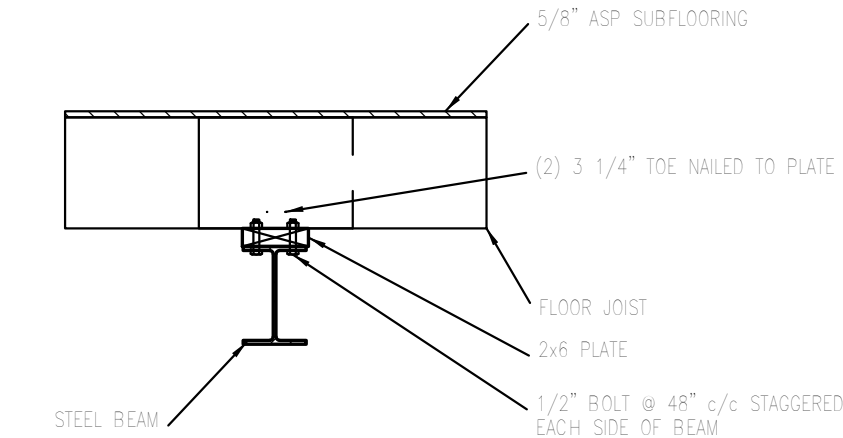
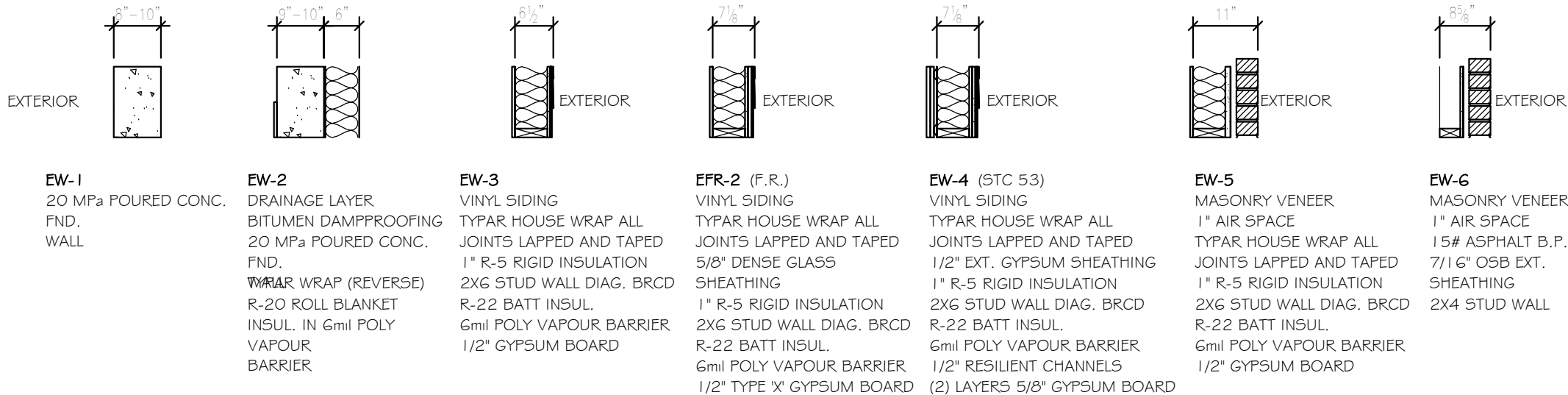
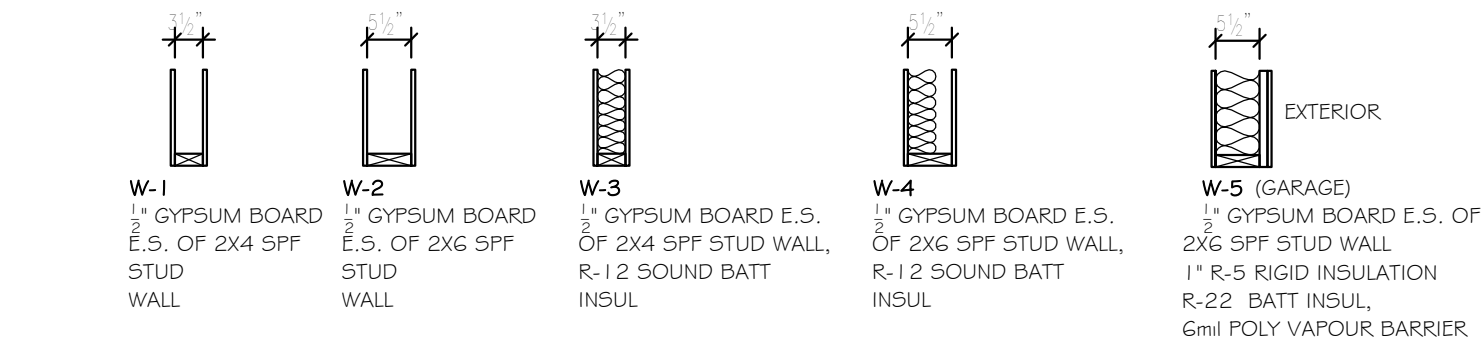
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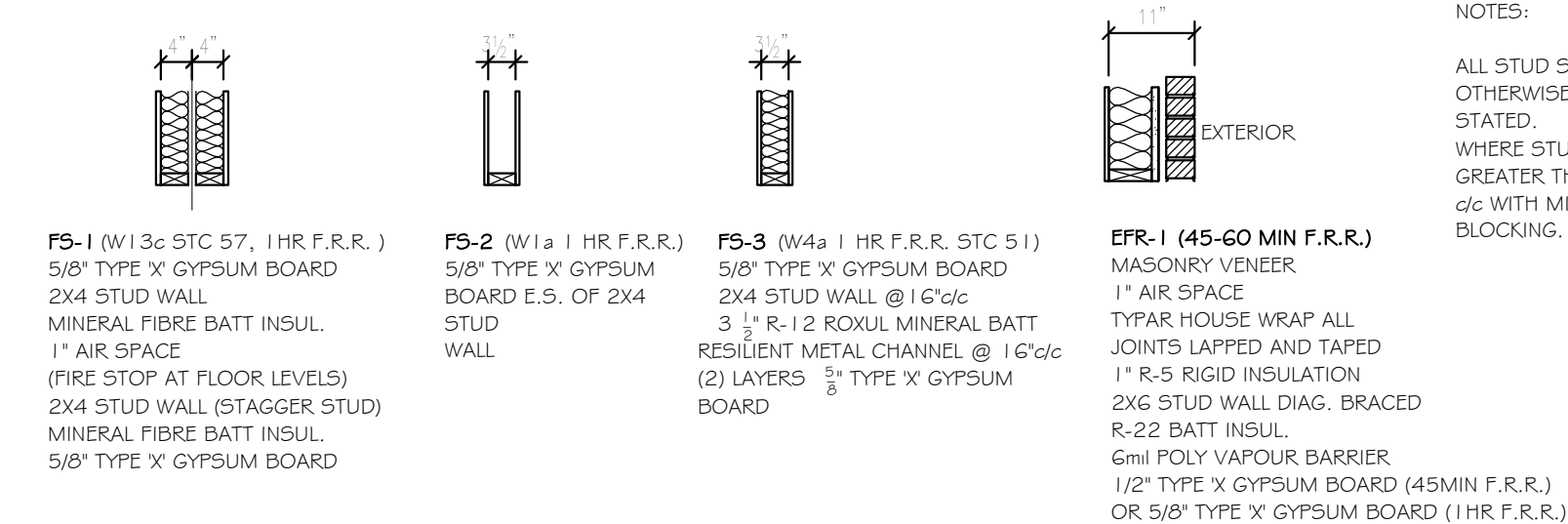
PROJECT NO: Summit View, Collingwood

REV:

A9

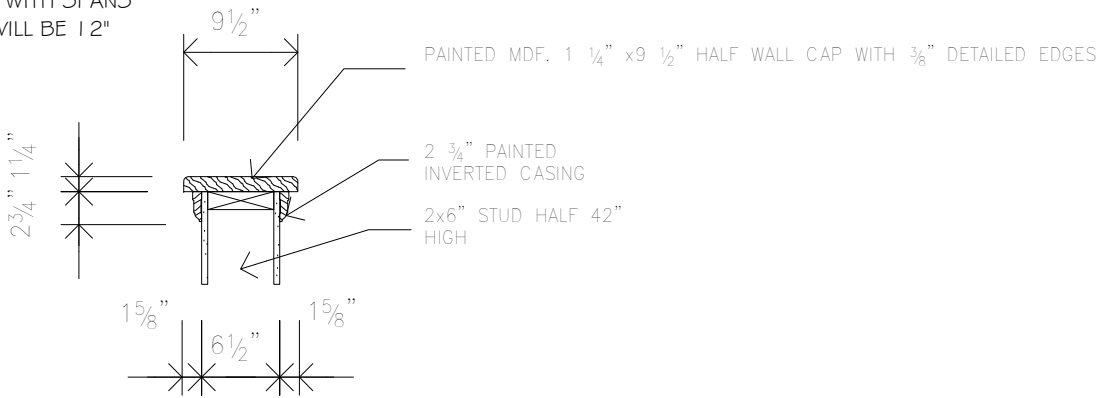


2 Typical Beam Connection Detail
3/4" = 1'-0"



NOTES:

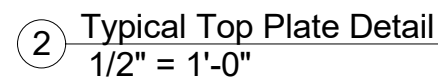
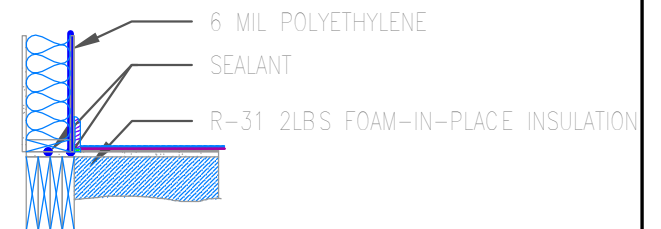
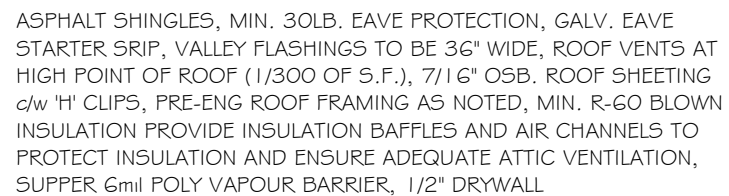
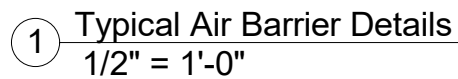
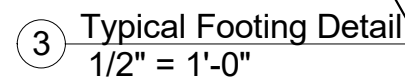
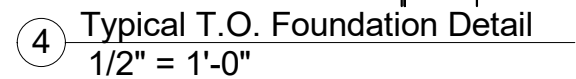
ALL STUD SPACING ARE @ 16" c/c UNLESS OTHERWISE STATED.
WHERE STUD SUPPORT ROOF TRUSSES WITH SPANS GREATER THAN 42'-0", STUD SPACING WILL BE 12" c/c WITH MID HEIGHT BLOCKING.



3 Typical Half Wall Detail
3/4" = 1'-0"

1 Typical Wall Assemblies
1/2" = 1'-0"

			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311		PROJECT :					
			1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.		P.O. Box 70 Fax: (519) 942-9892		Craftsman Bluewater B Right					
			2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.		Orangeville, Ontario www.devonleighhomes.com		Lot 103 (46) Plewes Drive					
Number			Date		Description		DRN. BY: rgg		CHK. BY:		DRAWING NO:	
							2019-01-21 10:10:51 AM		SCALE: As indicated		A10	
							P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes		CAD FILE: Drive Craftsman Bluewater B Right.rvt			
							PROJECT NO: Summit View, Collingwood		REV:			



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Number	Date	Description		Designer :		DRN. BY: rgg		CHK. BY:	DRAWING NO:
				BCIN : 20823 Rodney G. Greer		2019-01-21 10:10:54 AM		SCALE: 1/2" = 1'-0"	A11
				DRAWING :		P:\Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes			
				Details		CAD FILE: Drive Craftsman Bluewater B Right.rvt			
			Devonleigh Homes Inc.		PROJECT NO: Summit View, Collingwood		REV:		

GENERAL NOTES:

1. THE BUILDING SHALL BE SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
2. GARAGE SLAB TO BE 4" THICK 32MPa POURED CONCRETE w/ 5-8% AIR, ON 6" GRANULAR FILL COMPACTED IN LIFTS. 1"-3" POSITIVE SLOPE TO DOOR OPENING.
3. WEEPING TILE TO BE 4" BIG 'O' c/w SOCK AND 6" OF 3/4" STONE COVER MIN.
4. BRICK VENEER TO BE MAX SIZE CANADA BRICK WITH METAL TIES AT 15 3/4" VERTICAL AND 31 1/2" HORIZONTAL OR 23 5/8" VERTICAL AND 15 3/4" HORIZONTAL. WEEP HOLES SHALL BE PROVIDED AT 2'-7" C/C AT BOTTOM OF CAVITY WALLS AND ABOVE LINTELS.FLASHING BENEATH WEEP HOLES IN BRICK VENEER OVER WOOD FRAMED WALLS SHALL EXTEND 3/16" BEYOND THE OUTER FACE OF THE BUILDING AND 5 7/8" UP THE WOOD FRAME.
5. INSTALL WALL GIRTS WHEN WALL HEIGHT EXCEEDS 9'-10"
6. DRYWALL SCREWS MAX 11 3/4" c/c FOR CEILINGS, 15 3/4" c/c ON WALLS WITH STUDS 16"c/c
7. EXTERIOR CONCRETE TO HAVE 32MPa COMPRESSIVE STRENGTH w/ MAX 4" SLUMP.
8. WINDOW AND DOOR HEAD HEIGHTS TO BE 82 1/2" UNLESS OTHERWISE STATED. TRANSOM WINDOWS SET ABOVE 82 1/2"
9. DOOR WIDTH RSO TO BE 2" LARGER THAN NOTED DOOR SIZE
10. LIGHT OUTLETS SHALL BE CONTROLLED BY A WALL SWITCH IN KITCHENS, BEDROOMS, LIVING ROOMS, UTILITY ROOMS, LAUNDRY ROOMS, DINING ROOMS, BATH ROOMS, WATER CLOSET ROOMS, VESTIBULES AND HALLWAYS. A SWITCH TO RECEPTACLE CONTROLLED BY A WALL SWITCH CAN BE USED IN BEDROOMS AND LIVING ROOMS. BASEMENTS LIGHT OUTLETS SHALL BE PROVIDED FOR EACH 323 SQ.FT. OF FLOOR AREA
11. PROVIDE BLOCKING FOR NEWEL POST AT WALL 42" HIGH, CORNER SHOWER STALLS 38" FROM CORNERS.

BASEMENT NOTES:

12. INTERIOR PERIMETER OF CONCRETE FOUNDATION WALLS TO HAVE FULL HEIGHT R-20 BLANKET INSULATION W/ SUPER 6MIL POLY VAPOUR BARRIER AND TYPAR BUILDING WRAP.
13. INTERIOR LINTELS TO BE (2) 2X6" #2 SPF UNLESS OTHERWISE NOTED REFER TO SCHEDULES.
14. ROUGH-IN FUTURE (3) THREE PIECE BATH WHERE (IF) SHOWN.
15. ALL FOOTINGS ARE 6" X 20" UNLESS OTHERWISE NOTED. 15MPA POURED CONCRETE ON UNDISTURBED SOIL OR ENGINEERED STRUCTURAL FILL. STEP FOOTINGS ON SAND BASE AND SIZE 15 3/4" X 24"
16. FOUNDATION WALLS TO BE 8" THICK, UNLESS OTHERWISE NOTED, WITH 20MPA POURED CONCRETE COMPRESSIVE STRENGTH.
17. ANCHOR BOLTS TO BE INSTALLED AT 72" C/C MAX
18. 4" DIA. STEEL TELEPOSTS TO BE USED WHERE SHOWN, BOLT TO CONCRETE FOOTING AND SUPPORTED STEEL BEAM
19. BACKFILL TO A MAXIMUM HEIGHT OF 6'-11"
20. DAMPPROOF EXTERIOR PERIMETER OF FOUNDATION WALL WITH BITUMEN. TAR SNAP TIES AND AROUND ANY MECHANICAL / PLUMBING PENETRATIONS.
21. DRAINAGE LAYER TO BE SYSTEM PLATON.
22. BASEMENT SLAB TO BE MIN. 3" THICK, 25MPA POURED CONCRETE TROWELED SMOOTH FINISH ON 6" OF 3/4" STONE BASE.
23. IF GARAGE IS EXCAVATED FILL WITH SAND COMPACT TO 98% STANDARD PROCTOR.
24. PROVIDE DIRECT VENTING FROM GAS FURNACE AND HOT WATER HEATER TO EXTERIOR
25. PROVIDE 4" DIA METAL PIPE TO VENT DRYER TO EXTERIOR C/W HOOD AND DAMPER
26. SLOPE BASEMENT FLOOR SLAB TO FLOOR DRAIN
27. GARAGE DOOR POCKET SIZE TO SUIT GRADE FROM TOP OF BRICK LEDGE AND GARAGE DOOR WIDTH.
28. PROVIDE 6" SLEEVE FOR SEPTIC SYSTEM PIPE 6" BELOW FINISHED GRADE WHERE APPLICABLE
29. PROVIDE 6" SLEEVE FOR WATERLINE AND HYDRO ENTRY
30. SUMP PIT AND PUMP, PROVIDE DUPLEX RECEPTACLE WITHIN 24" TO POWER PUMP.
31. SMOKE ALARMS C/W STROBE, SHALL BE HARDWIRED AND INTERCONNECTED AND SHALL BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE THAT CAN CONTINUE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN THE NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM.
32. HOT WATER PIPES THAT ARE VERTICALLY CONNECTED TO A HOT WATER STORAGE TANK SHALL HAVE HEAT TRAPS ON BOTH INLET AND OUTLET PIPING AS CLOSE AS PRACTICAL TO THE TANK, EXCEPT WHERE THE TANK,(A) HAS AN INTEGRAL HEAT TRAP, OR (B) SERVES A RECIRCULATING SYSTEM. THE FIRST 2.5 M OF HOT WATER OUTLET PIPING OF A HOT WATER STORAGE TANK SERVING A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.62. THE INLET PIPE OF A HOT WATER STORAGE TANK BETWEEN THE HEAT TRAP AND THE TANK SERVING A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.62.
33. WHERE A SUPPLY DUCT IS LOCATED IN A CONDITIONED SPACE, THE DUCTWORK SHALL BE SEALED TO A CLASS C SEAL LEVEL IN ACCORDANCE WITH THE SMACNA, "HVAC DUCT CONSTRUCTION STANDARDS – METAL AND FLEXIBLE".

FIRST FLOOR NOTES:

34. PRE-HUNG INSULATED STEEL SKIN DOOR C/W SELF-CLOSER, WEATHERSTRIP AND ALUMINUM THRESHOLD FROM GARAGE TO HOUSE
35. PROVIDE SMOKE-TIGHT JOINTS BETWEEN HOUSE AND GARAGE C/W R-22 F.F. BATT INSULATION AND 1" R-5 RIGID INSUL. SUPER 6MIL POLY VAPOUR BARRIER. CAULK AROUND ALL OPENINGS AND PENETRATIONS BETWEEN GARAGE AND HOUSE.
36. ALL INTERIOR LINTELS ARE (2) 2X6" #2 SPF UNLESS OTHERWISE NOTED REFER TO SCHEDULE.
37. REFER TO LINTEL SCHEDULES FOR EXTERIOR LINTELS.
38. GARAGE DOOR LINTEL TO BE (2) 2X12" WITH 7/16" OSB UNLESS OTHERWISE NOTED
39. PORCH SLAB TO BE 5" 32MPA POURED CONCRETE W/ 5-8% AIR. POSITIVE DRAINAGE, BROOM FINISH WITH TOOLED EDGES.
40. WIRE ROD AND SHELF IN ALL CLOSETS
41. DECORATIVE POSTS (8" OR 10") ON TOP OF BRICK PILLARS AS SHOWN ON THE ELEVATIONS.
42. INTERIOR WALLS TO BE 2X4" #2 SPF STUDS @16"C/C (3 1/2" THICK) UNLESS OTHERWISE NOTED (2X6" STUDS - 5 1/2" THICK)
43. USE PRE-ENGINEERED ROOF TRUSSES @24"C/C OR CONVENTIONAL FRAME WITH 2X6" #2SPF RAFTERS AND CEILING JOISTS @16"C/C
44. SUB FLOOR TO BE 5/8" T&G OSB AND IS TO BE GLUED AND SCREWED.
45. ALL STAIRS TO HAVE A MAX. RISE OF 7 7/8" AND A MIN. RUN OF 8 1/4" WITH 1" NOSING. MIN HEAD CLEARANCE OF 6'-5". HANDRAILS AND GUARD RAILS CONSTRUCTED IN ACCORDANCE WITH THE SUPPLEMENTARY GUIDELINES SG-7 OF THE ONTARIO BUILDING CODE.
46. AIR / VAPOUR BARRIER TO BE LAPPED 4" AND SEALED. ELECTRICAL BOXES TO BE SELF SEALING PVC AND SEALED TO VAPOUR BARRIER
47. WHERE PORCH IS UNEXCAVATED PROVIDE 6" COMPACTED GRANULAR DIRECTLY BELOW SLAB. WHERE PORCH IS OVER COLD ROOM PROVIDE 10M BARS @8" C/C EACH DIRECTION WITH 1 1/4" COVER FROM THE BOTTOM. MIN. 3" BEARING ON TOP OF FOUNDATION WALL ALL SIDES AND ANCHORED TO WALL WITH 10M DOWELS 24"x24" @24" C/C, UNLESS NOTED OTHERWISE.
48. 22X34" PRE-HUNG R-20 INSUL STEEL ATTIC ACCESS HATCH C/W WEATHER STRIP.
49. PRE-HUNG INSULATED STEEL SKIN DOOR C/W WEATHER STRIP AND ALUMN. THRESHOLD
50. SEALED TRIPLE SOLARBAN 60 LOW E GLAZING IN VINYL FRAMES OPERATION AND MUNTIN BARS WHERE SHOWN ON DRAWINGS.
51. ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR.
52. MECHANICAL AND PLUMBING SPECIFICATIONS, LOCATIONS, AND MATERIALS BY MECHANICAL AND PLUMBING CONTRACTORS.
53. THE PROGRAMMABLE THERMOSTATIC CONTROL DEVICE SHALL,(A) ALLOW THE SETTING OF DIFFERENT AIR TEMPERATURES FOR AT LEAST, (I) FOUR TIME PERIODS PER DAY, AND (II) TWO DIFFERENT DAY-TYPES PER WEEK,(B) INCLUDE A MANUAL OVERRIDE, AND (C) ALLOW THE SETTING OF THE AIR TEMPERATURE TO,(I) 13°C OR LOWER IN HEATING MODE, AND (II) 29°C OR HIGHER IN COOLING MODE, WHERE AIRCONDITIONING IS PROVIDED.
54. ADD SOLID BLOCKING FOR FUTURE GRAB BAR AS PER OBC SENTENCE 3.8.3.8.(1).(D) REFER TO DETAIL

STRUCTURAL SPECIFICATIONS:

55. ENSURE MIN 75KPA SOIL BEARING CAPACITY
56. EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL, KEPT FREE OF STANDING WATER AND SHALL BE KEPT FROM FREEZING DURING THE COURSE OF CONSTRUCTION.
57. COMPRESSIVE STRENGTH OF CONCRETE:

A. FOOTINGS SHALL BE 20MPA

B. FOUNDATION WALLS 15MPA CODE MIX

C. INTERIOR FLOOR SLABS 25MPA

D. EXTERIOR SLABS EXPOSED TO WEATHER 32MPA

E. GARAGE FLOOR SLAB 32MPA
58. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-S16.1-M
59. STEEL BEAMS AND LINTELS SHALL HAVE AN MINIMUM 6" END BEARING ON CONCRETE OR MASONRY.
60. WELDING OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W59 AND SHALL BE UNDERTAKEN BY A FABRICATOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W41.
61. SHOP DRAWINGS OF THE ROOF TRUSSES INCLUDING LAYOUT OF THE TRUSSES, BRIDGING, BRACING AND BEARING DETAILS (INCLUDING HOLD-DOWN CLIPS) SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER TO THE PROVINCE OF ONTARIO AND SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
62. ALL LUMBER FOR WOOD TRUSSES SHALL BE KILN DRIED AND WELL SEASONED IN ORDER TO PREVENT POSSIBLE DISTORTION OR DEFORMATION OF THE TRUSS.
63. STRUCTURAL LOADS AND DEFLECTION:

A. FLOORS: DEAD LOAD = 0.70KPA (15PSF) 1/360 MAX DEFLECTION

B. FLOORS: DEAD LOAD = 1.30KPA (27.2PSF) 1/360 MAX DEFLECTION CERAMIC AREAS

C. OTHER AREAS: LIVE LOAD = 1.90KPA (40PSF) 1/360 MAX DEFLECTION

D. PARTITIONS: DEAD LOAD = 1.0KPA (20.8PSF)

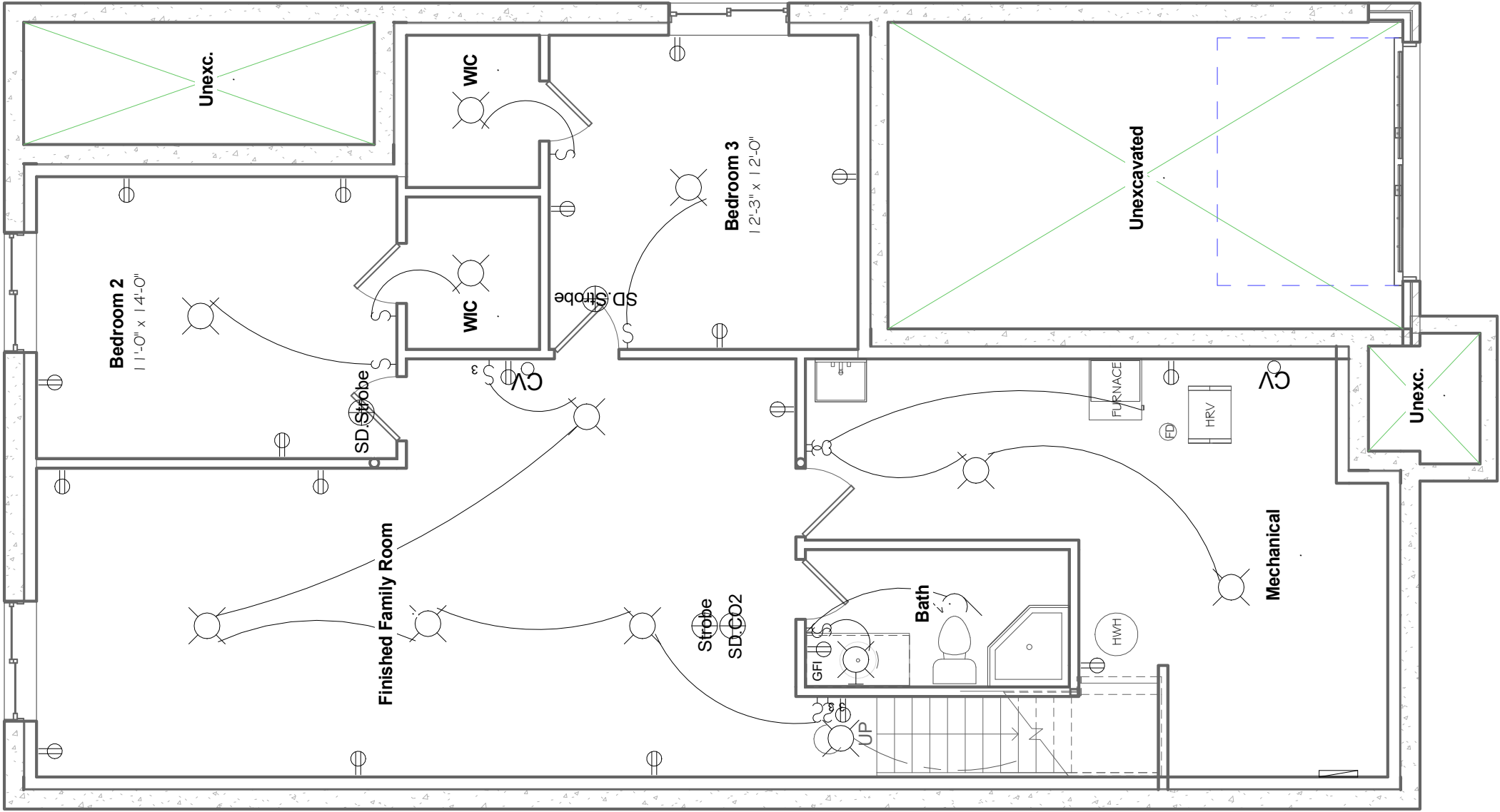
E. ROOF: DEAD LOAD = 0.70KPA (14.6PSF) RAFTER NO CEILING 1/240 MAX. DEFLECTION

F. GROUND SNOW LOAD = 2.80KPA* (58.5PSF) CEILING/SUPPORTING CEILING 1/360MAX

G. RAIN LOAD = 0.40KPA (8.3PSF)

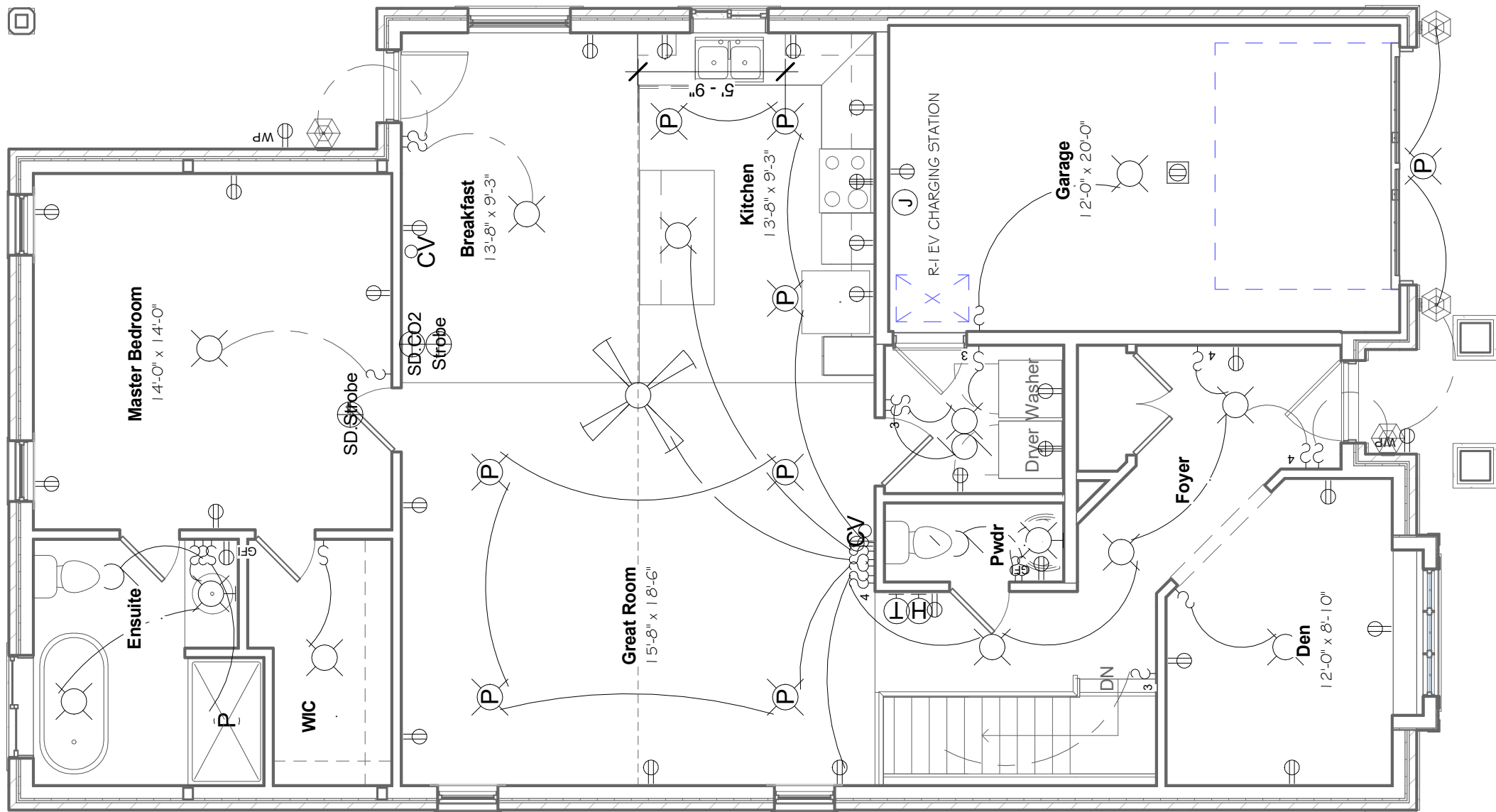
H. * UNFACTORED LIVE GROUND SNOW LOAD AND MAY VARY FROM LOCATION TO LOCATION.
64. ALL WINDOWS SHALL CONFORM TO AAMA/WDMA CSA 101/1.52
65. COLD WEATHER REQUIREMENTS FOR CONCRETE FORMS APPLY WHERE OUTSIDE AIR TEMPERATURE IS BELOW -10 DEG. C. FORMS TO REMAIN IN PLACE FOR 72HRS.
66. ALL EXTERIOR FOOTINGS SHALL BE PLACED MINIMUM 48" BELOW ADJACENT GRADE UNLESS OTHERWISE NOTED ON PLANS.
67. PROVIDE BLOCKING IN MAIN BATHROOM WALL FRAMING FOR FUTURE GRAB BAR INSTALLATION
68. KITCHEN HOOD VENT SHALL DIRECTLY VENT TO EXTERIOR WITH NON-COMBUSTIBLE DUCTWORK.
69. OPTIONAL GAS FIREPLACE SHALL VENT TO EXTERIOR WITH NON-COMBUSTIBLE DUCTWORK.
70. ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH OBC SECTION 9.34. AND APPROVED BY EPA.

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :	
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Bluewater B Right	
				Orangeville, Ontario www.devonleighbhomes.com		Lot 103 (46) Plewes Drive	
				Designer :		DRAWING NO:	
				BCIN : 20823 Rodney G. Greer		A12	
				DRAWING :		2019-01-21 10:10:56 AM	
				Notes		SCALE:	
				Devonleigh Homes Inc.		P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes CAD FILE: Drive Craftsman Bluewater B Right.rvt	
					PROJECT NO: Summit View, Collingwood		
					REV:		



1 Basement Electrical
3/16" = 1'-0"

			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311		PROJECT :		
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			2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.		Orangeville, Ontario www.devonleighthomes.com		Lot 103 (46) Plewes Drive		
			3. Work to dimensions shown - DO NOT SCALE.		Designer :		DRN. BY: rgg	CHK. BY:	DRAWING NO: E0
			4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		BCIN : 20823 Rodney G. Greer		2019-01-21 10:10:59 AM	SCALE: 3/16" = 1'-0"	
					DRAWING :		P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes Drive Craftsman Bluewater B Right.rvt		
					Basement Electrical Plan		PROJECT NO: Summit View, Collingwood		
					Devonleigh Homes Inc.		REV:		



1 Ground Floor Electrical
3/16" = 1'-0"

			GENERAL NOTES :		Devonleigh Homes Inc (519) 942-3311		PROJECT :		
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			2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.		Orangeville, Ontario www.devonleighbhomes.com		Lot 103 (46) Plewes Drive		
			3. Work to dimensions shown - DO NOT SCALE.		Designer :		DRN. BY: rgg	CHK. BY:	DRAWING NO:
			4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.		BCIN : 20823 Rodney G. Greer		2019-01-21 10:11:02 AM	SCALE: 3/16" = 1'-0"	E1
					DRAWING :		P:_Collingwood - Summit View\103 Plewes Drive\Lot 103 Plewes CAD FILE: Drive Craftsman Bluewater B Right.rvt		
					Ground Floor Electrical Devonleigh Homes Inc.		PROJECT NO: Summit View, Collingwood		REV:



1 Craftsman Banting A
1" = 1'-0"

Project Design Conditions			
SB-12 Prescriptive Path	Table 3.1.1.2.A	Package A6	
Zone	1		
Heating Equipment	>= 92% AFUE		
Fuel	Gas		
Building Specifications			
Building Component	R Values	Building Component	Efficiency Ratings
Ceiling w/Attic	60	Windows/Sliding Glass Doors	ER 25 U 1.6
Ceiling without Attic	31	Skylights	2.8
Exposed Floor	31		
Walls Above Grade	22+5CI	Space Heating	92%
Basement Walls	20 CI	HRV Eff.	65%
Slab (All > 600mm Below Grade)	NA	DHW Eff.	0.8
Slab (Edge only <=600mm Below Grade)	10	Drain water heat recovery unit (connected to 2 showers/tubs)	1
Slab (All <= 600mm Below Grade Heated)	10		

2 Energy Efficiency Design Summary
6" = 1'-0"

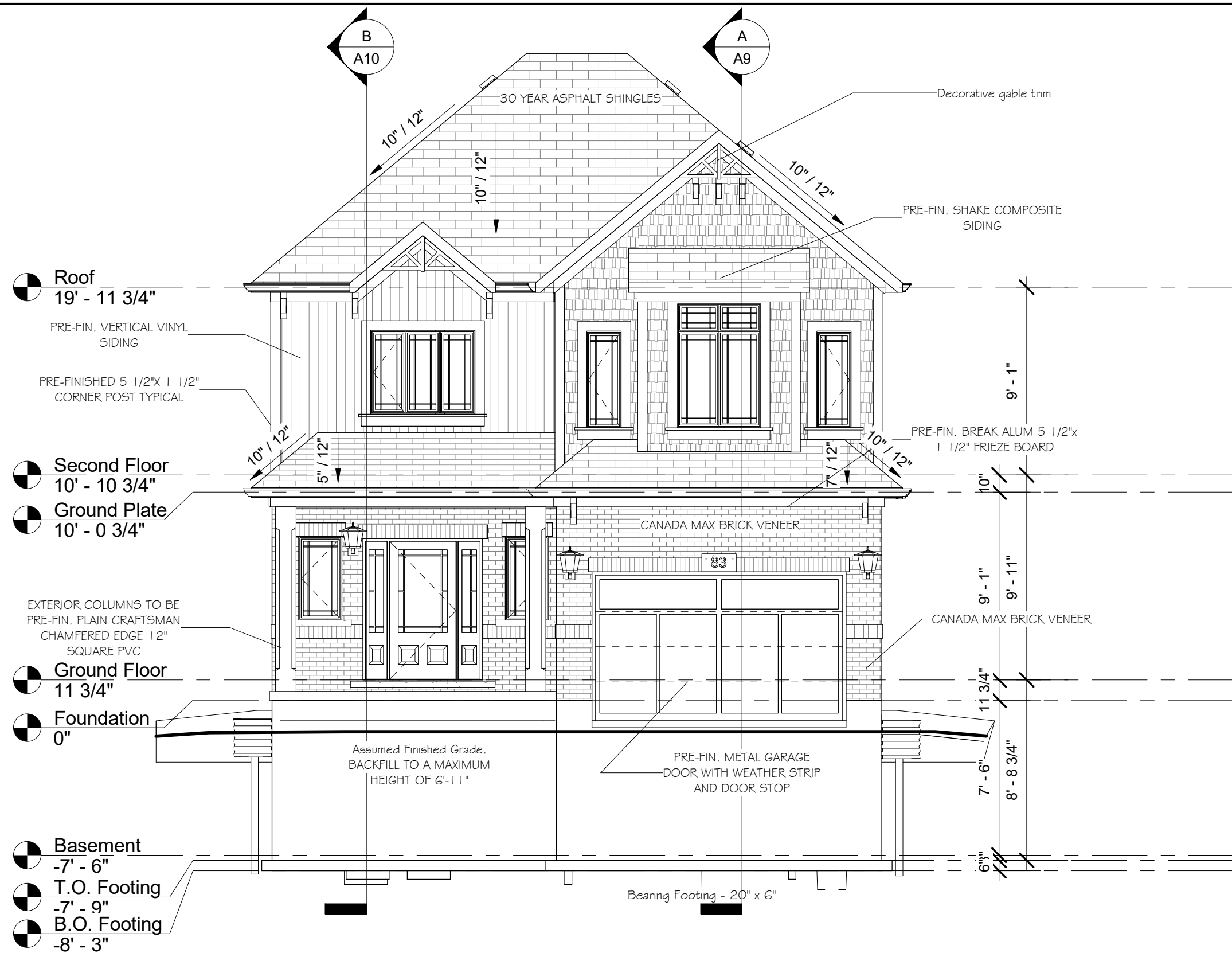
Craftsman Banting			
Wall to Glass Ratio			
Location	Wall Area	Glass Area	Ratio
North	605	128.6	21.3%
East	856	22.4	2.6%
South	612	72.5	11.8%
West	856	0	0.0%
Total	2929	223.5	7.6%

4 Craftsman Banting Wall to Glass Ratio
12" = 1'-0"

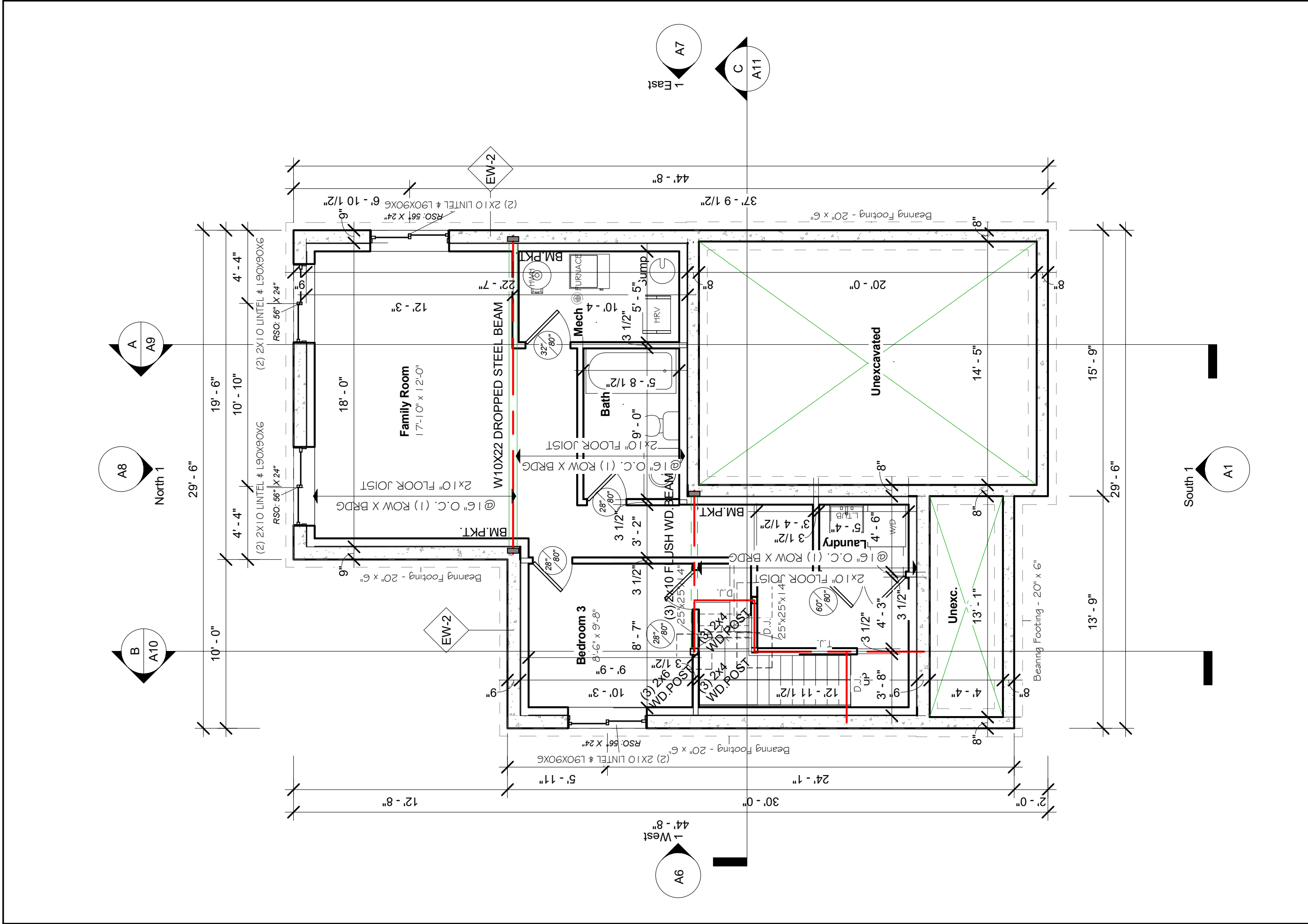
Sheet List	
Sheet Number	Sheet Name
A0	Title Sheet
A1	Front Elevation
A2	Basement Plan
A3	Ground Floor Plan
A4	Second Floor Plan
A5	Roof Plan
A6	Left Elevation
A7	Right Elevation
A8	Rear Elevation
A9	Building Sections
A10	Building Sections
A11	Building Sections
A12	Details
A13	Details
A14	Notes
E0	Basement Electrical Plan
E1	First Floor Electrical
E2	Second Floor Electrical

Area Schedule (Gross Building)	
Level	Area
Basement	587 SF
Ground Floor	779 SF
Second Floor	677 SF
Grand total: 3	2043 SF

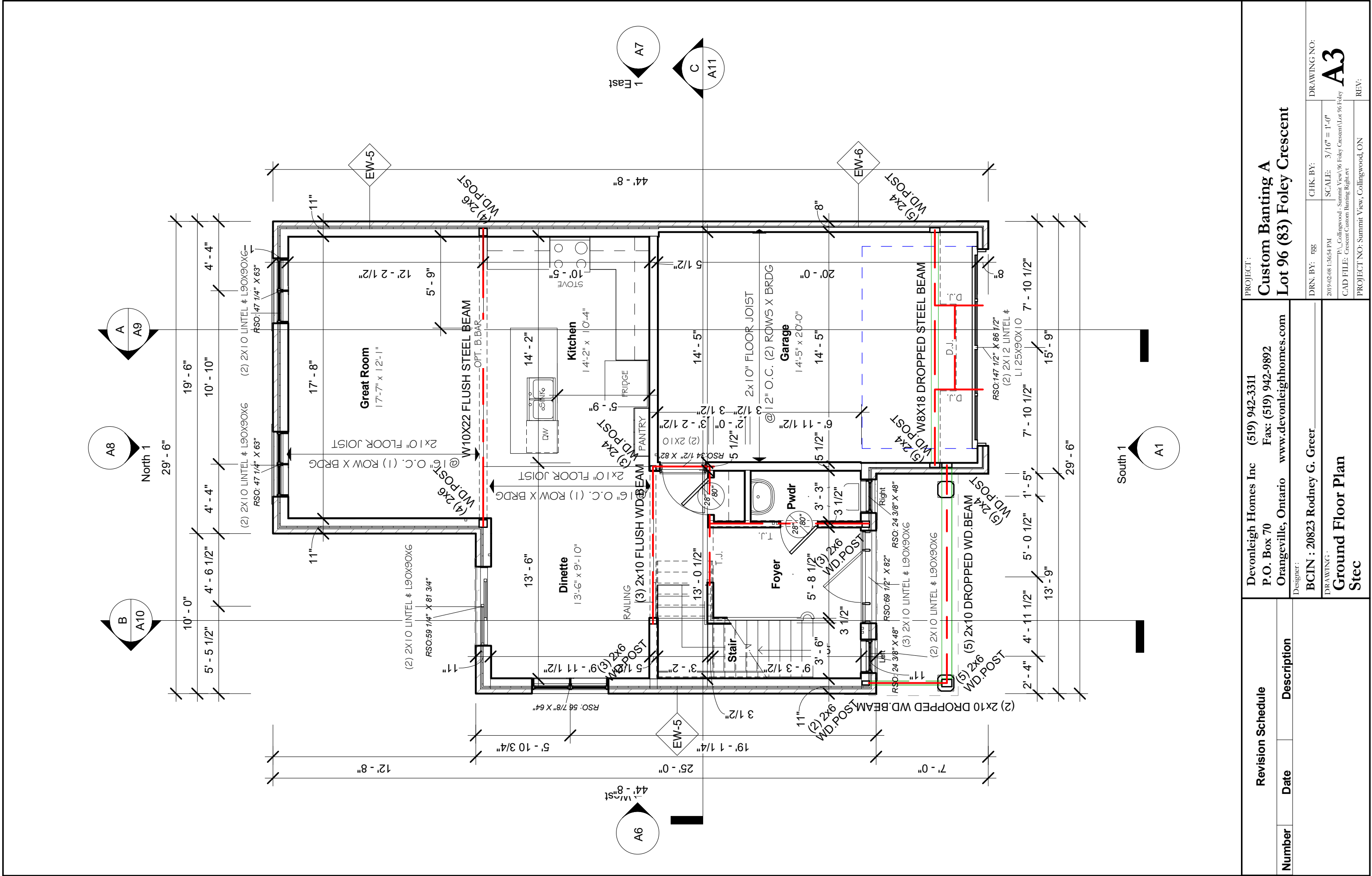
Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :			
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Custom Banting A			
				Orangeville, Ontario www.devonleighbhomes.com		Lot 96 (83) Foley Crescent			
				Designer :		DRN. BY: rgg		CHK. BY:	DRAWING NO:
				BCIN : 20823 Rodney G. Greer		2019-02-08 1:36:47 PM		SCALE: As indicated	
DRAWING :		CAD FILE: P:_Collingswood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt		REV:					
			Title Sheet		PROJECT NO: Summit View, Collingwood, ON				
			Stec						



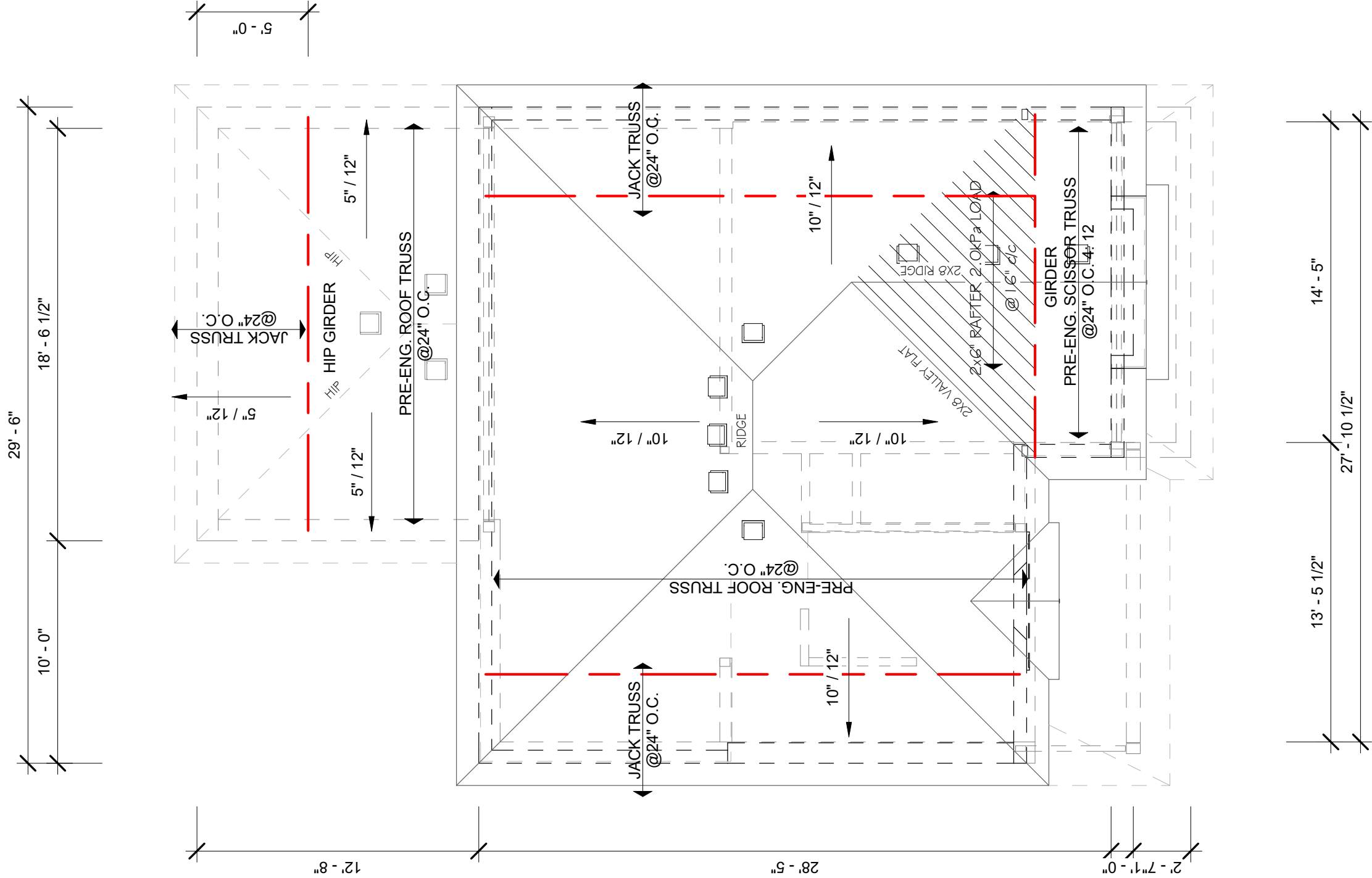
Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	<div>Devonleigh Homes Inc (519) 942-3311</div> <div>P.O. Box 70 Fax: (519) 942-9892</div> <div>Orangeville, Ontario www.devonleighhomes.com</div>	PROJECT :		
Number	Date	Description			Custom Banting A		
					Lot 96 (83) Foley Crescent		
					DRN. BY: rgg	CHK. BY:	DRAWING NO:
					2019-02-08 1:36:50 PM	SCALE: 3/16" = 1'-0"	A1
					P:_Collingwood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt		
					PROJECT NO: Summit View, Collingwood, ON		REV:



Revision Schedule		PROJECT:	
Number	Date	Description	
		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighbhomes.com	
		Designer: BCIN : 20823 Rodney G. Greer	
		DRAWING: Basement Plan Spec	
		PROJECT NO: Summit View, Collingwood, ON	
		CHK. BY: rgg	DRAWING NO: A2
		DRN. BY: rgg	SCALE: 3/16" = 1'-0"
		2019/02/08 13:05:11 PM	
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		PROJECT NO: Summit View, Collingwood, ON	
		REV:	

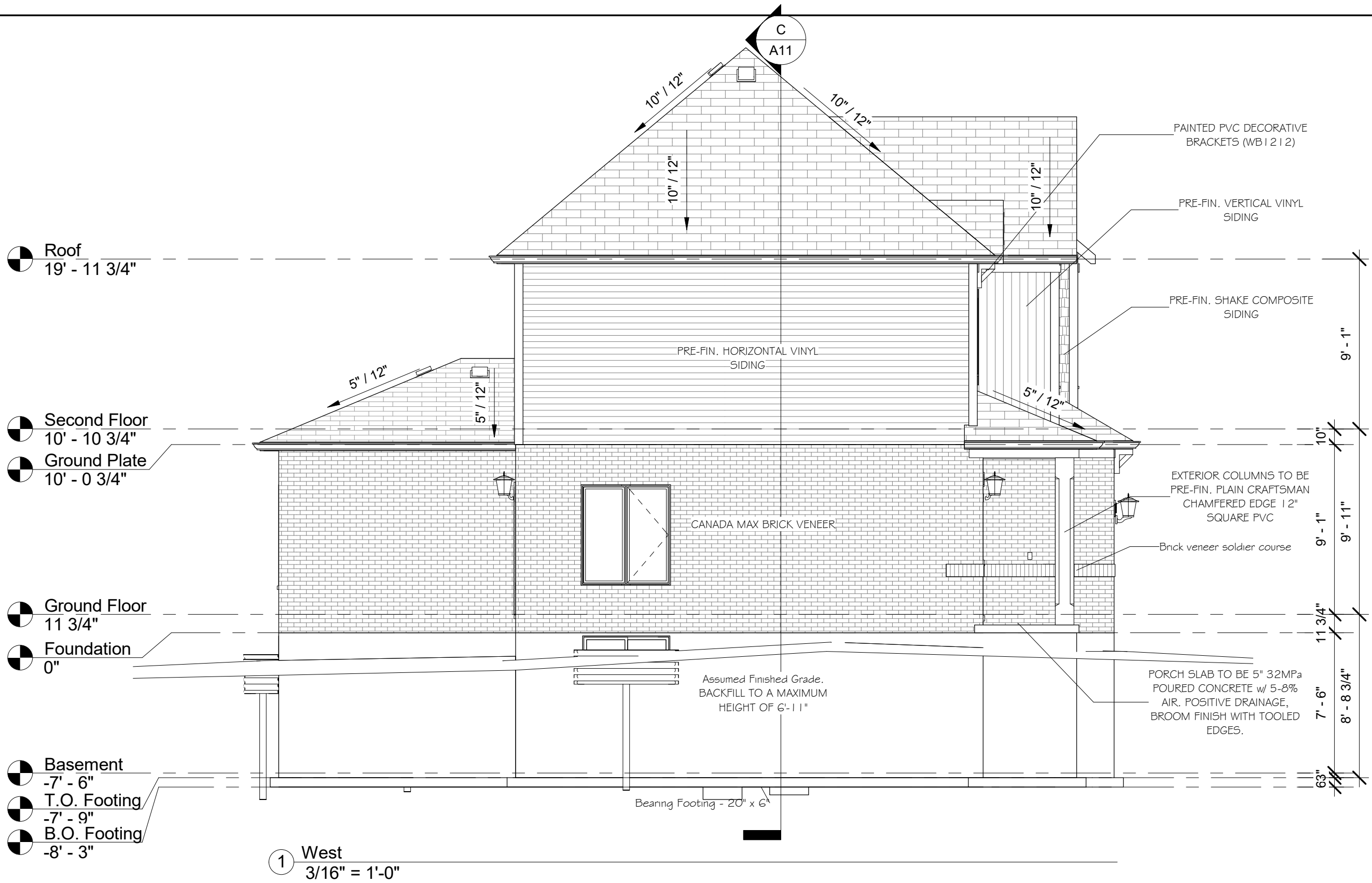


Revision Schedule		PROJECT:	
Number	Date	Description	
		Devonleigh Homes Inc (519) 942-3311	
		P.O. Box 70 Fax: (519) 942-9892	
		Orangeville, Ontario www.devonleighbhomes.com	
		Designer: BCIN : 20823 Rodney G. Greer	
		DRAWING: Ground Floor Plan	
		Stec	
		DRN. BY: rgg	CHK. BY:
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		CAD FILE: Crescent Custom Banting Right.rvt	
		PROJECT NO: Summit View, Collingwood, ON	
		REV:	
		DRAWING NO: A3	
		PROJECT: Custom Banting A	
		Lot 96 (83) Foley Crescent	

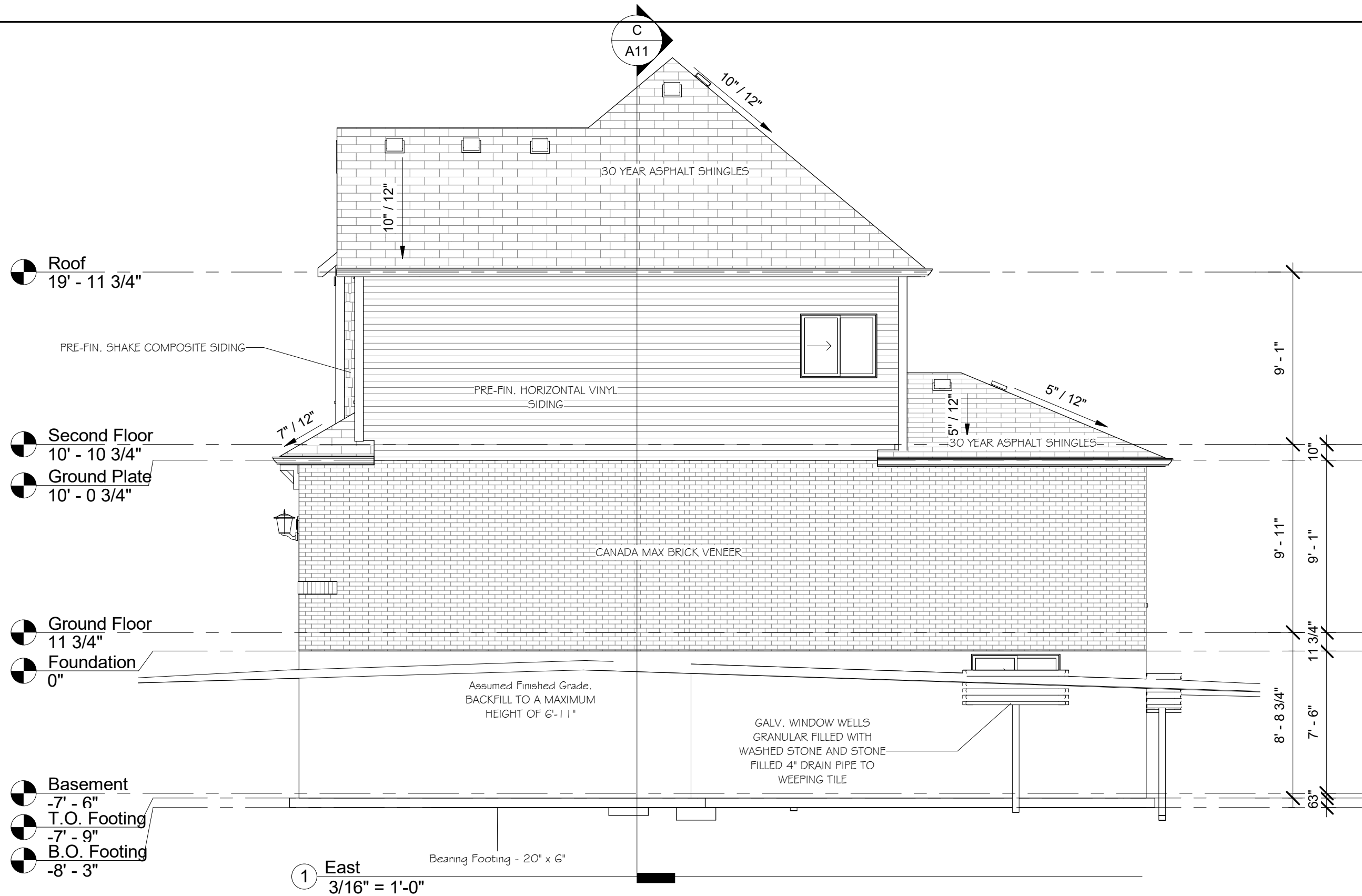


1 Roof Framing
3/16" = 1'-0"

Revision Schedule		PROJECT:	
Number	Date	Custom Banting A Lot 96 (83) Foley Crescent	
Description		DRN. BY: rgg	CHK. BY:
Roof Plan Spec		2019/02/08 1:36:58 PM	
		P:_Collingwood - Summit View\96 Foley Crescent\Lot 96 Foley	
		CAD FILE: Crescent Custom Banting Right.rvt	
		SCALE: 3/16" = 1'-0"	
		DRAWING NO: A5	
		REV:	
		PROJECT NO: Summit View, Collingwood, ON	



Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :			
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Custom Banting A			
				Orangeville, Ontario www.devonleighhomes.com		Lot 96 (83) Foley Crescent			
				Designer :		DRN. BY: rgg		CHK. BY:	DRAWING NO:
				BCIN : 20823 Rodney G. Greer		2019-02-08 1:37:00 PM		SCALE: 3/16" = 1'-0"	
				DRAWING :		CAD FILE: P:_Collingwood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt		A6	
				Left Elevation Stec		PROJECT NO: Summit View, Collingwood, ON			
				REV:					



Roof
19' - 11 3/4"

Second Floor
10' - 10 3/4"

Ground Plate
10' - 0 3/4"

Ground Floor
11 3/4"

Foundation
0"

Basement
-7' - 6"

T.O. Footing
-7' - 9"

B.O. Footing
-8' - 3"

1 East
3/16" = 1'-0"

Revision Schedule		
Number	Date	Description

GENERAL NOTES :

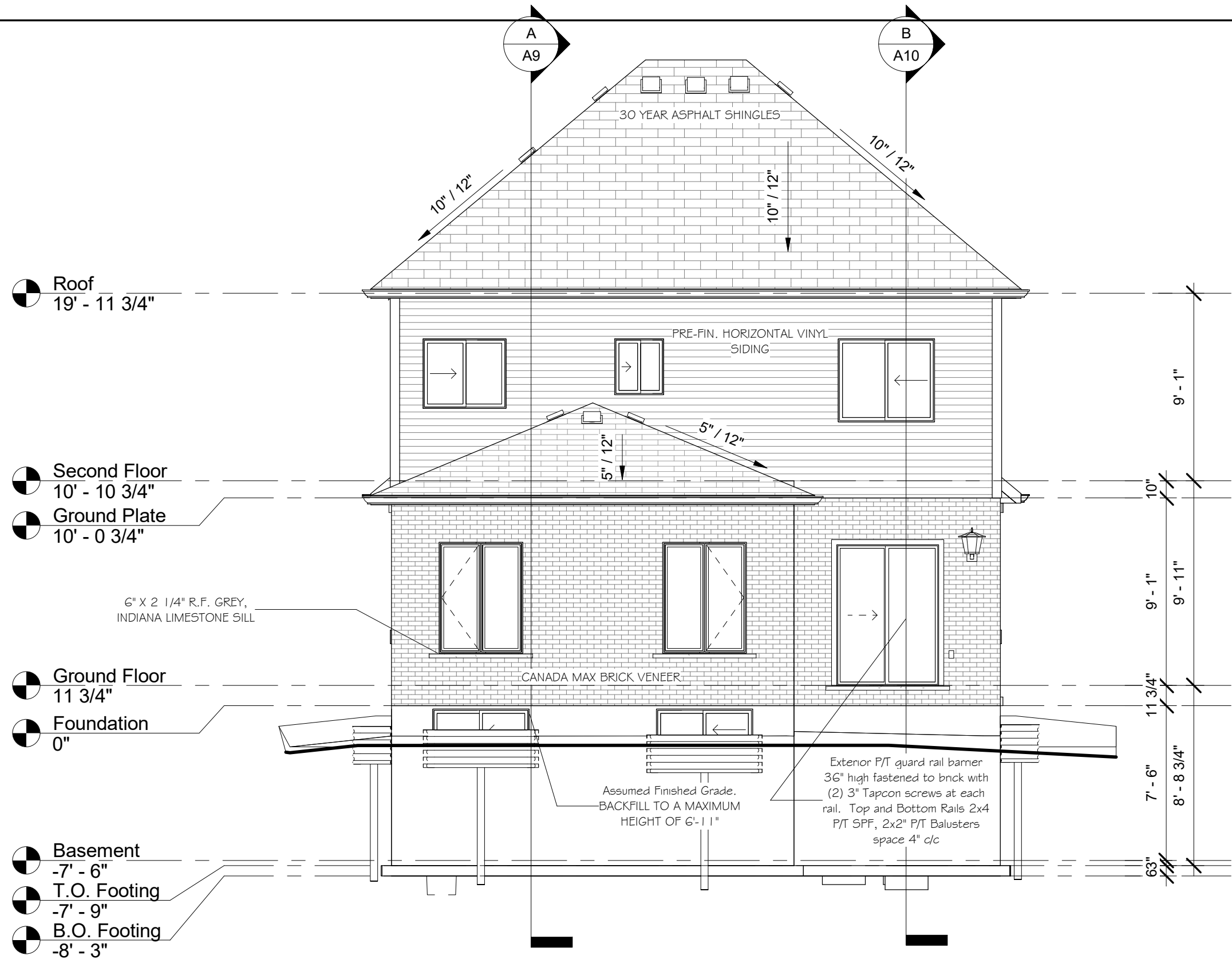
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Designer :
BCIN : 20823 Rodney G. Greer

DRAWING :
Right Elevation
Stec

PROJECT : Custom Banting A Lot 96 (83) Foley Crescent		
DRN. BY: rgg	CHK. BY:	DRAWING NO:
2019-02-08 1:37:02 PM	SCALE: 3/16" = 1'-0"	A7
CAD FILE: P:_Collingwood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt	PROJECT NO: Summit View, Collingwood, ON	
REV:		



Roof
19' - 11 3/4"

Second Floor
10' - 10 3/4"

Ground Plate
10' - 0 3/4"

Ground Floor
11 3/4"

Foundation
0"

Basement
-7' - 6"

T.O. Footing
-7' - 9"

B.O. Footing
-8' - 3"

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Orangeville, Ontario www.devonleighbhomes.com

Designer :

BCIN : 20823 Rodney G. Greer

DRAWING :

Rear Elevation
Stec

PROJECT :

Custom Banting A
Lot 96 (83) Foley Crescent

DRN. BY: rgg

CHK. BY:

DRAWING NO:

2019-02-08 1:37:04 PM

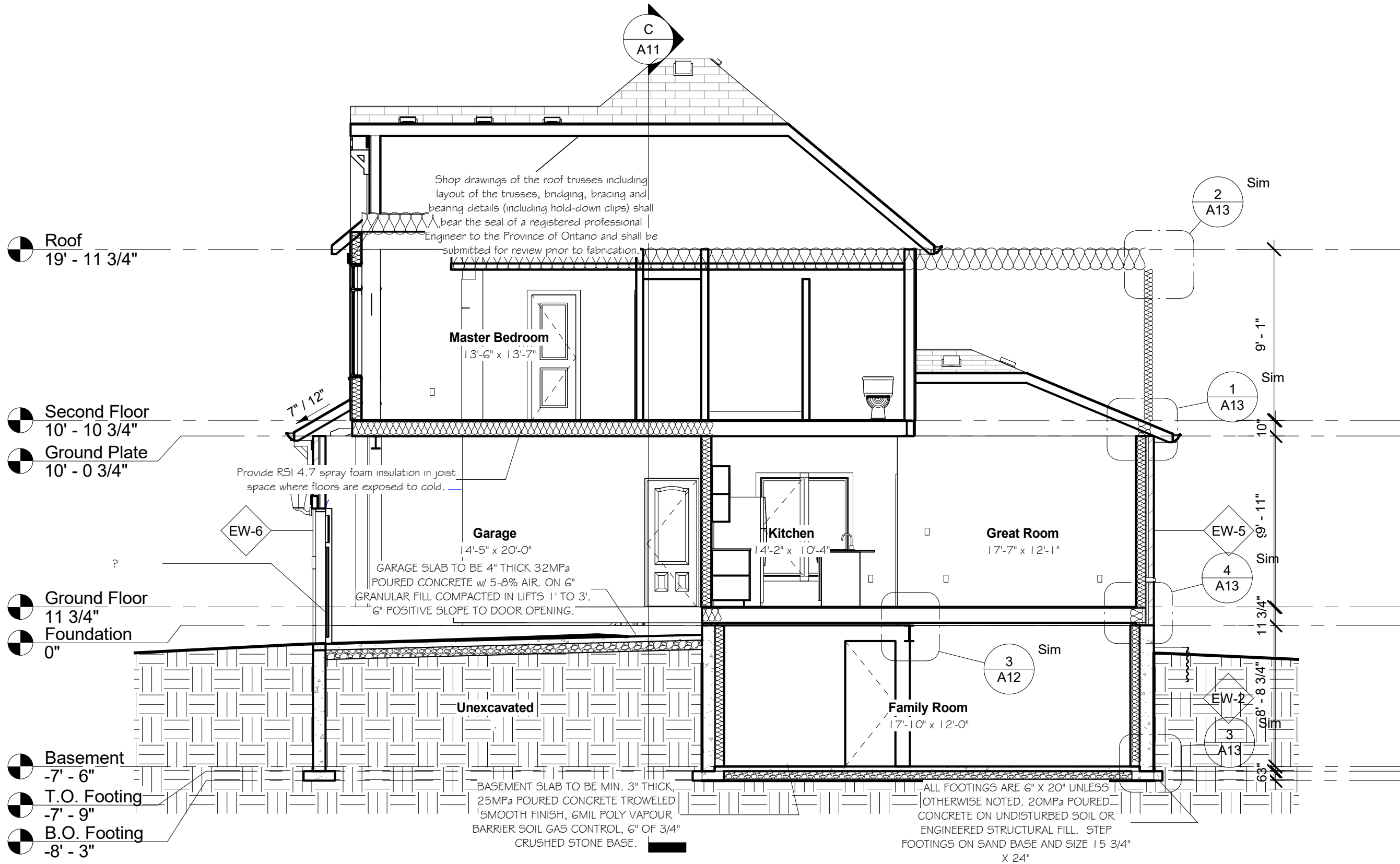
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PROJECT NO: Summit View, Collingwood, ON

REV:

A8

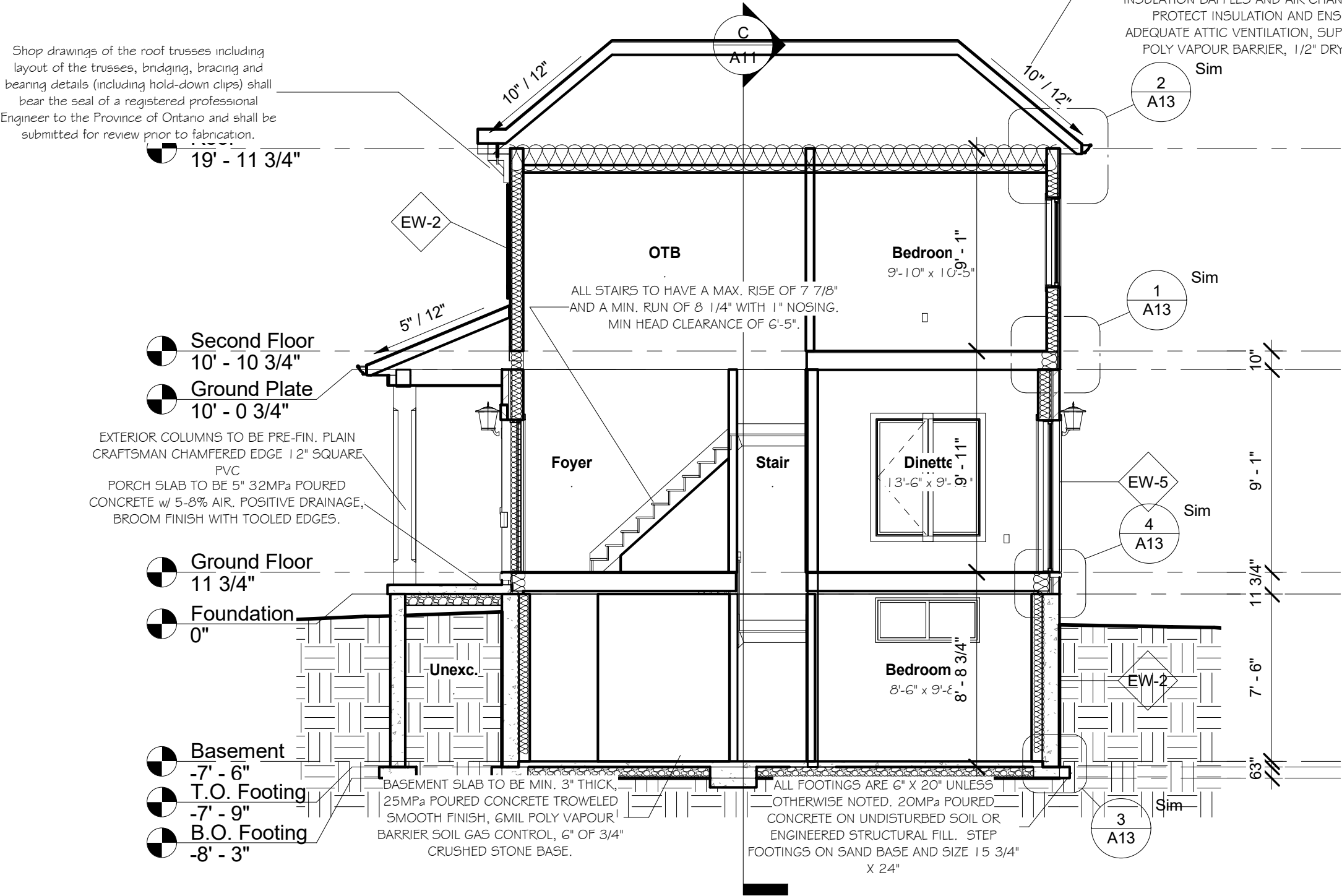


A Cross Section AA
3/16" = 1'-0"

PROJECT: Custom Banting A Lot 96 (83) Foley Crescent		DRN. BY: rgg	CHK. BY:	SCALE: 3/16" = 1'-0"	DRAWING NO:
		2019/02/08 13:50 PM	P:\Collingwood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt	CAD FILE: Crescent Custom Banting Right.rvt	A9
PROJECT NO: Summit View, Collingwood, ON		REV:			
Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighhomes.com		Designer: BCIN : 20823 Rodney G. Greer			
Revision Schedule		Building Sections Sec			
Number	Date	Description			

Shop drawings of the roof trusses including layout of the trusses, bridging, bracing and bearing details (including hold-down clips) shall bear the seal of a registered professional Engineer to the Province of Ontario and shall be submitted for review prior to fabrication.

ASPHALT SHINGLES, MIN. 30LB. EAVE PROTECTION, GALV. EAVE STARTER STRIP, VALLEY FLASHINGS TO BE 36" WIDE, ROOF VENTS AT HIGH POINT OF ROOF (1/300 OF S.F.), 7/16" OSB. ROOF SHEETING c/w 'H' CLIPS, PRE-ENG ROOF FRAMING AS NOTED, MIN. R-5 I BLOWN INSULATION PROVIDE INSULATION BAFFLES AND AIR CHANNELS TO PROTECT INSULATION AND ENSURE ADEQUATE ATTIC VENTILATION, SUPPER 6mil POLY VAPOUR BARRIER, 1/2" DRYWALL



B Cross Section BB
3/16" = 1'-0"

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Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Custom Banting A			
				Orangeville, Ontario www.devonleighbhomes.com		Lot 96 (83) Foley Crescent			
				Designer :		DRN. BY: rgg		CHK. BY:	DRAWING NO:
				BCIN : 20823 Rodney G. Greer		2019-02-08 1:37:09 PM		SCALE: 3/16" = 1'-0"	A10
DRAWING :		CAD FILE: P:_Collingwood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt		REV:					
			Building Sections		PROJECT NO: Summit View, Collingwood, ON				
			Stec						

ASPHALT SHINGLES, MIN. 30LB. EAVE PROTECTION, GALV. EAVE STARTER SRIP, VALLEY FLASHINGS TO BE 36" WIDE, ROOF VENTS AT HIGH POINT OF ROOF (1/300 OF S.F.), 7/16" OSB. ROOF SHEETING c/w 'H' CLIPS, PRE-ENG ROOF FRAMING AS NOTED, MIN. R-5 I BLOWN INSULATION PROVIDE INSULATION BAFFLES AND AIR CHANNELS TO PROTECT INSULATION AND ENSURE ADEQUATE ATTIC VENTILATION, SUPPER 6mil POLY VAPOUR BARRIER, 1/2" DRYWALL

Shop drawings of the roof trusses including layout of the trusses, bridging, bracing and bearing details (including hold-down clips) shall bear the seal of a registered professional Engineer to the Province of Ontario and shall be submitted for review prior to fabrication.

Roof
19' - 11 3/4"

Tall wall with (2) 2x6 stud @ 12"o/c (5.6m max height)

Second Floor
10' - 10 3/4"

Ground Plate
10' - 0 3/4"

Ground Floor
11 3/4"

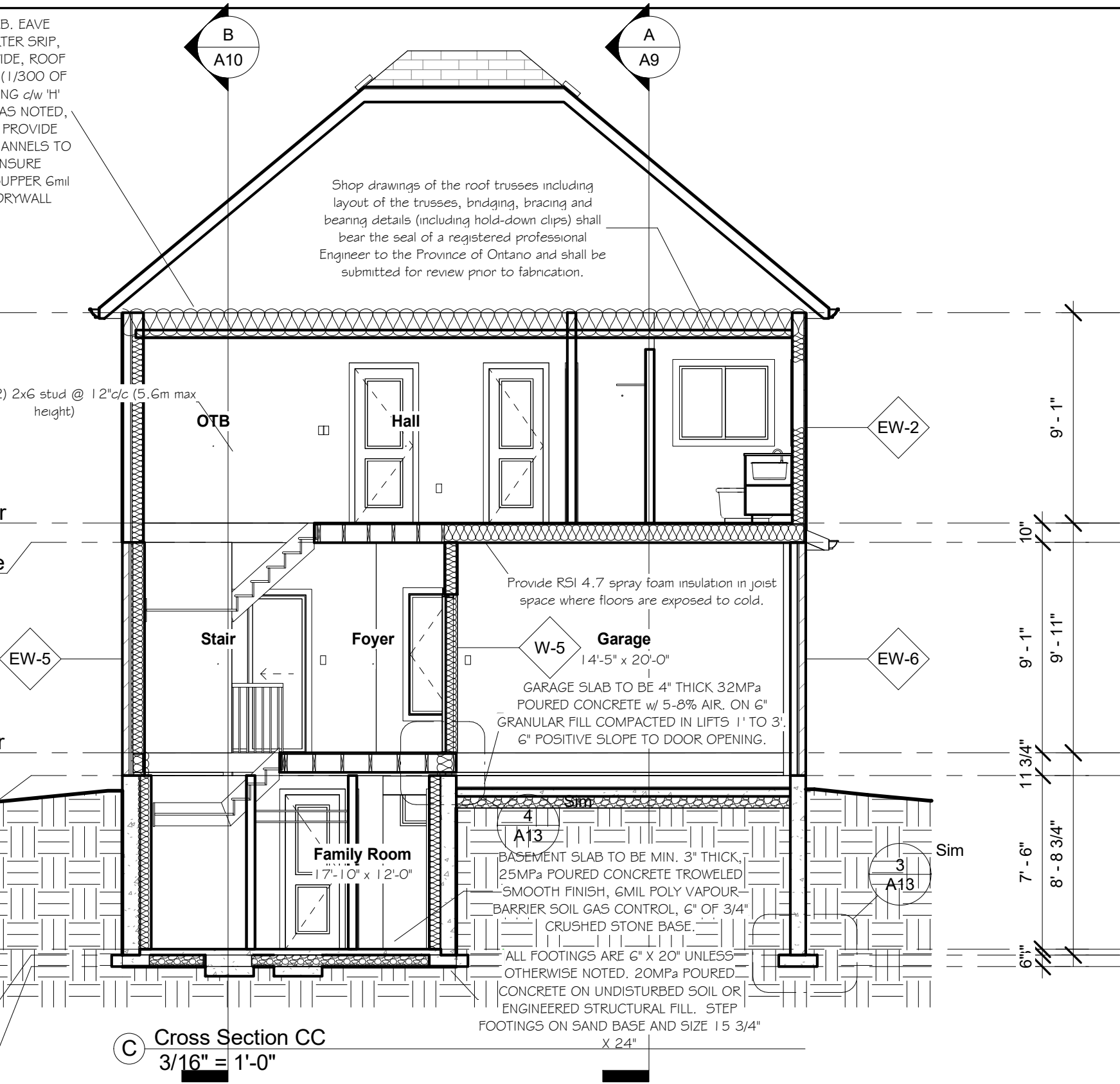
Foundation
0"

Basement
-7' - 6"

T.O. Footing
-7' - 9"

B.O. Footing
-8' - 3"

C Cross Section CC
3/16" = 1'-0"



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Orangeville, Ontario www.devonleighhomes.com

Designer :

BCIN : 20823 Rodney G. Greer

DRAWING :

Building Sections
Stec

PROJECT :

Custom Banting A
Lot 96 (83) Foley Crescent

DRN. BY: rgg

CHK. BY:

DRAWING NO:

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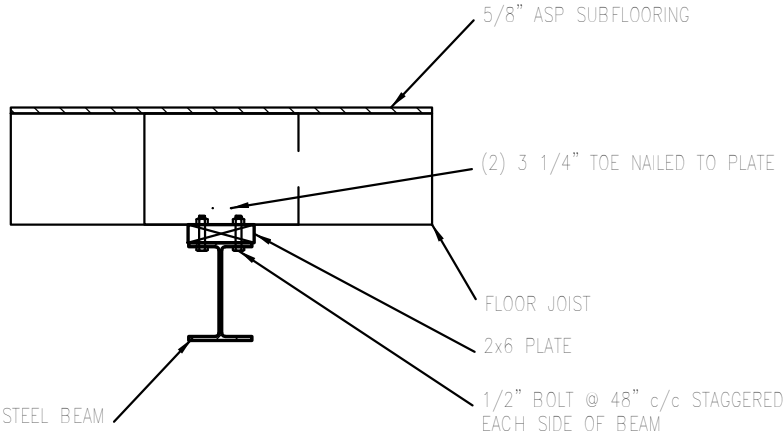
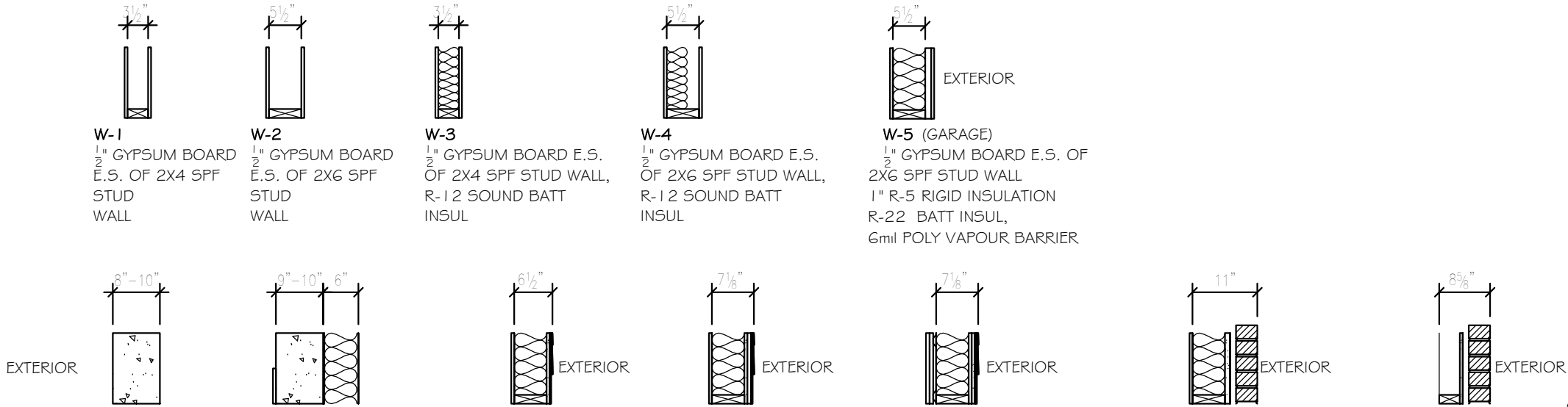
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CAD FILE: P:_Collingwood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt

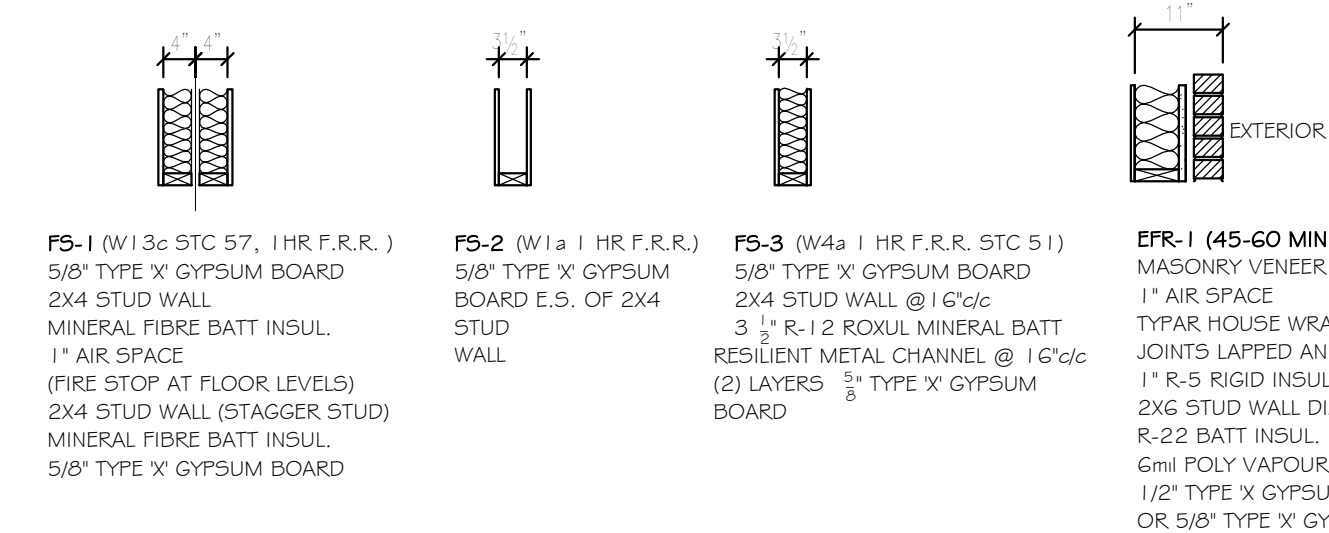
PROJECT NO: Summit View, Collingwood, ON

REV:

A11

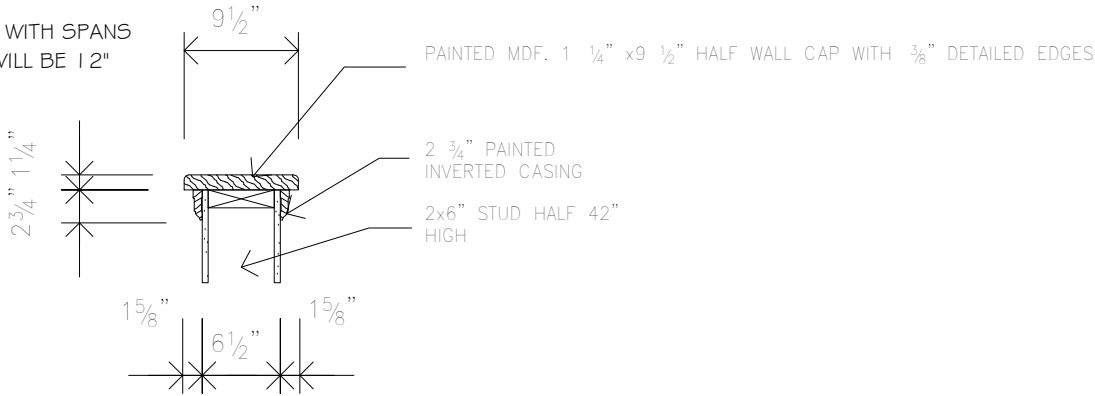


3 Detail Beam Connection
3/4" = 1'-0"



NOTES:

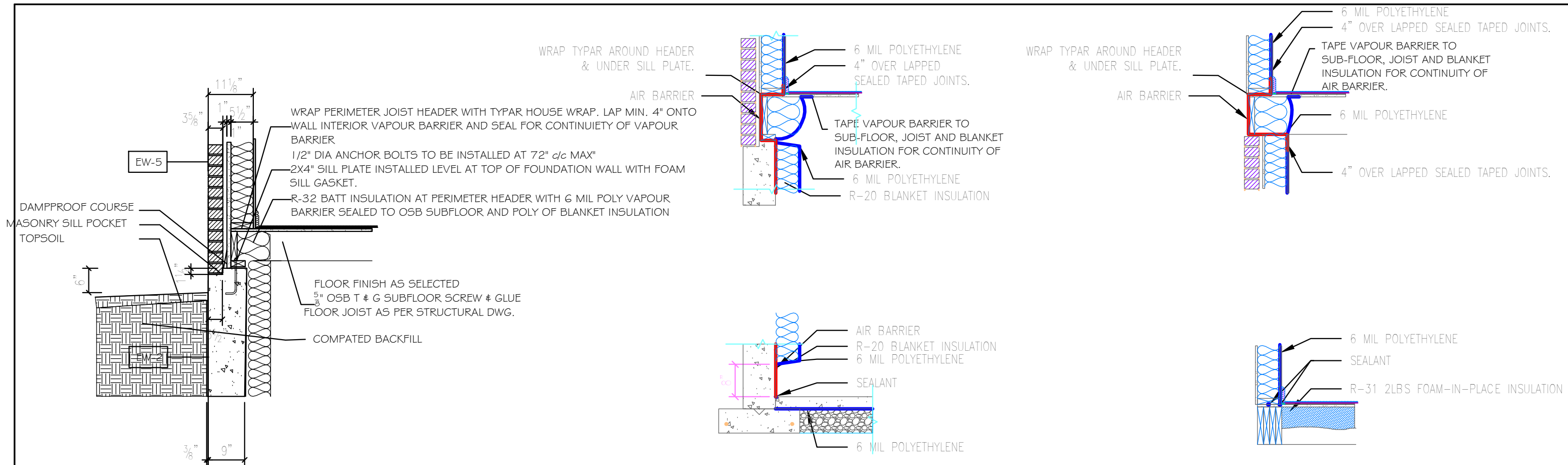
ALL STUD SPACING ARE @ 16" c/c UNLESS OTHERWISE STATED.
WHERE STUD SUPPORT ROOF TRUSSES WITH SPANS GREATER THAN 42'-0", STUD SPACING WILL BE 12" c/c WITH MID HEIGHT BLOCKING.



2 Detail Half Wall Cap
3/4" = 1'-0"

1 Standard Wall Assemblies
1/2" = 1'-0"

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Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Custom Banting A			
				Orangeville, Ontario www.devonleighhomes.com		Lot 96 (83) Foley Crescent			
				Designer :		DRN. BY: rgg		CHK. BY:	DRAWING NO:
				BCIN : 20823 Rodney G. Greer		2019-02-08 1:37:13 PM		SCALE: As indicated	A12
DRAWING :		CAD FILE: P:_Collingwood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt		REV:					
			Details Stec		PROJECT NO: Summit View, Collingwood, ON				



4 Detail Typical T.O. Foundation
1/2" = 1'-0"

1 Air Barrier Details
1/2" = 1'-0"

2 Detail Top Plate
1/2" = 1'-0"

3 Detail Typical Footing
1/2" = 1'-0"

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Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Custom Banting A	
				Orangeville, Ontario www.devonleighthomes.com		Lot 96 (83) Foley Crescent	
				Designer :		DRN. BY: rgg	
				BCIN : 20823 Rodney G. Greer		CHK. BY:	
DRAWING :		2019-02-08 1:37:15 PM		SCALE: 1/2" = 1'-0"		DRAWING NO: A13	
Details		P:_Collingwood - Summit View\96 Foley Crescent\Lot					
Stec		96 Foley Crescent Custom Banting Right.rvt					
				PROJECT NO: Summit View, Collingwood, ON		REV:	

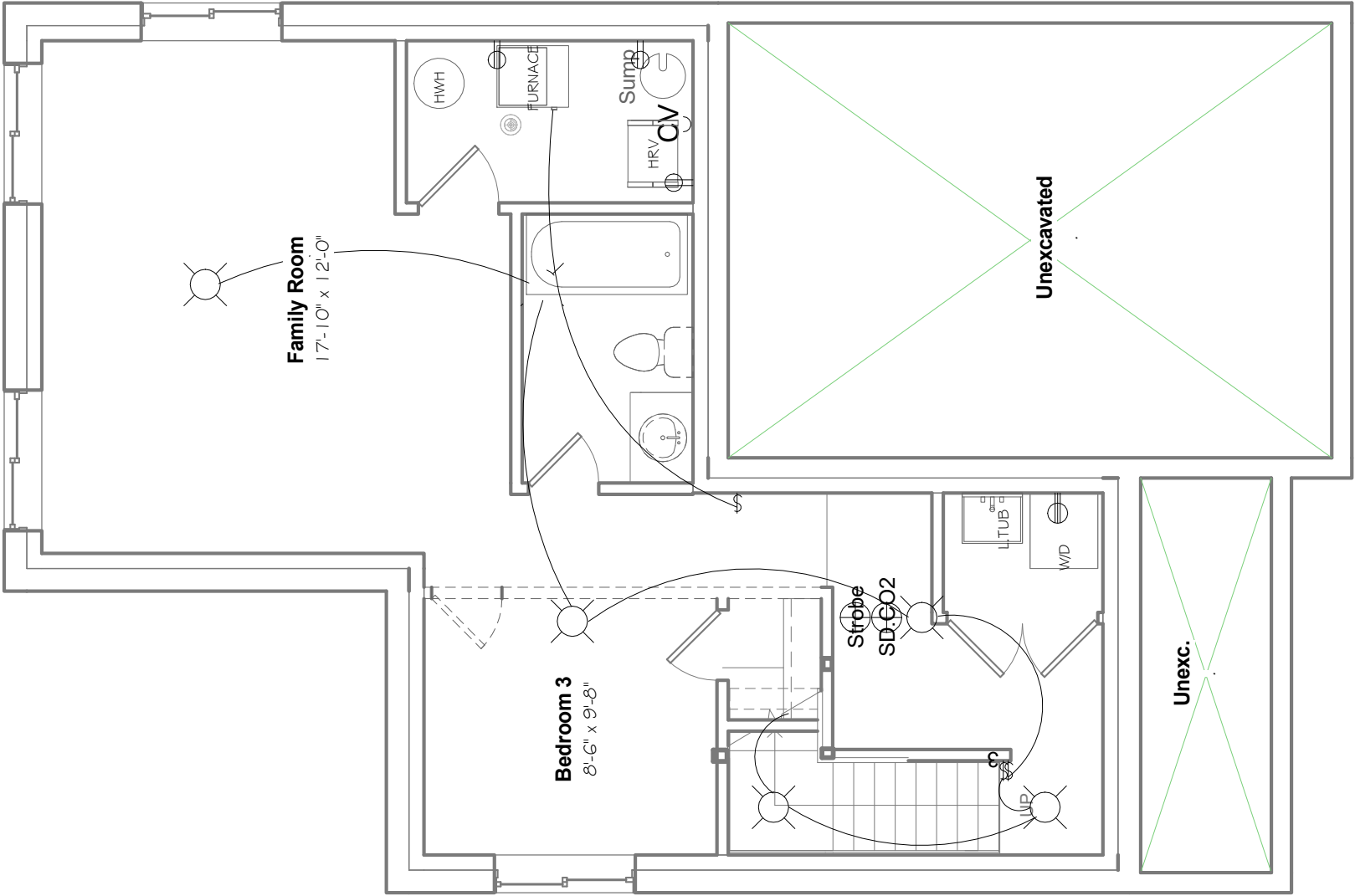
- GENERAL NOTES:
- THE BUILDING SHALL BE SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
 - GARAGE SLAB TO BE 4" THICK 32MPa POURED CONCRETE w/ 5-8% AIR. ON 6" GRANULAR FILL COMPACTED IN LIFTS. 1"-3" POSITIVE SLOPE TO DOOR OPENING.
 - WEeping TILE TO BE 4" BIG 'O' c/w SOCK AND 6" OF 3/4" STONE COVER MIN.
 - BRICK VENEER TO BE MAX SIZE CANADA BRICK WITH METAL TIES AT 15 3/4" VERTICAL AND 31 1/2" HORIZONTAL OR 23 5/8" VERTICAL AND 15 3/4" HORIZONTAL. WEEP HOLES SHALL BE PROVIDED AT 2'-7" C/C AT BOTTOM OF CAVITY WALLS AND ABOVE LINTELS.FLASHING BENEATH WEEP HOLES IN BRICK VENEER OVER WOOD FRAMED WALLS SHALL EXTEND 3/16" BEYOND THE OUTER FACE OF THE BUILDING AND 5 7/8" UP THE WOOD FRAME.
 - INSTALL WALL GIRTS WHEN WALL HEIGHT EXCEEDS 9'-10"
 - DRYWALL SCREWS MAX 11 3/4" c/c FOR CEILINGS, 15 3/4" c/c ON WALLS WITH STUDS 16" c/c
 - EXTERIOR CONCRETE TO HAVE 32MPa COMPRESSIVE STRENGTH w/ MAX 4" SLUMP.
 - WINDOW AND DOOR HEAD HEIGHTS TO BE 82 1/2" UNLESS OTHERWISE STATED. TRANSOM WINDOWS SET ABOVE 82 1/2"
 - DOOR WIDTH RSO TO BE 2" LARGER THAN NOTED DOOR SIZE
 - LIGHT OUTLETS SHALL BE CONTROLLED BY A WALL SWITCH IN KITCHENS, BEDROOMS, LIVING ROOMS, UTILITY ROOMS, LAUNDRY ROOMS, DINING ROOMS, BATH ROOMS, WATER CLOSET ROOMS, VESTIBULES AND HALLWAYS. A SWITCH TO RECEPTACLE CONTROLLED BY A WALL SWITCH CAN BE USED IN BEDROOMS AND LIVING ROOMS. BASEMENTS LIGHT OUTLETS SHALL BE PROVIDED FOR EACH 323 SQ.FT. OF FLOOR AREA
 - PROVIDE BLOCKING FOR NEWEL POST AT WALL 42" HIGH, CORNER SHOWER STALLS 38" FROM CORNERS.

- BASEMENT NOTES:
- INTERIOR PERIMETER OF CONCRETE FOUNDATION WALLS TO HAVE FULL HEIGHT R-20 BLANKET INSULATION W/ SUPER 6MIL POLY VAPOUR BARRIER AND TYPAR BUILDING WRAP.
 - INTERIOR LINTELS TO BE (2) 2X6" #2 SPF UNLESS OTHERWISE NOTED REFER TO SCHEDULES.
 - ROUGH-IN FUTURE (3) THREE PIECE BATH WHERE (IF) SHOWN.
 - ALL FOOTINGS ARE 6" X 20" UNLESS OTHERWISE NOTED. 15MPa POURED CONCRETE ON UNDISTURBED SOIL OR ENGINEERED STRUCTURAL FILL. STEP FOOTINGS ON SAND BASE AND SIZE 15 3/4" X 24"
 - FOUNDATION WALLS TO BE 8" THICK, UNLESS OTHERWISE NOTED, WITH 20MPa POURED CONCRETE COMPRESSIVE STRENGTH.
 - ANCHOR BOLTS TO BE INSTALLED AT 72" C/C MAX
 - 4" DIA. STEEL TELEPOSTS TO BE USED WHERE SHOWN, BOLT TO CONCRETE FOOTING AND SUPPORTED STEEL BEAM
 - BACKFILL TO A MAXIMUM HEIGHT OF 6'-11"
 - DAMP PROOF EXTERIOR PERIMETER OF FOUNDATION WALL WITH BITUMEN. TAR SNAP TIES AND AROUND ANY MECHANICAL / PLUMBING PENETRATIONS.
 - DRAINAGE LAYER TO BE SYSTEM PLATON.
 - BASEMENT SLAB TO BE MIN. 3" THICK, 25MPa POURED CONCRETE TROWELED SMOOTH FINISH ON 6" OF 3/4" STONE BASE.
 - IF GARAGE IS EXCAVATED FILL WITH SAND COMPACT TO 98% STANDARD PROCTOR.
 - PROVIDE DIRECT VENTING FROM GAS FURNACE AND HOT WATER HEATER TO EXTERIOR
 - PROVIDE 4" DIA METAL PIPE TO VENT DRYER TO EXTERIOR C/W HOOD AND DAMPER
 - SLOPE BASEMENT FLOOR SLAB TO FLOOR DRAIN
 - GARAGE DOOR POCKET SIZE TO SUIT GRADE FROM TOP OF BRICK LEDGE AND GARAGE DOOR WIDTH.
 - PROVIDE 6" SLEEVE FOR SEPTIC SYSTEM PIPE 6" BELOW FINISHED GRADE WHERE APPLICABLE
 - PROVIDE 6" SLEEVE FOR WATERLINE AND HYDRO ENTRY
 - SUMP PIT AND PUMP, PROVIDE DUPLEX RECEPTACLE WITHIN 24" TO POWER PUMP.
 - SMOKE ALARMS C/W STROBE, SHALL BE HARDWIRED AND INTERCONNECTED AND SHALL BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE THAT CAN CONTINUE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN THE NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM.
 - HOT WATER PIPES THAT ARE VERTICALLY CONNECTED TO A HOT WATER STORAGE TANK SHALL HAVE HEAT TRAPS ON BOTH INLET AND OUTLET PIPING AS CLOSE AS PRACTICAL TO THE TANK, EXCEPT WHERE THE TANK,(A) HAS AN INTEGRAL HEAT TRAP, OR (B) SERVES A RECIRCULATING SYSTEM. THE FIRST 2.5 M OF HOT WATER OUTLET PIPING OF A HOT WATER STORAGE TANK SERVING A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.62. THE INLET PIPE OF A HOT WATER STORAGE TANK BETWEEN THE HEAT TRAP AND THE TANK SERVING A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.62.
 - WHERE A SUPPLY DUCT IS LOCATED IN A CONDITIONED SPACE, THE DUCTWORK SHALL BE SEALED TO A CLASS C SEAL LEVEL IN ACCORDANCE WITH THE SMACNA, "HVAC DUCT CONSTRUCTION STANDARDS – METAL AND FLEXIBLE".

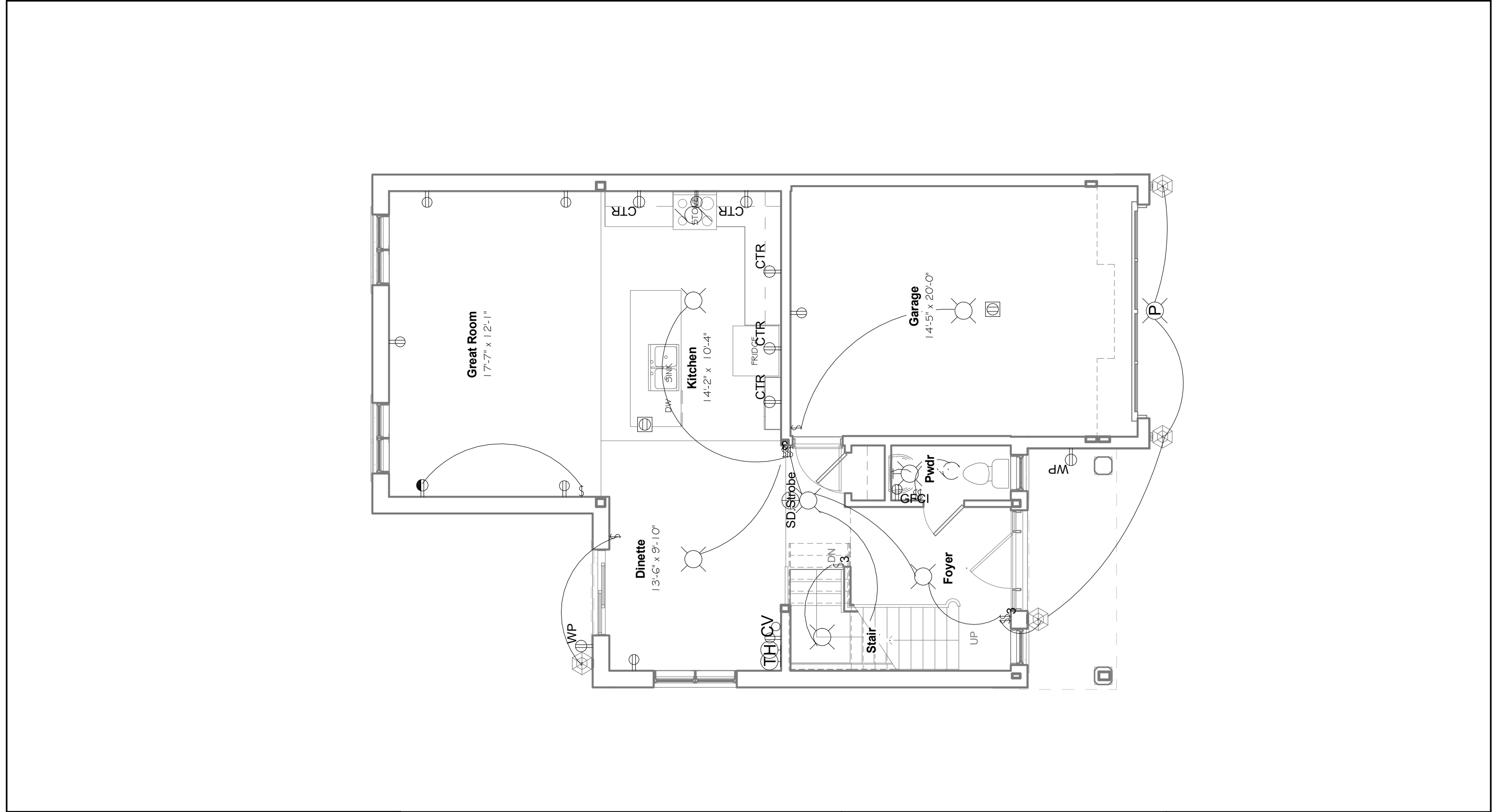
- FIRST FLOOR NOTES:
- PRE-HUNG INSULATED STEEL SKIN DOOR C/W SELF-CLOSER, WEATHERSTRIP AND ALUMINUM THRESHOLD FROM GARAGE TO HOUSE
 - PROVIDE SMOKE-TIGHT JOINTS BETWEEN HOUSE AND GARAGE C/W R-22 F.F. BATT INSULATION AND 1" R-5 RIGID INSUL. SUPER 6MIL POLY VAPOUR BARRIER. CAULK AROUND ALL OPENINGS AND PENETRATIONS BETWEEN GARAGE AND HOUSE.
 - ALL INTERIOR LINTELS ARE (2) 2X6" #2 SPF UNLESS OTHERWISE NOTED REFER TO SCHEDULE.
 - REFER TO LINTEL SCHEDULES FOR EXTERIOR LINTELS.
 - GARAGE DOOR LINTEL TO BE (2) 2X12" WITH 7/16" OSB UNLESS OTHERWISE NOTED
 - PORCH SLAB TO BE 5" 32MPa POURED CONCRETE W/ 5-8% AIR. POSITIVE DRAINAGE, BROOM FINISH WITH TOOLED EDGES.
 - WIRE ROD AND SHELF IN ALL CLOSETS
 - DECORATIVE POSTS (8" OR 10") ON TOP OF BRICK PILLARS AS SHOWN ON THE ELEVATIONS.
 - INTERIOR WALLS TO BE 2X4" #2 SPF STUDS @16"C/C (3 1/2" THICK) UNLESS OTHERWISE NOTED (2X6" STUDS - 5 1/2" THICK)
 - USE PRE-ENGINEERED ROOF TRUSSES @24"C/C OR CONVENTIONAL FRAME WITH 2X6" #2SPF RAFTERS AND CEILING JOISTS @16"C/C
 - SUB FLOOR TO BE 5/8" T&G OSB AND IS TO BE GLUED AND SCREWED.
 - ALL STAIRS TO HAVE A MAX. RISE OF 7 7/8" AND A MIN. RUN OF 8 1/4" WITH 1" NOSING. MIN HEAD CLEARANCE OF 6'-5". HANDRAILS AND GUARD RAILS CONSTRUCTED IN ACCORDANCE WITH THE SUPPLEMENTARY GUIDELINES SG-7 OF THE ONTARIO BUILDING CODE.
 - AIR / VAPOUR BARRIER TO BE LAPPED 4" AND SEALED. ELECTRICAL BOXES TO BE SELF SEALING PVC AND SEALED TO VAPOUR BARRIER
 - WHERE PORCH IS UNEXCAVATED PROVIDE 6" COMPACTED GRANULAR DIRECTLY BELOW SLAB. WHERE PORCH IS OVER COLD ROOM PROVIDE 10M BARS @8" C/C EACH DIRECTION WITH 1 1/4" COVER FROM THE BOTTOM. MIN. 3" BEARING ON TOP OF FOUNDATION WALL ALL SIDES AND ANCHORED TO WALL WITH 10M DOWELS 24"x24" @24" C/C, UNLESS NOTED OTHERWISE.
 - 22X34" PRE-HUNG R-20 INSUL STEEL ATTIC ACCESS HATCH C/W WEATHER STRIP.
 - PRE-HUNG INSULATED STEEL SKIN DOOR C/W WEATHER STRIP AND ALUMN. THRESHOLD
 - SEALED TRIPLE SOLARBAN 60 LOW E GLAZING IN VINYL FRAMES OPERATION AND MUNTIN BARS WHERE SHOWN ON DRAWINGS.
 - ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR.
 - MECHANICAL AND PLUMBING SPECIFICATIONS, LOCATIONS, AND MATERIALS BY MECHANICAL AND PLUMBING CONTRACTORS.
 - THE PROGRAMMABLE THERMOSTATIC CONTROL DEVICE SHALL,(A) ALLOW THE SETTING OF DIFFERENT AIR TEMPERATURES FOR AT LEAST, (I) FOUR TIME PERIODS PER DAY, AND (II) TWO DIFFERENT DAY-TYPES PER WEEK,(B) INCLUDE A MANUAL OVERRIDE, AND (C) ALLOW THE SETTING OF THE AIR TEMPERATURE TO,(I) 13°C OR LOWER IN HEATING MODE, AND (II) 29°C OR HIGHER IN COOLING MODE, WHERE AIRCONDITIONING IS PROVIDED.
 - ADD SOLID BLOCKING FOR FUTURE GRAB BAR AS PER OBC SENTENCE 3.8.3.8.(1).(D) REFER TO DETAIL

- STRUCTURAL SPECIFICATIONS:
- ENSURE MIN 75KPA SOIL BEARING CAPACITY
 - EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL, KEPT FREE OF STANDING WATER AND SHALL BE KEPT FROM FREEZING DURING THE COURSE OF CONSTRUCTION.
 - COMPRESSIVE STRENGTH OF CONCRETE:
 - FOOTINGS SHALL BE 20MPa
 - FOUNDATION WALLS 15MPa CODE MIX
 - INTERIOR FLOOR SLABS 25MPa
 - EXTERIOR SLABS EXPOSED TO WEATHER 32MPa
 - GARAGE FLOOR SLAB 32MPa
 - STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-S16.1-M
 - STEEL BEAMS AND LINTELS SHALL HAVE AN MINIMUM 6" END BEARING ON CONCRETE OR MASONRY.
 - WELDING OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W59 AND SHALL BE UNDERTAKEN BY A FABRICATOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W41.
 - SHOP DRAWINGS OF THE ROOF TRUSSES INCLUDING LAYOUT OF THE TRUSSES, BRIDGING, BRACING AND BEARING DETAILS (INCLUDING HOLD-DOWN CLIPS) SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER TO THE PROVINCE OF ONTARIO AND SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
 - ALL LUMBER FOR WOOD TRUSSES SHALL BE KILN DRIED AND WELL SEASONED IN ORDER TO PREVENT POSSIBLE DISTORTION OR DEFORMATION OF THE TRUSS.
 - STRUCTURAL LOADS AND DEFLECTION:
 - FLOORS: DEAD LOAD = 0.70KPA (15PSF) 1/360 MAX DEFLECTION
 - FLOORS: DEAD LOAD = 1.30KPA (27.2PSF) 1/360 MAX DEFLECTION CERAMIC AREAS
 - OTHER AREAS: LIVE LOAD = 1.90KPA (40PSF) 1/360 MAX DEFLECTION
 - PARTITIONS: DEAD LOAD = 1.0KPA (20.8PSF)
 - ROOF: DEAD LOAD = 0.70KPA (14.6PSF) RAFTER NO CEILING 1/240 MAX. DEFLECTION
 - GROUND SNOW LOAD = 2.80KPA* (58.5PSF) CEILING/SUPPORTING CEILING 1/360MAX
 - RAIN LOAD = 0.40KPA (8.3PSF)
 - * UNFACTORED LIVE GROUND SNOW LOAD AND MAY VARY FROM LOCATION TO LOCATION.
 - ALL WINDOWS SHALL CONFORM TO AAMA/WDMA CSA 101/1.52
 - COLD WEATHER REQUIREMENTS FOR CONCRETE FORMS APPLY WHERE OUTSIDE AIR TEMPERATURE IS BELOW -10 DEG. C. FORMS TO REMAIN IN PLACE FOR 72HRS.
 - ALL EXTERIOR FOOTINGS SHALL BE PLACED MINIMUM 48" BELOW ADJACENT GRADE UNLESS OTHERWISE NOTED ON PLANS.
 - PROVIDE BLOCKING IN MAIN BATHROOM WALL FRAMING FOR FUTURE GRAB BAR INSTALLATION
 - KITCHEN HOOD VENT SHALL DIRECTLY VENT TO EXTERIOR WITH NON-COMBUSTIBLE DUCTWORK.
 - OPTIONAL GAS FIREPLACE SHALL VENT TO EXTERIOR WITH NON-COMBUSTIBLE DUCTWORK.
 - ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH OBC SECTION 9.34. AND APPROVED BY EPA.

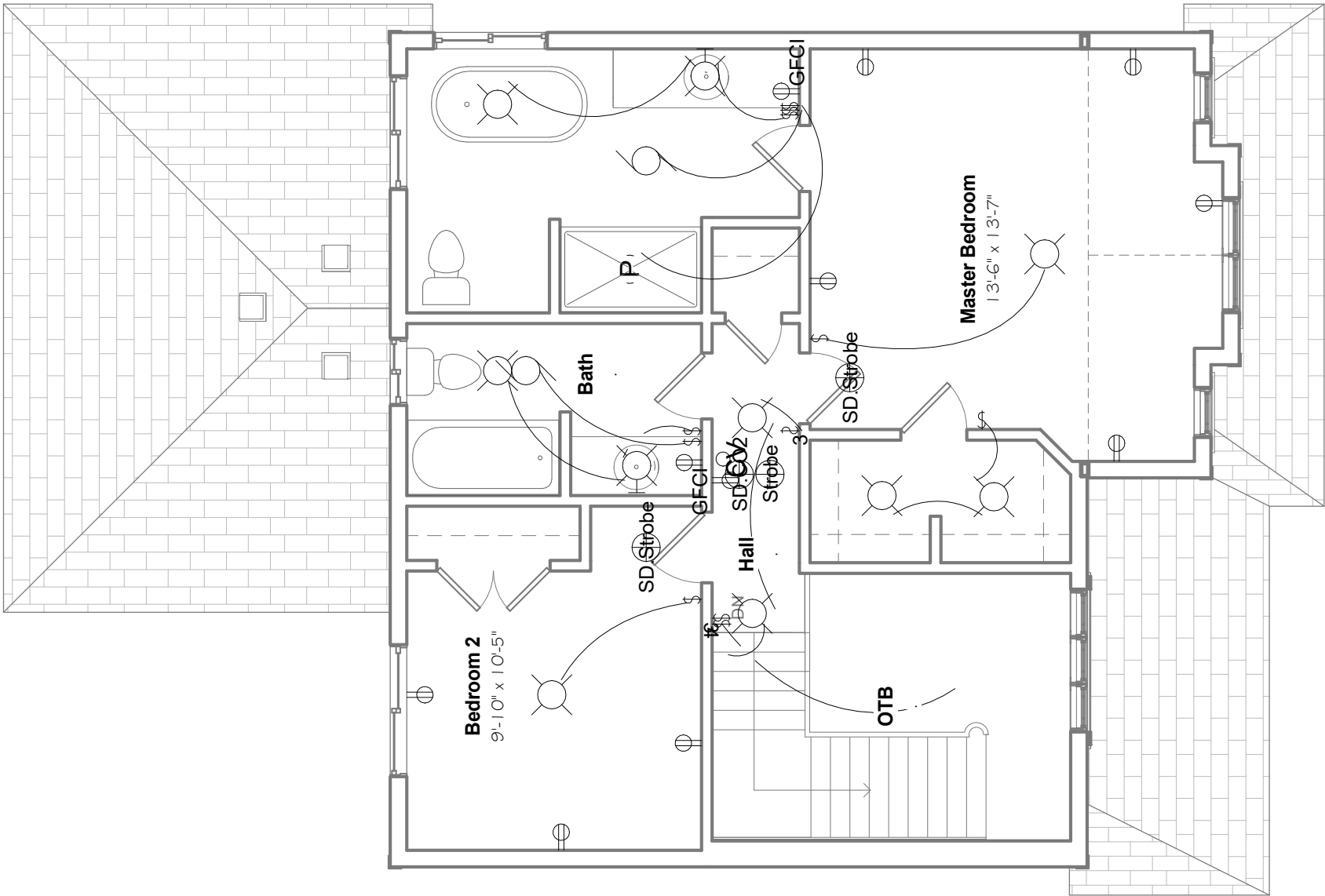
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Number	Date	Description				Designer : BCIN : 20823 Rodney G. Greer			DRN. BY: rgg		CHK. BY:
			<div>DRAWING :</div> <div>Notes</div> <div>Stec</div>			2019-02-08 1:37:16 PM		SCALE:			
						CAD FILE: P:_Collingswood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt					
						PROJECT NO: Summit View, Collingwood, ON		REV:			



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				Designer :		DRN. BY: rgg		CHK. BY:		DRAWING NO:	
				BCIN : 20823 Rodney G. Greer		2019-02-08 1:37:18 PM		SCALE: 3/16" = 1'-0"		E0	
DRAWING :		CAD FILE: P:_Collingwood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt		PROJECT NO: Summit View, Collingwood, ON		REV:					
			Basement Electrical Plan Stec								



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Number	Date	Description		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg	CHK. BY:	DRAWING NO:
				DRAWING : First Floor Electrical Stec		2019-02-08 1:37:20 PM	SCALE: 3/16" = 1'-0"	E1
						CAD FILE: P:_Collingwood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt		



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Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Custom Banting A			
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				Designer :		DRN. BY: rgg		CHK. BY:	DRAWING NO:
				BCIN : 20823 Rodney G. Greer		2019-02-08 1:37:22 PM		SCALE: 3/16" = 1'-0"	E2
DRAWING :		CAD FILE: P:_Collingwood - Summit View\96 Foley Crescent\Lot 96 Foley Crescent Custom Banting Right.rvt		PROJECT NO: Summit View, Collingwood, ON	REV:				
			Second Floor Electrical						
			Stec						



1 Craftsman Middleton I B
1" = 1'-0"

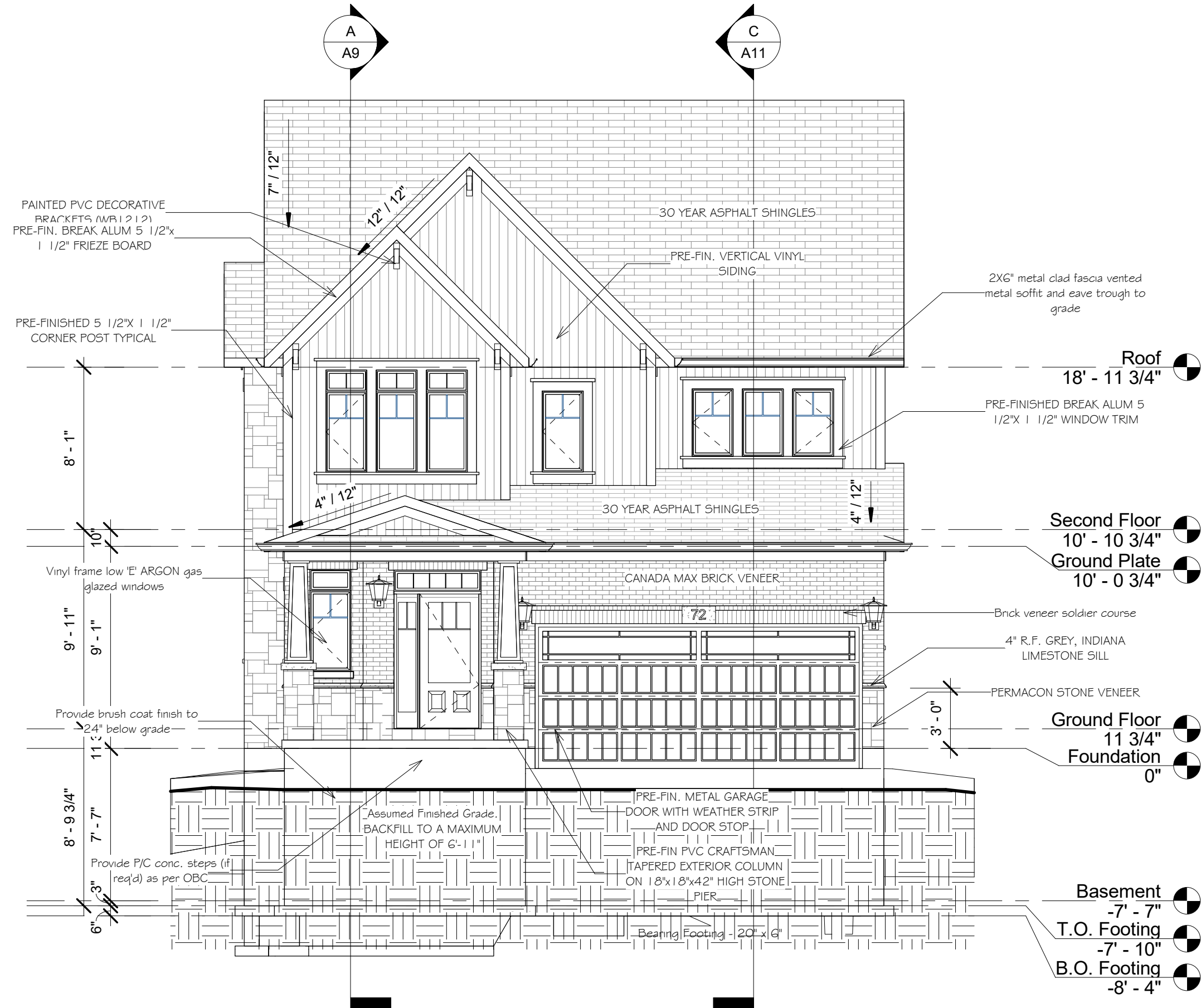
Project Design Conditions			
SB-12 Prescriptive Path	Table 3.1.1.2.A	Package A6	
Zone	1		
Heating Equipment	>= 92% AFUE		
Fuel	Gas		
Building Specifications			
Building Component	R Values	Building Component	Efficiency Ratings
Ceiling w/Attic	60	Windows/Sliding Glass Doors	ER 25 U 1.6
Ceiling without Attic	31	Skylights	2.8
Exposed Floor	31		
Walls Above Grade	22+5CI	Space Heating	92%
Basement Walls	20 CI	HRV Eff.	65%
Slab (All > 600mm Below Grade)	NA	DHW Eff.	0.8
Slab (Edge only <=600mm Below Grade)	10	Drain water heat recovery unit (connected to 2 showers/tubs)	1
Slab (All <= 600mm Below Grade Heated)	10		

2 Energy Efficiency Design Summary
6" = 1'-0"

Sheet List	
Sheet Number	Sheet Name
A0	Title Sheet
A1	Front Elevation
A2	Basement Plan
A3	Ground Floor Plan
A4	Second Floor Plan
A5	Roof Framing
A6	Right Elevation
A7	Left Elevation
A8	Rear Elevation
A9	Building Sections
A10	Building Sections
A11	Building Sections
A12	Standard Details
A13	Details
A14	Notes
E0	Basement Electrical Plan
E1	Ground Floor Electrical
E2	Second Floor Electrical

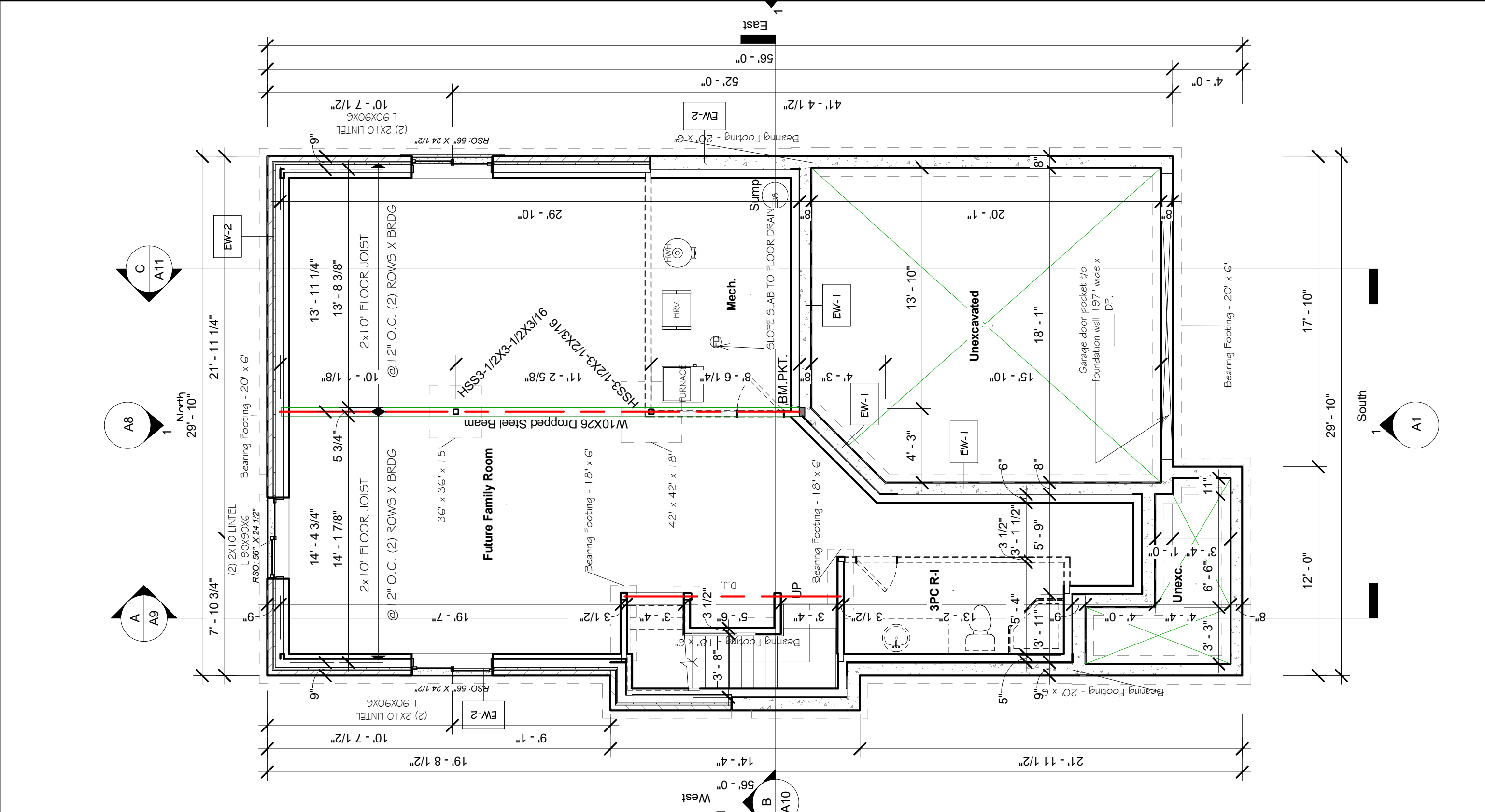
Area Schedule (Gross Building)	
Level	Area
Ground Floor	1140 SF
Second Floor	1195 SF
Grand total: 2	2335 SF

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :	
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton B Left	
				Orangeville, Ontario www.devonleighbhomes.com			
				Designer :		Lot 82 (72) Foley Crescent	
				BCIN : 20823 Rodney G. Greer		DRN. BY: rgg	
DRAWING : Title Sheet Gazarek		2018-10-26 12:48:12 PM		SCALE: As indicated			
		CAD FILE: P:_Collingwood - Summit View\82 Foley Crescent\Lot 82 Foley Crescent Craftsman Middleton B Right.rvt					
		PROJECT NO: Summit View, Collingwood, ON		REV:			

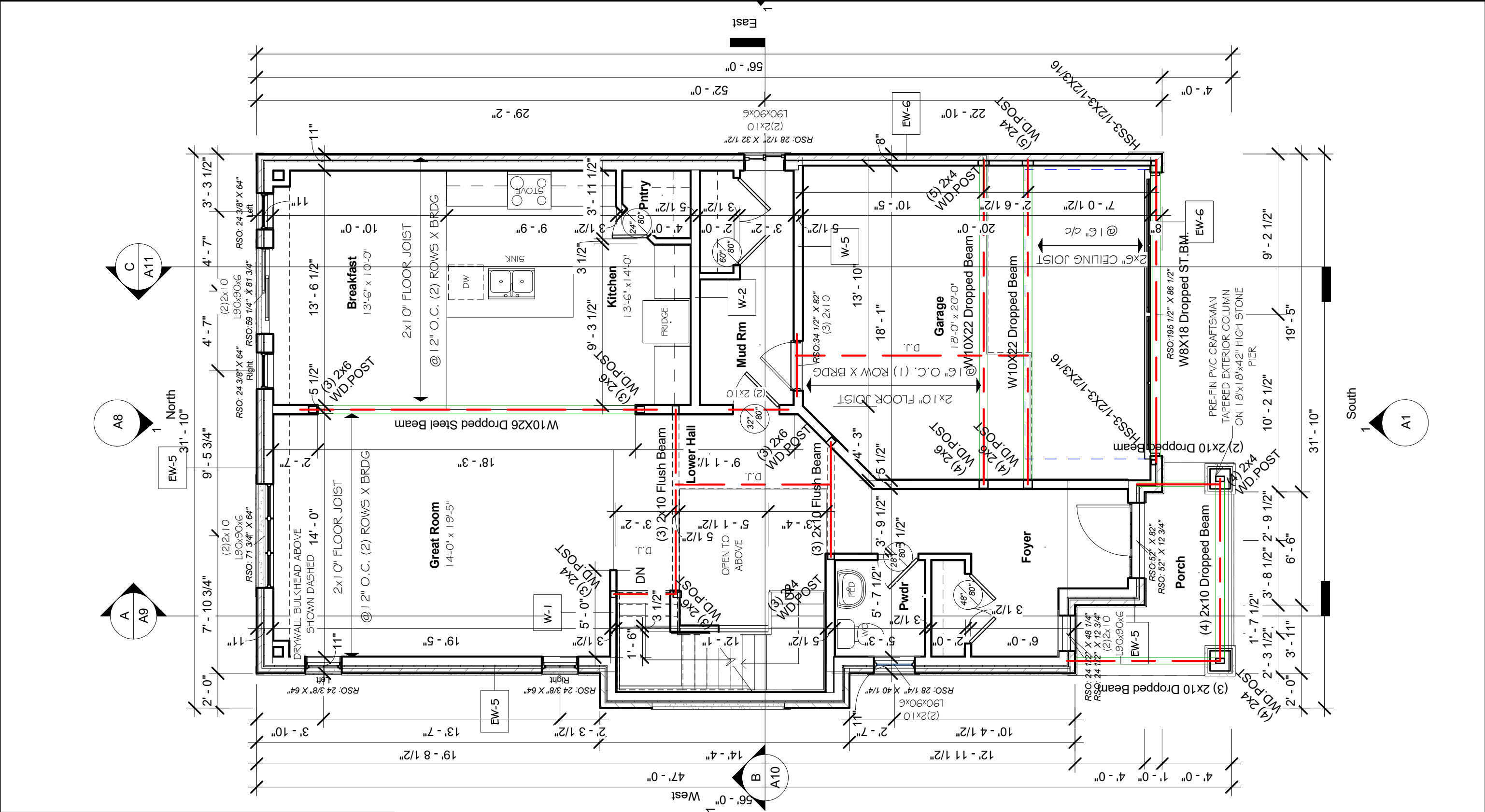


1 South
3/16" = 1'-0"

Revision Schedule		PROJECT:		DRAWING NO:	
		Devonleigh Homes Inc (519) 942-3311		DRN. BY: rgg	
		P.O. Box 70 Fax: (519) 942-9892		CHK. BY:	
		Orangeville, Ontario www.devonleighbhomes.com		SCALE: 3/16" = 1'-0"	
		Designer:		2018-10-26 12:48:14 PM	
		BCIN : 20823 Rodney G. Greer		P:\Collingwood - Summit View\82 Foley Crescent\Lot 82 Foley	
		DRAWING:		CAD FILE: Crescent Craftsman Middleton B Right.rvt	
		Front Elevation		PROJECT NO: Summit View, Collingwood, ON	
		Gazarek		REV:	
Number	Date	Description			



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Number	Date	Description		Designer :	<div>DRN. BY: rgg</div> <div>CHK. BY:</div> <div>DRAWING NO:</div>		
				<div>BCIN : 20823 Rodney G. Greer</div>	<div>2018-10-26 12:48:16 PM</div> <div>SCALE: 3/16" = 1'-0"</div>		
				<div>DRAWING :</div> <div>Basement Plan</div> <div>Gazarek</div>	<div>P:_Collingwood - Summit View\82 Foley Crescent\Lot 82 Foley Crescent Craftsman Middleton B Right.rvt</div> <div>CAD FILE:</div> <div>PROJECT NO: Summit View, Collingwood, ON</div> <div>REV:</div>		



Revision Schedule		
Number	Date	Description

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Designer :
BCIN : 20823 Rodney G. Greer

DRAWING :
Ground Floor Plan
Gazarek

PROJECT :
Craftsman Middleton B Left
Lot 82 (72) Foley Crescent

DRN. BY: rgg

CHK. BY:

DRAWING NO:
A3

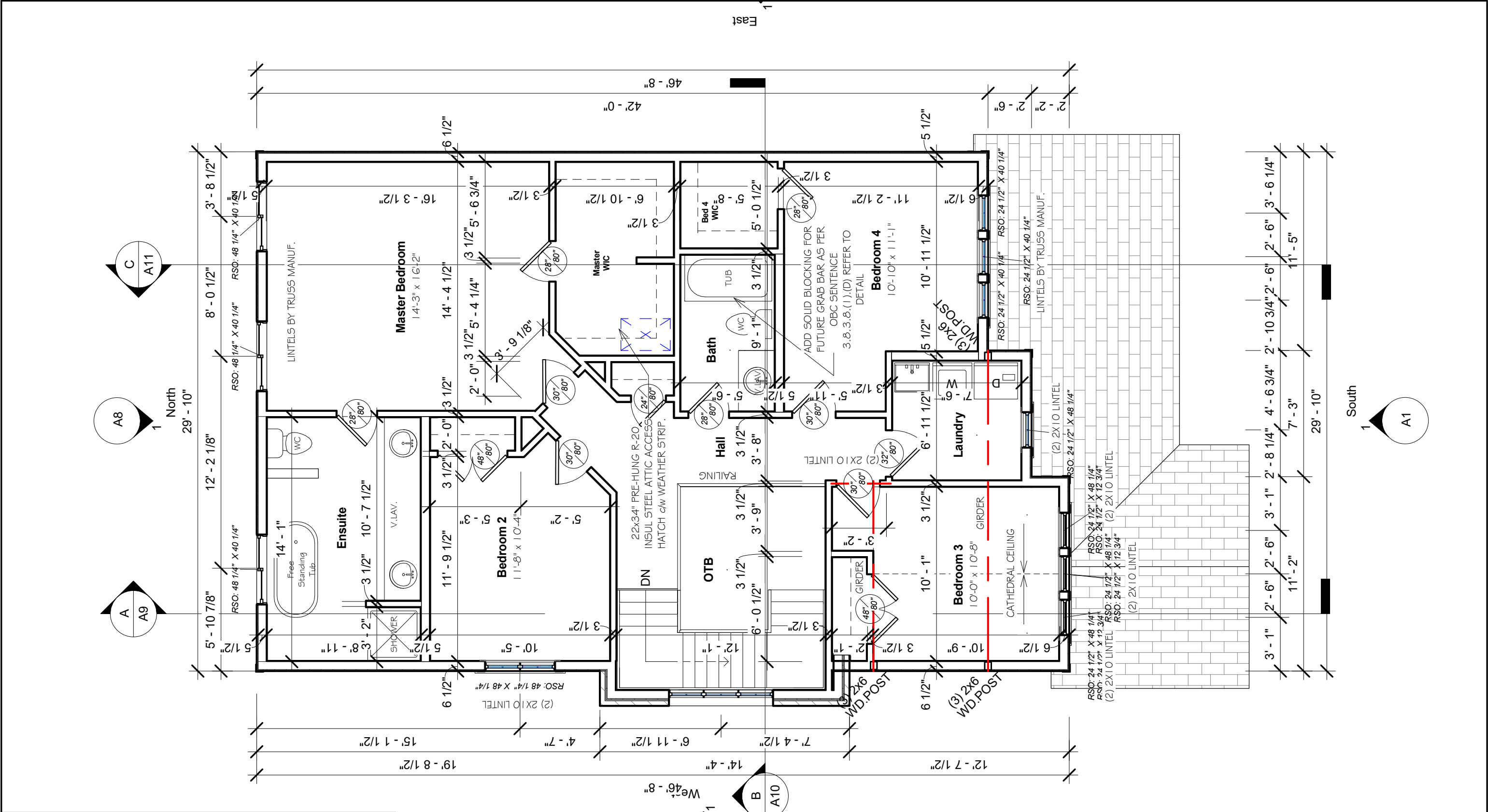
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SCALE: 3/16" = 1'-0"

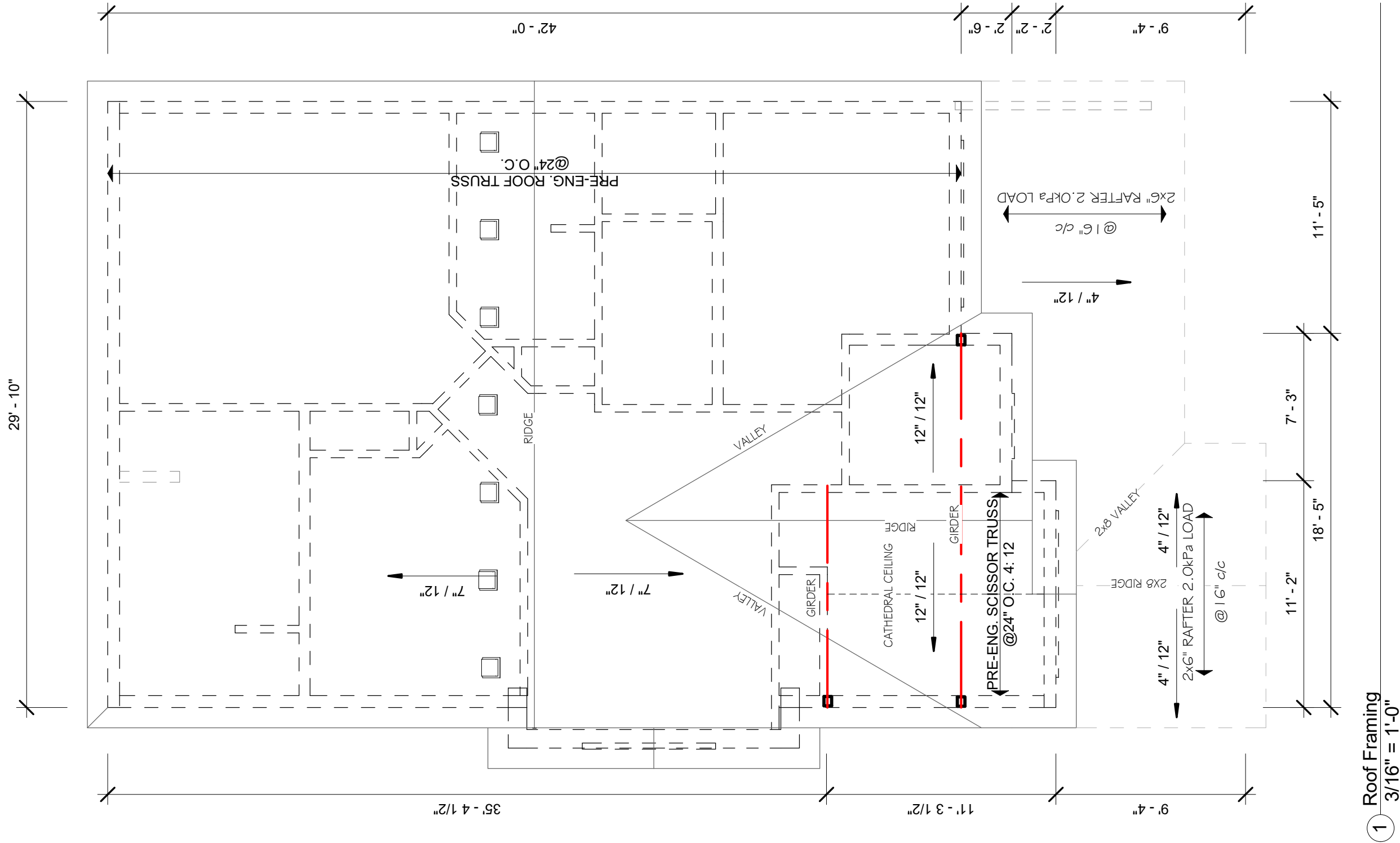
PROJECT NO: Summit View, Collingwood, ON

P:_Collingwood - Summit View\82 Foley Crescent\Lot 82 Foley Crescent Craftsman Middleton B Right.rvt

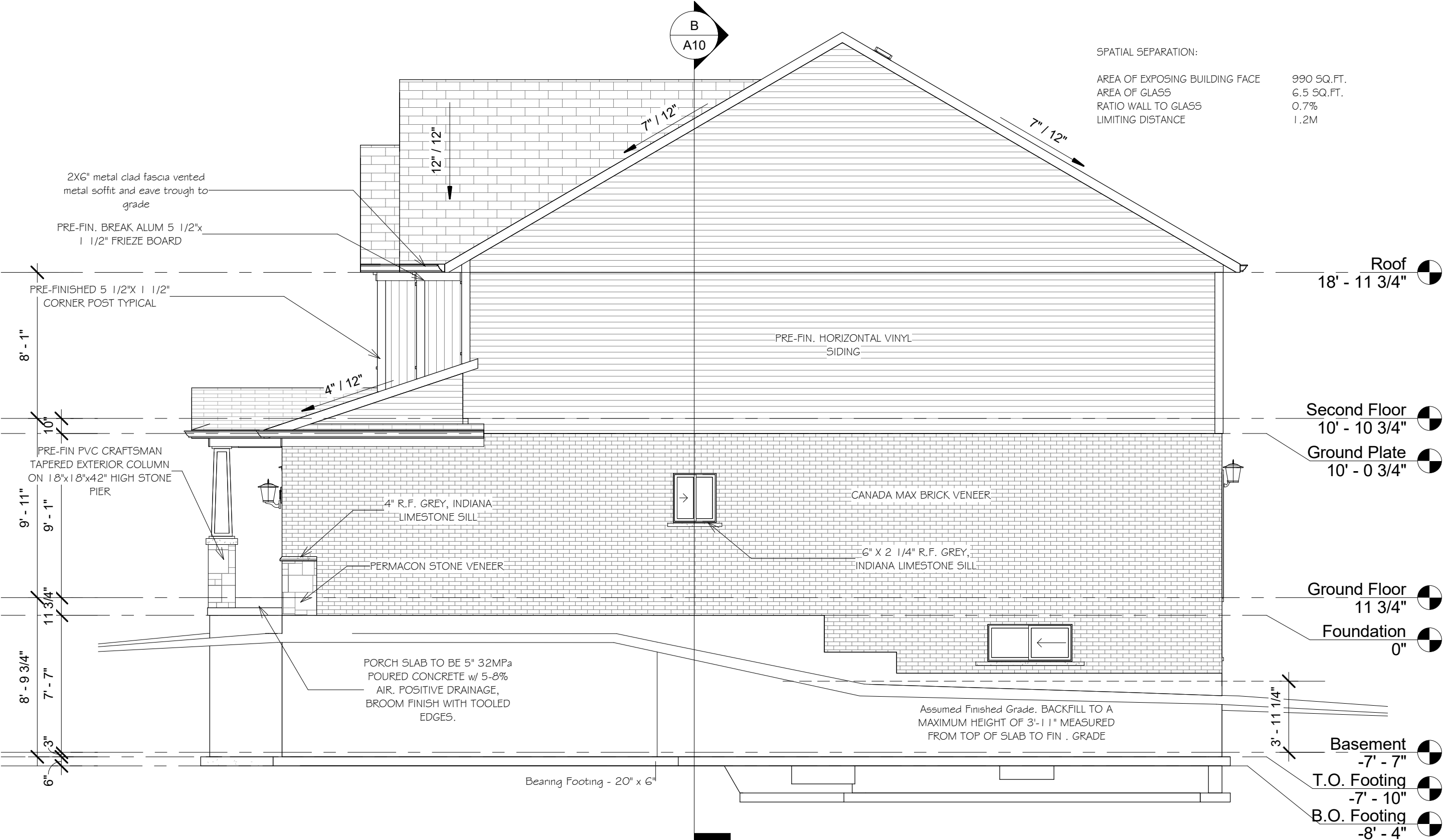
REV:



Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :		
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton B Left		
				Orangeville, Ontario www.devonleighthomes.com		Lot 82 (72) Foley Crescent		
				Designer :		DRN. BY: rgg		CHK. BY:
			BCIN : 20823 Rodney G. Greer		2018-10-26 12:48:22 PM		SCALE: 3/16" = 1'-0"	A4
			DRAWING :		CAD FILE: P:_Collingwood - Summit View\82 Foley Crescent\Lot 82 Foley Crescent Craftsman Middleton B Right.rvt		REV:	
			Second Floor Plan		PROJECT NO: Summit View, Collingwood, ON			
			Gazarek					



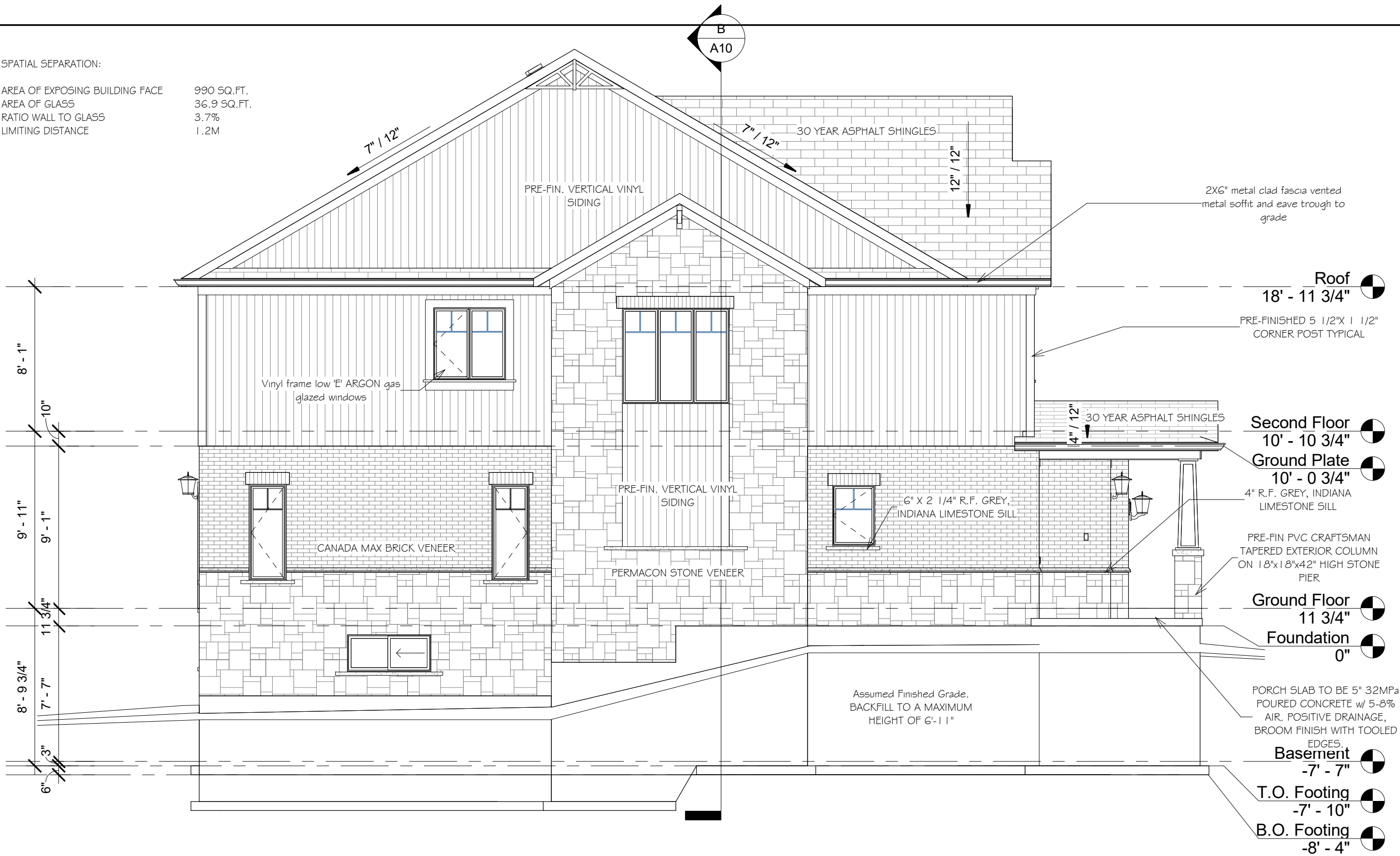
Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311		PROJECT :	
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton B Left	
				Orangeville, Ontario www.devonleighthomes.com			
				Designer :		DRAWING NO:	
				BCIN : 20823 Rodney G. Greer			
DRAWING :		A5					
Roof Framing		DRN. BY: rgg		CHK. BY:		REV:	
Gazarek		2018-10-26 12:48:23 PM		SCALE: 3/16" = 1'-0"			
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		PROJECT NO: Summit View, Collingwood, ON					



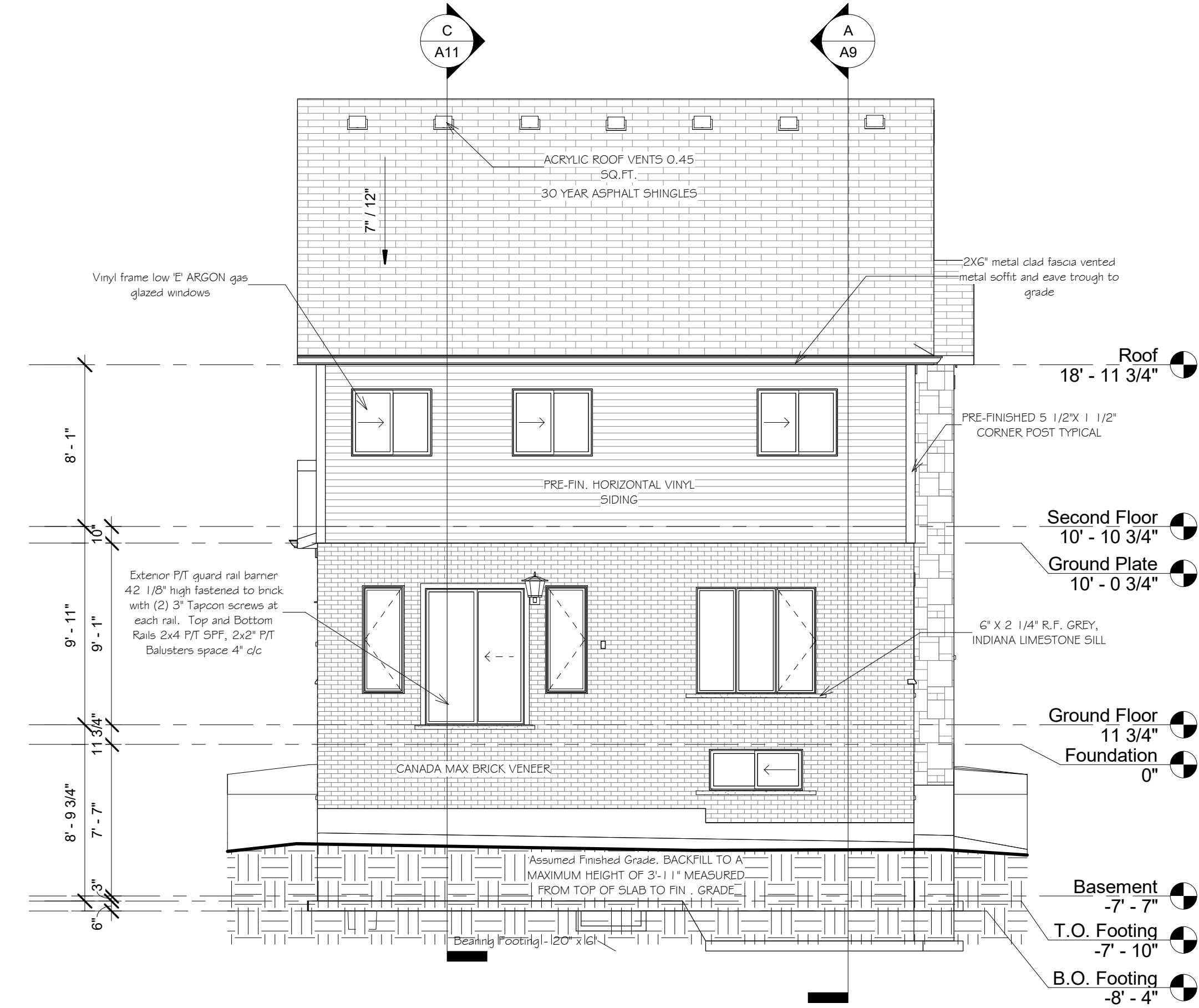
Revision Schedule			<p>GENERAL NOTES :</p> <p>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</p> <p>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</p> <p>3. Work to dimensions shown - DO NOT SCALE.</p> <p>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</p>	Devonleigh Homes Inc (519) 942-3311		PROJECT :		
Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton B Left Lot 82 (72) Foley Crescent		
				Orangeville, Ontario www.devonleighthomes.com				
				Designer :				
				BCIN : 20823 Rodney G. Greer				
			DRAWING :		DRN. BY: rgg		CHK. BY:	DRAWING NO:
			Right Elevation Gazarek		2018-10-26 12:48:26 PM		SCALE: 3/16" = 1'-0"	A6
					CAD FILE: P:_Collingwood - Summit View\82 Foley Crescent\Lot 82 Foley Crescent Craftsman Middleton B Right.rvt			
							PROJECT NO: Summit View, Collingwood, ON	

SPATIAL SEPARATION:

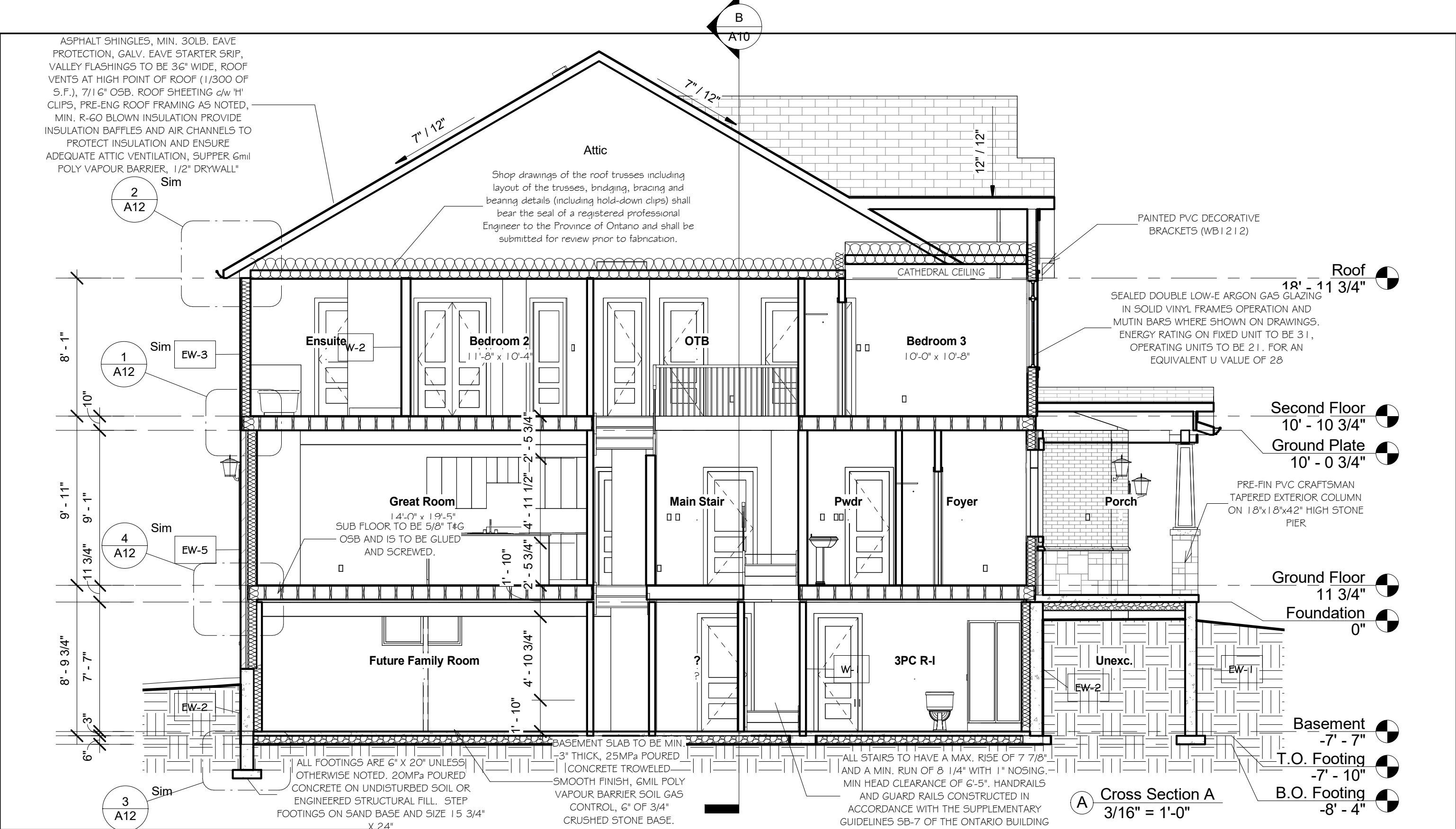
AREA OF EXPOSING BUILDING FACE	990 SQ.FT.
AREA OF GLASS	36.9 SQ.FT.
RATIO WALL TO GLASS	3.7%
LIMITING DISTANCE	1.2M



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Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton B Left Lot 82 (72) Foley Crescent		
				Orangeville, Ontario www.devonleighthomes.com				
				Designer :				
				BCIN : 20823 Rodney G. Greer_____		DRN. BY: rgg	CHK. BY:	DRAWING NO: A7
				DRAWING :		2018-10-26 12:48:28 PM	SCALE: 3/16" = 1'-0"	
Left Elevation Gazarek		P:_Collingswood - Summit View\82 Foley Crescent\Lot 82 Foley Crescent Craftsman Middleton B Right.rvt		REV:				
		PROJECT NO: Summit View, Collingwood, ON						



PROJECT:		Craftsman Middleton B Left Lot 82 (72) Foley Crescent		DRN. BY: rgg	CHK. BY:	SCALE: 3/16" = 1'-0"	DRAWING NO: A8
PROJECT NO: Summit View, Collingwood, ON		REV:		CAD FILE: Crescent Craftsman Middleton B Right.rvt		2018-10-26 12:48:30 PM	
Revision Schedule		Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Orangeville, Ontario www.devonleighbhomes.com		Fax: (519) 942-9892		Designer: BCIN : 20823 Rodney G. Greer	
Number		Date		Description		Rear Elevation Gazarek	



Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	Devonleigh Homes Inc (519) 942-3311 P.O. Box 70 Fax: (519) 942-9892 Orangeville, Ontario www.devonleighhomes.com		PROJECT : Craftsman Middleton B Left Lot 82 (72) Foley Crescent		
Number	Date	Description		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg	CHK. BY:	DRAWING NO:
				DRAWING : Building Sections Gazarek		2018-10-26 12:48:33 PM	SCALE: 3/16" = 1'-0"	A9
						CAD FILE: P:_Collingwood - Summit View\82 Foley Crescent\Lot 82 Foley Crescent Craftsman Middleton B Right.rvt		
						PROJECT NO: Summit View, Collingwood, ON		
							REV:	

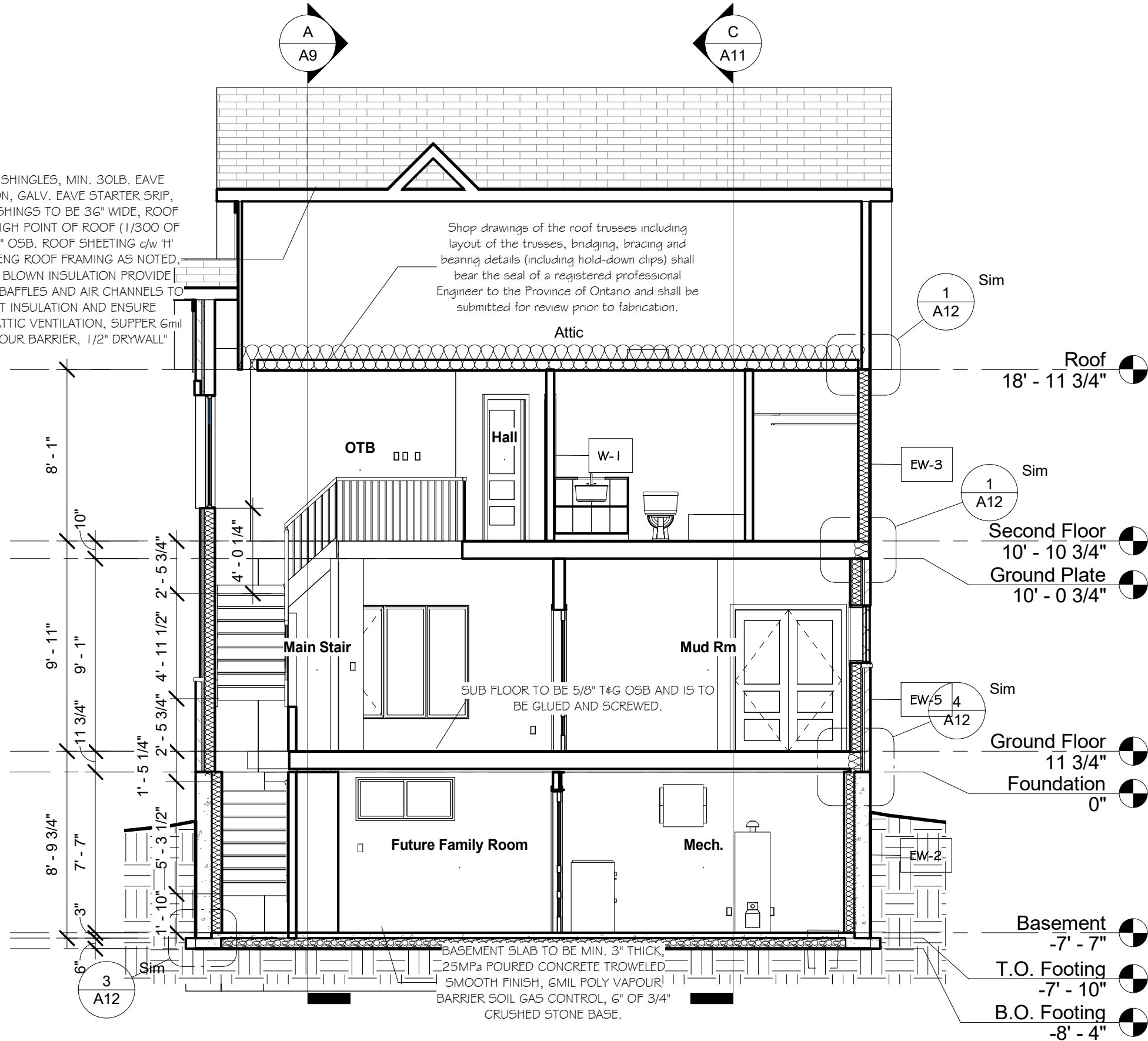
ASPHALT SHINGLES, MIN. 30LB. EAVE PROTECTION, GALV. EAVE STARTER SRIP, VALLEY FLASHINGS TO BE 36" WIDE, ROOF VENTS AT HIGH POINT OF ROOF (1/300 OF S.F.), 7/16" OSB. ROOF SHEETING c/w 'H' CLIPS, PRE-ENG ROOF FRAMING AS NOTED, MIN. R-60 BLOWN INSULATION PROVIDE INSULATION BAFFLES AND AIR CHANNELS TO PROTECT INSULATION AND ENSURE ADEQUATE ATTIC VENTILATION, SUPPER 6mil POLY VAPOUR BARRIER, 1/2" DRYWALL"

Shop drawings of the roof trusses including layout of the trusses, bridging, bracing and bearing details (including hold-down clips) shall bear the seal of a registered professional Engineer to the Province of Ontario and shall be submitted for review prior to fabrication.

SUB FLOOR TO BE 5/8" T&G OSB AND IS TO BE GLUED AND SCREWED.

BASEMENT SLAB TO BE MIN. 3" THICK, 25MPa POURED CONCRETE TROVELED SMOOTH FINISH, 6MIL POLY VAPOUR BARRIER SOIL GAS CONTROL, 6" OF 3/4" CRUSHED STONE BASE.

B Cross Section B
3/16" = 1'-0"



PROJECT:

Craftsman Middleton B Left
Lot 82 (72) Foley Crescent

Devonleigh Homes Inc (519) 942-3311
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Orangeville, Ontario www.devonleighbomes.com
Designer: BCIN : 20823 Rodney G. Greer

DRAWING: Building Sections
Gazarek

Revision Schedule

Number Date Description

DRAWING NO:

A10

CHK. BY:

3/16" = 1'-0"

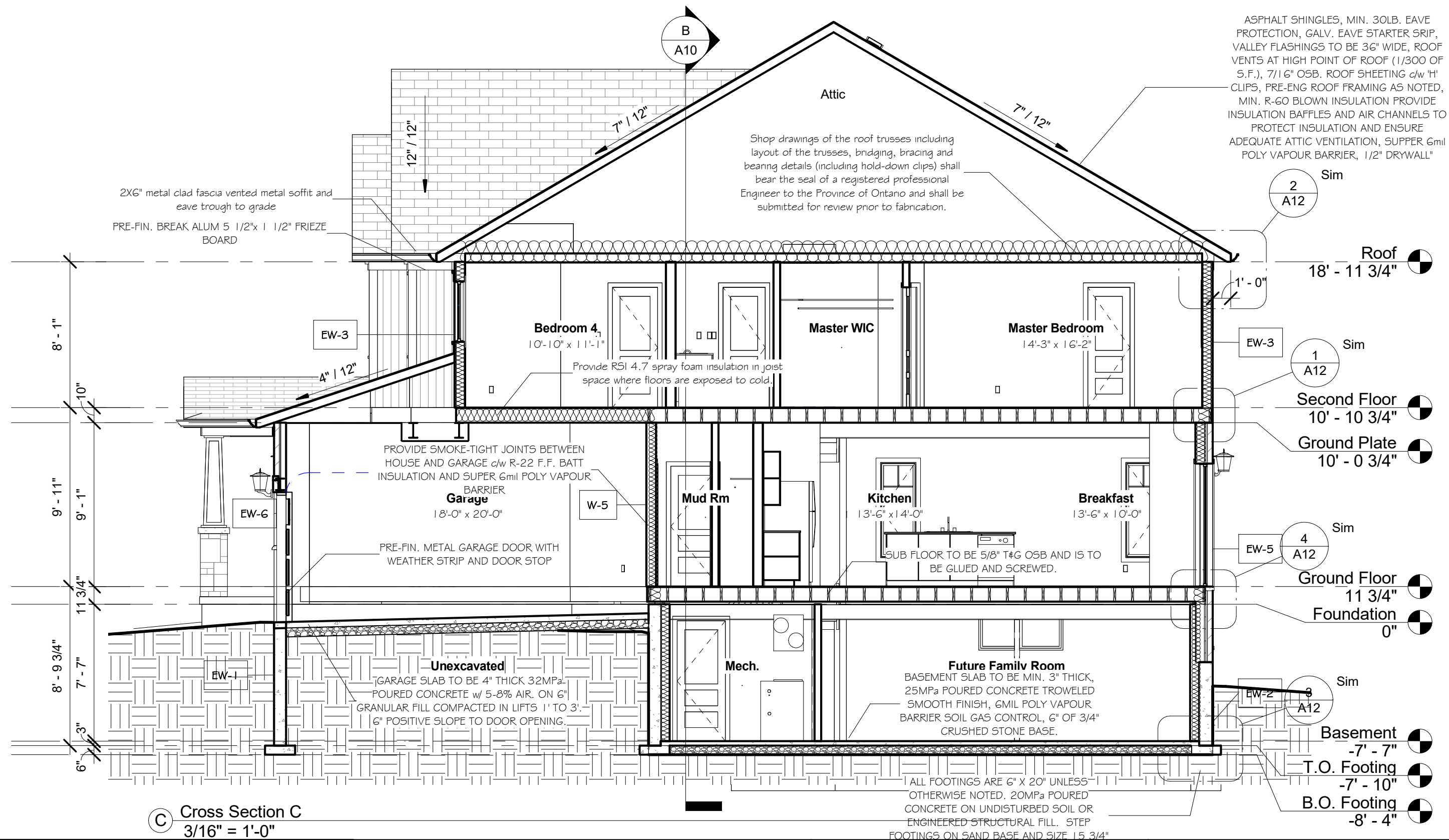
DRN. BY: rgg

2018-10-26 12:48:36 PM

CAD FILE: Crescent Craftsman Middleton B Right.rvt

PROJECT NO: Summit View, Collingwood, ON

REV:



Revision Schedule

Number	Date	Description
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Designer:

BCIN : 20823 Rodney G. Greer

DRAWING:

Building Sections
Gazarek

PROJECT:

Craftsman Middleton B Left
Lot 82 (72) Foley Crescent

DRN. BY: rgg

CHK. BY:

DRAWING NO:

2018-10-26 12:48:39 PM

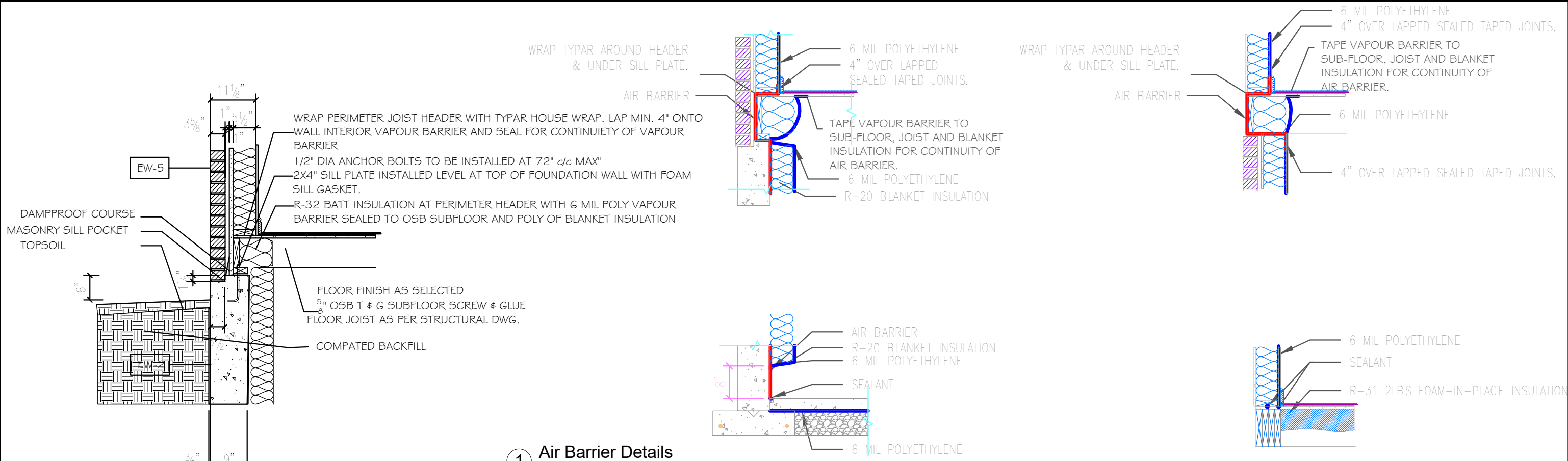
SCALE: 3/16" = 1'-0"

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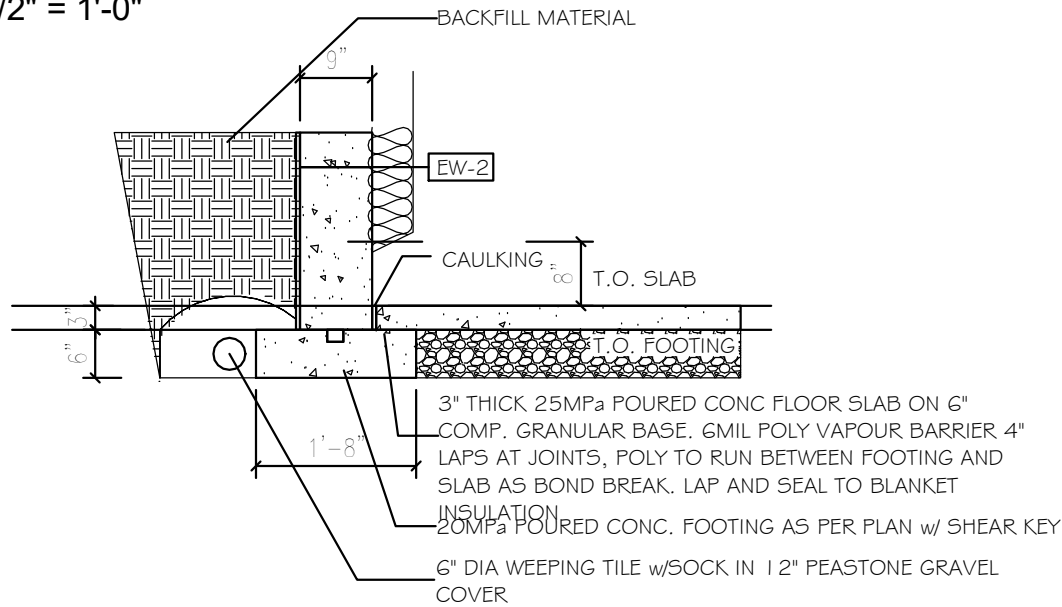
PROJECT NO: Summit View, Collingwood, ON

REV:

A11



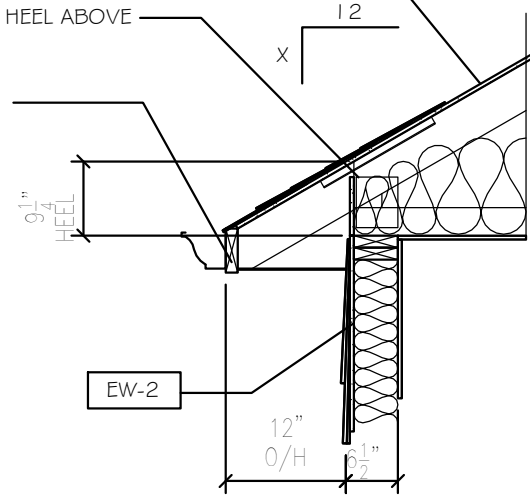
④ Detail T.O. Foundation
1/2" = 1'-0"



③ Detail Typical Footing
1/2" = 1'-0"

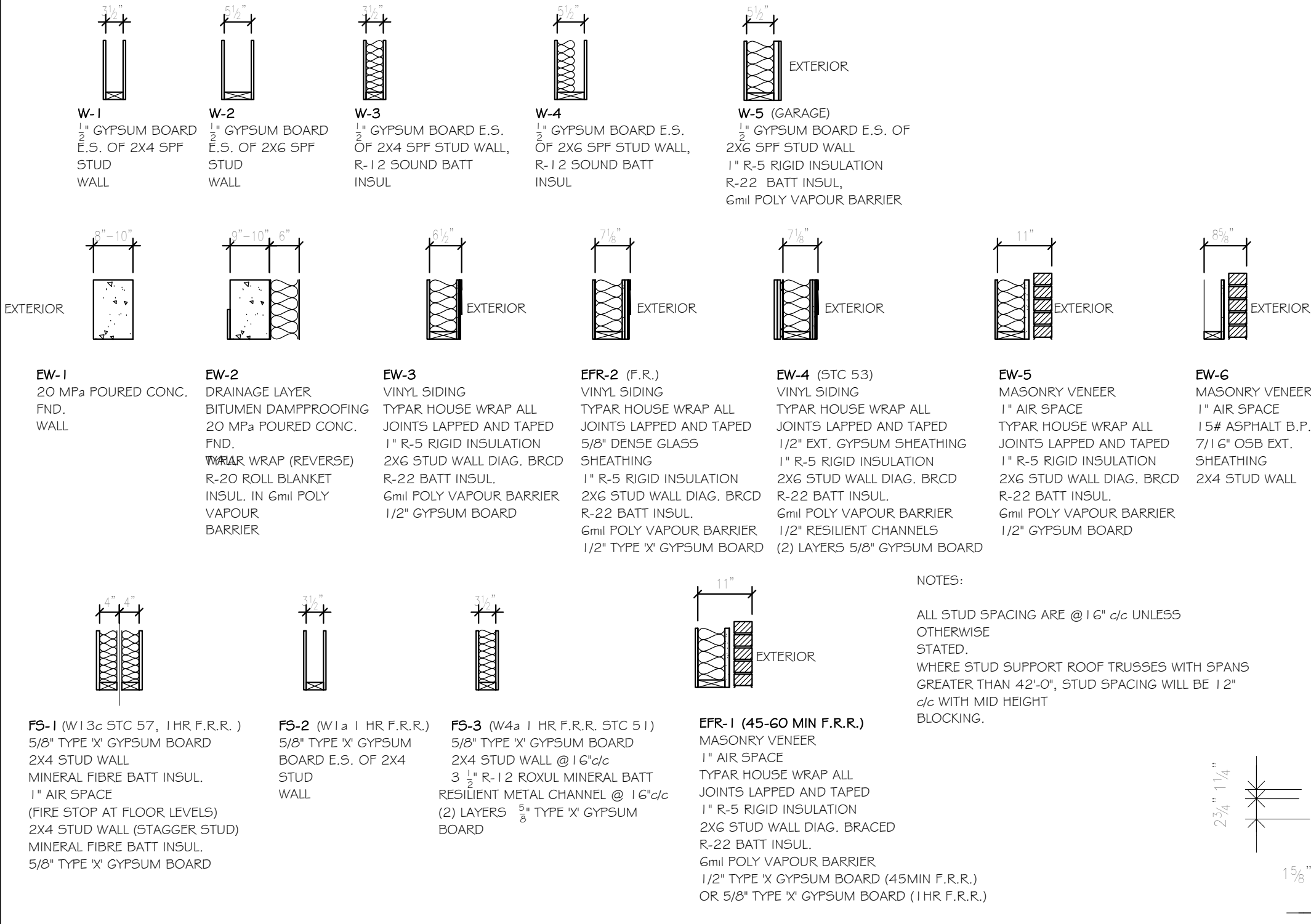
ASPHALT SHINGLES, MIN. 30LB. EAVE PROTECTION, GALV. EAVE STARTER STRIP, VALLEY FLASHINGS TO BE 36" WIDE, ROOF VENTS AT HIGH POINT OF ROOF (1/300 OF S.F.), 7/16" OSB. ROOF SHEETING c/w 'H' CLIPS, PRE-ENG ROOF FRAMING AS NOTED, MIN. R-60 BLOWN INSULATION PROVIDE INSULATION BAFFLES AND AIR CHANNELS TO PROTECT INSULATION AND ENSURE ADEQUATE ATTIC VENTILATION, SUPPER 6mil POLY VAPOUR BARRIER, 1/2" DRYWALL

MIN R-20 INSULATION AT RAISED HEEL ABOVE WALL PLATES
2X6" METAL CLAD FASCIA VENTED METAL SOFFIT AND EAVE TROUGH TO GRADE

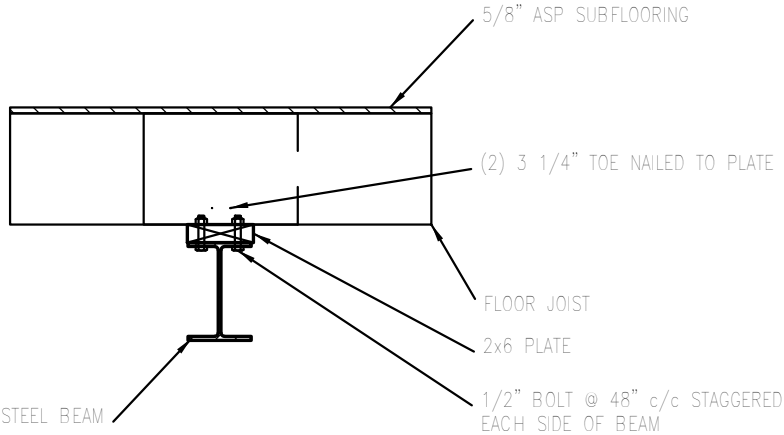


② Detail Roof Plate
1/2" = 1'-0"

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Number	Date	Description		P.O. Box 70 Fax: (519) 942-9892		Craftsman Middleton B Left			
				Orangeville, Ontario www.devonleighhomes.com		Lot 82 (72) Foley Crescent			
				Designer :		DRN. BY: rgg			
				BCIN : 20823 Rodney G. Greer		CHK. BY:			
			DRAWING : Standard Details Gazarek		2018-10-26 12:48:41 PM		SCALE: 1/2" = 1'-0"		DRAWING NO: A12
					CAD FILE: P:_Collingwood - Summit View\82 Foley Crescent\Lot 82 Foley Crescent Craftsman Middleton B Right.rvt				
					PROJECT NO: Summit View, Collingwood, ON		REV:		



1 Typical Wall Assemblies
1/2" = 1'-0"

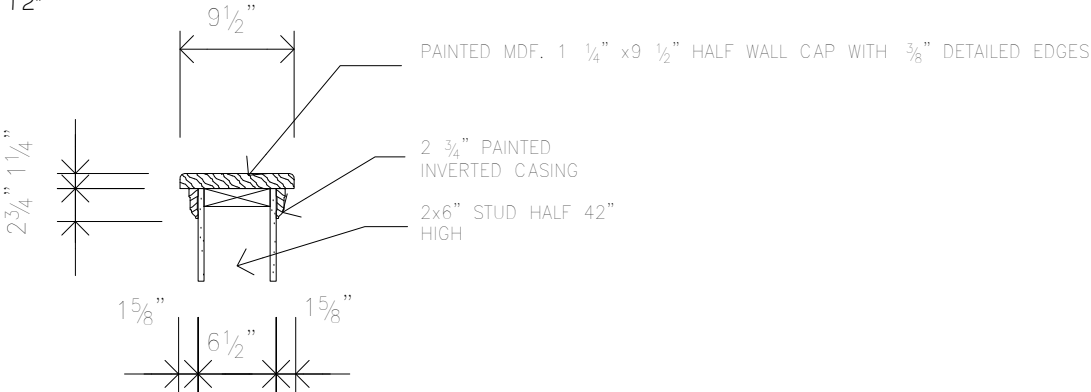


3 Detail Beam Connection
3/4" = 1'-0"

NOTES:

ALL STUD SPACING ARE @ 16" c/c UNLESS OTHERWISE STATED.

WHERE STUD SUPPORT ROOF TRUSSES WITH SPANS GREATER THAN 42'-0", STUD SPACING WILL BE 12" c/c WITH MID HEIGHT BLOCKING.



2 Detail Half Wall
3/4" = 1'-0"

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Number	Date	Description			<div>Craftsman Middleton B Left</div> <div>Lot 82 (72) Foley Crescent</div>				
					DRN. BY: rgg	CHK. BY:	DRAWING NO:		
					2018-10-26 12:48:43 PM	SCALE: As indicated	A13		
					CAD FILE: P:_Collingwood - Summit View\82 Foley Crescent\Lot 82 Foley Crescent Craftsman Middleton B Right.rvt				
					PROJECT NO: Summit View, Collingwood, ON		REV:		

Designer :
BCIN : 20823 Rodney G. Greer
DRAWING :
Details
Gazarek

GENERAL NOTES:

1. THE BUILDING SHALL BE SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.
2. GARAGE SLAB TO BE 4" THICK 32MPa POURED CONCRETE w/ 5-8% AIR, ON 6" GRANULAR FILL COMPACTED IN LIFTS. 1"-3" POSITIVE SLOPE TO DOOR OPENING.
3. WEEPING TILE TO BE 4" BIG 'O' c/w SOCK AND 6" OF 3/4" STONE COVER MIN.
4. BRICK VENEER TO BE MAX SIZE CANADA BRICK WITH METAL TIES AT 15 3/4" VERTICAL AND 31 1/2" HORIZONTAL OR 23 5/8" VERTICAL AND 15 3/4" HORIZONTAL. WEEP HOLES SHALL BE PROVIDED AT 2'-7" C/C AT BOTTOM OF CAVITY WALLS AND ABOVE LINTELS.FLASHING BENEATH WEEP HOLES IN BRICK VENEER OVER WOOD FRAMED WALLS SHALL EXTEND 3/16" BEYOND THE OUTER FACE OF THE BUILDING AND 5 7/8" UP THE WOOD FRAME.
5. INSTALL WALL GIRTS WHEN WALL HEIGHT EXCEEDS 9'-10"
6. DRYWALL SCREWS MAX 11 3/4" c/c FOR CEILINGS, 15 3/4" c/c ON WALLS WITH STUDS 16"c/c
7. EXTERIOR CONCRETE TO HAVE 32MPa COMPRESSIVE STRENGTH w/ MAX 4" SLUMP.
8. WINDOW AND DOOR HEAD HEIGHTS TO BE 82 1/2" UNLESS OTHERWISE STATED. TRANSOM WINDOWS SET ABOVE 82 1/2"
9. DOOR WIDTH RSO TO BE 2" LARGER THAN NOTED DOOR SIZE
10. LIGHT OUTLETS SHALL BE CONTROLLED BY A WALL SWITCH IN KITCHENS, BEDROOMS, LIVING ROOMS, UTILITY ROOMS, LAUNDRY ROOMS, DINING ROOMS, BATH ROOMS, WATER CLOSET ROOMS, VESTIBULES AND HALLWAYS. A SWITCH TO RECEPTACLE CONTROLLED BY A WALL SWITCH CAN BE USED IN BEDROOMS AND LIVING ROOMS. BASEMENTS LIGHT OUTLETS SHALL BE PROVIDED FOR EACH 323 SQ.FT. OF FLOOR AREA
11. PROVIDE BLOCKING FOR NEWEL POST AT WALL 42" HIGH, CORNER SHOWER STALLS 38" FROM CORNERS.

BASEMENT NOTES:

12. INTERIOR PERIMETER OF CONCRETE FOUNDATION WALLS TO HAVE FULL HEIGHT R-20 BLANKET INSULATION W/ SUPER 6MIL POLY VAPOUR BARRIER AND TYPAR BUILDING WRAP.
13. INTERIOR LINTELS TO BE (2) 2X6" #2 SPF UNLESS OTHERWISE NOTED REFER TO SCHEDULES.
14. ROUGH-IN FUTURE (3) THREE PIECE BATH WHERE (IF) SHOWN.
15. ALL FOOTINGS ARE 6" X 20" UNLESS OTHERWISE NOTED. 15MPA POURED CONCRETE ON UNDISTURBED SOIL OR ENGINEERED STRUCTURAL FILL. STEP FOOTINGS ON SAND BASE AND SIZE 15 3/4" X 24"
16. FOUNDATION WALLS TO BE 8" THICK, UNLESS OTHERWISE NOTED, WITH 20MPA POURED CONCRETE COMPRESSIVE STRENGTH.
17. ANCHOR BOLTS TO BE INSTALLED AT 72" C/C MAX
18. 4" DIA. STEEL TELEPOSTS TO BE USED WHERE SHOWN, BOLT TO CONCRETE FOOTING AND SUPPORTED STEEL BEAM
19. BACKFILL TO A MAXIMUM HEIGHT OF 6'-11"
20. DAMPPROOF EXTERIOR PERIMETER OF FOUNDATION WALL WITH BITUMEN. TAR SNAP TIES AND AROUND ANY MECHANICAL / PLUMBING PENETRATIONS.
21. DRAINAGE LAYER TO BE SYSTEM PLATON.
22. BASEMENT SLAB TO BE MIN. 3" THICK, 25MPA POURED CONCRETE TROWELED SMOOTH FINISH ON 6" OF 3/4" STONE BASE.
23. IF GARAGE IS EXCAVATED FILL WITH SAND COMPACT TO 98% STANDARD PROCTOR.
24. PROVIDE DIRECT VENTING FROM GAS FURNACE AND HOT WATER HEATER TO EXTERIOR
25. PROVIDE 4" DIA METAL PIPE TO VENT DRYER TO EXTERIOR C/W HOOD AND DAMPER
26. SLOPE BASEMENT FLOOR SLAB TO FLOOR DRAIN
27. GARAGE DOOR POCKET SIZE TO SUIT GRADE FROM TOP OF BRICK LEDGE AND GARAGE DOOR WIDTH.
28. PROVIDE 6" SLEEVE FOR SEPTIC SYSTEM PIPE 6" BELOW FINISHED GRADE WHERE APPLICABLE
29. PROVIDE 6" SLEEVE FOR WATERLINE AND HYDRO ENTRY
30. SUMP PIT AND PUMP, PROVIDE DUPLEX RECEPTACLE WITHIN 24" TO POWER PUMP.
31. SMOKE ALARMS C/W STROBE, SHALL BE HARDWIRED AND INTERCONNECTED AND SHALL BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE THAT CAN CONTINUE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN THE NORMAL CONDITION, FOLLOWED BY 4 MIN OF ALARM.
32. HOT WATER PIPES THAT ARE VERTICALLY CONNECTED TO A HOT WATER STORAGE TANK SHALL HAVE HEAT TRAPS ON BOTH INLET AND OUTLET PIPING AS CLOSE AS PRACTICAL TO THE TANK, EXCEPT WHERE THE TANK,(A) HAS AN INTEGRAL HEAT TRAP, OR (B) SERVES A RECIRCULATING SYSTEM. THE FIRST 2.5 M OF HOT WATER OUTLET PIPING OF A HOT WATER STORAGE TANK SERVING A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.62. THE INLET PIPE OF A HOT WATER STORAGE TANK BETWEEN THE HEAT TRAP AND THE TANK SERVING A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.62.
33. WHERE A SUPPLY DUCT IS LOCATED IN A CONDITIONED SPACE, THE DUCTWORK SHALL BE SEALED TO A CLASS C SEAL LEVEL IN ACCORDANCE WITH THE SMACNA, "HVAC DUCT CONSTRUCTION STANDARDS – METAL AND FLEXIBLE".

FIRST FLOOR NOTES:

34. PRE-HUNG INSULATED STEEL SKIN DOOR C/W SELF-CLOSER, WEATHERSTRIP AND ALUMINUM THRESHOLD FROM GARAGE TO HOUSE
35. PROVIDE SMOKE-TIGHT JOINTS BETWEEN HOUSE AND GARAGE C/W R-22 F.F. BATT INSULATION AND 1" R-5 RIGID INSUL. SUPER 6MIL POLY VAPOUR BARRIER. CAULK AROUND ALL OPENINGS AND PENETRATIONS BETWEEN GARAGE AND HOUSE.
36. ALL INTERIOR LINTELS ARE (2) 2X6" #2 SPF UNLESS OTHERWISE NOTED REFER TO SCHEDULE.
37. REFER TO LINTEL SCHEDULES FOR EXTERIOR LINTELS.
38. GARAGE DOOR LINTEL TO BE (2) 2X12" WITH 7/16" OSB UNLESS OTHERWISE NOTED
39. PORCH SLAB TO BE 5" 32MPA POURED CONCRETE W/ 5-8% AIR. POSITIVE DRAINAGE, BROOM FINISH WITH TOOLED EDGES.
40. WIRE ROD AND SHELF IN ALL CLOSETS
41. DECORATIVE POSTS (8" OR 10") ON TOP OF BRICK PILLARS AS SHOWN ON THE ELEVATIONS.
42. INTERIOR WALLS TO BE 2X4" #2 SPF STUDS @16"C/C (3 1/2" THICK) UNLESS OTHERWISE NOTED (2X6" STUDS - 5 1/2" THICK)
43. USE PRE-ENGINEERED ROOF TRUSSES @24"C/C OR CONVENTIONAL FRAME WITH 2X6" #2SPF RAFTERS AND CEILING JOISTS @16"C/C
44. SUB FLOOR TO BE 5/8" T&G OSB AND IS TO BE GLUED AND SCREWED.
45. ALL STAIRS TO HAVE A MAX. RISE OF 7 7/8" AND A MIN. RUN OF 8 1/4" WITH 1" NOSING. MIN HEAD CLEARANCE OF 6'-5". HANDRAILS AND GUARD RAILS CONSTRUCTED IN ACCORDANCE WITH THE SUPPLEMENTARY GUIDELINES SG-7 OF THE ONTARIO BUILDING CODE.
46. AIR / VAPOUR BARRIER TO BE LAPPED 4" AND SEALED. ELECTRICAL BOXES TO BE SELF SEALING PVC AND SEALED TO VAPOUR BARRIER
47. WHERE PORCH IS UNEXCAVATED PROVIDE 6" COMPACTED GRANULAR DIRECTLY BELOW SLAB. WHERE PORCH IS OVER COLD ROOM PROVIDE 10M BARS @8" C/C EACH DIRECTION WITH 1 1/4" COVER FROM THE BOTTOM. MIN. 3" BEARING ON TOP OF FOUNDATION WALL ALL SIDES AND ANCHORED TO WALL WITH 10M DOWELS 24"x24" @24" C/C, UNLESS NOTED OTHERWISE.
48. 22X34" PRE-HUNG R-20 INSUL STEEL ATTIC ACCESS HATCH C/W WEATHER STRIP.
49. PRE-HUNG INSULATED STEEL SKIN DOOR C/W WEATHER STRIP AND ALUMN. THRESHOLD
50. SEALED TRIPLE SOLARBAN 60 LOW E GLAZING IN VINYL FRAMES OPERATION AND MUNTIN BARS WHERE SHOWN ON DRAWINGS.
51. ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR.
52. MECHANICAL AND PLUMBING SPECIFICATIONS, LOCATIONS, AND MATERIALS BY MECHANICAL AND PLUMBING CONTRACTORS.
53. THE PROGRAMMABLE THERMOSTATIC CONTROL DEVICE SHALL,(A) ALLOW THE SETTING OF DIFFERENT AIR TEMPERATURES FOR AT LEAST, (I) FOUR TIME PERIODS PER DAY, AND (II) TWO DIFFERENT DAY-TYPES PER WEEK,(B) INCLUDE A MANUAL OVERRIDE, AND (C) ALLOW THE SETTING OF THE AIR TEMPERATURE TO,(I) 13°C OR LOWER IN HEATING MODE, AND (II) 29°C OR HIGHER IN COOLING MODE, WHERE AIRCONDITIONING IS PROVIDED.
54. ADD SOLID BLOCKING FOR FUTURE GRAB BAR AS PER OBC SENTENCE 3.8.3.8.(1).(D) REFER TO DETAIL

STRUCTURAL SPECIFICATIONS:

55. ENSURE MIN 75KPA SOIL BEARING CAPACITY
56. EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL, KEPT FREE OF STANDING WATER AND SHALL BE KEPT FROM FREEZING DURING THE COURSE OF CONSTRUCTION.
57. COMPRESSIVE STRENGTH OF CONCRETE:

A. FOOTINGS SHALL BE 20MPA

B. FOUNDATION WALLS 15MPA CODE MIX

C. INTERIOR FLOOR SLABS 25MPA

D. EXTERIOR SLABS EXPOSED TO WEATHER 32MPA

E. GARAGE FLOOR SLAB 32MPA
58. STRUCTURAL STEEL SHALL CONFORM TO CAN/CSA-S16.1-M
59. STEEL BEAMS AND LINTELS SHALL HAVE AN MINIMUM 6" END BEARING ON CONCRETE OR MASONRY.
60. WELDING OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF CSA STANDARD W59 AND SHALL BE UNDERTAKEN BY A FABRICATOR FULLY APPROVED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W41.
61. SHOP DRAWINGS OF THE ROOF TRUSSES INCLUDING LAYOUT OF THE TRUSSES, BRIDGING, BRACING AND BEARING DETAILS (INCLUDING HOLD-DOWN CLIPS) SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER TO THE PROVINCE OF ONTARIO AND SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
62. ALL LUMBER FOR WOOD TRUSSES SHALL BE KILN DRIED AND WELL SEASONED IN ORDER TO PREVENT POSSIBLE DISTORTION OR DEFORMATION OF THE TRUSS.
63. STRUCTURAL LOADS AND DEFLECTION:

A. FLOORS: DEAD LOAD = 0.70KPA (15PSF) 1/360 MAX DEFLECTION

B. FLOORS: DEAD LOAD = 1.30KPA (27.2PSF) 1/360 MAX DEFLECTION CERAMIC AREAS

C. OTHER AREAS: LIVE LOAD = 1.90KPA (40PSF) 1/360 MAX DEFLECTION

D. PARTITIONS: DEAD LOAD = 1.0KPA (20.8PSF)

E. ROOF: DEAD LOAD = 0.70KPA (14.6PSF) RAFTER NO CEILING 1/240 MAX. DEFLECTION

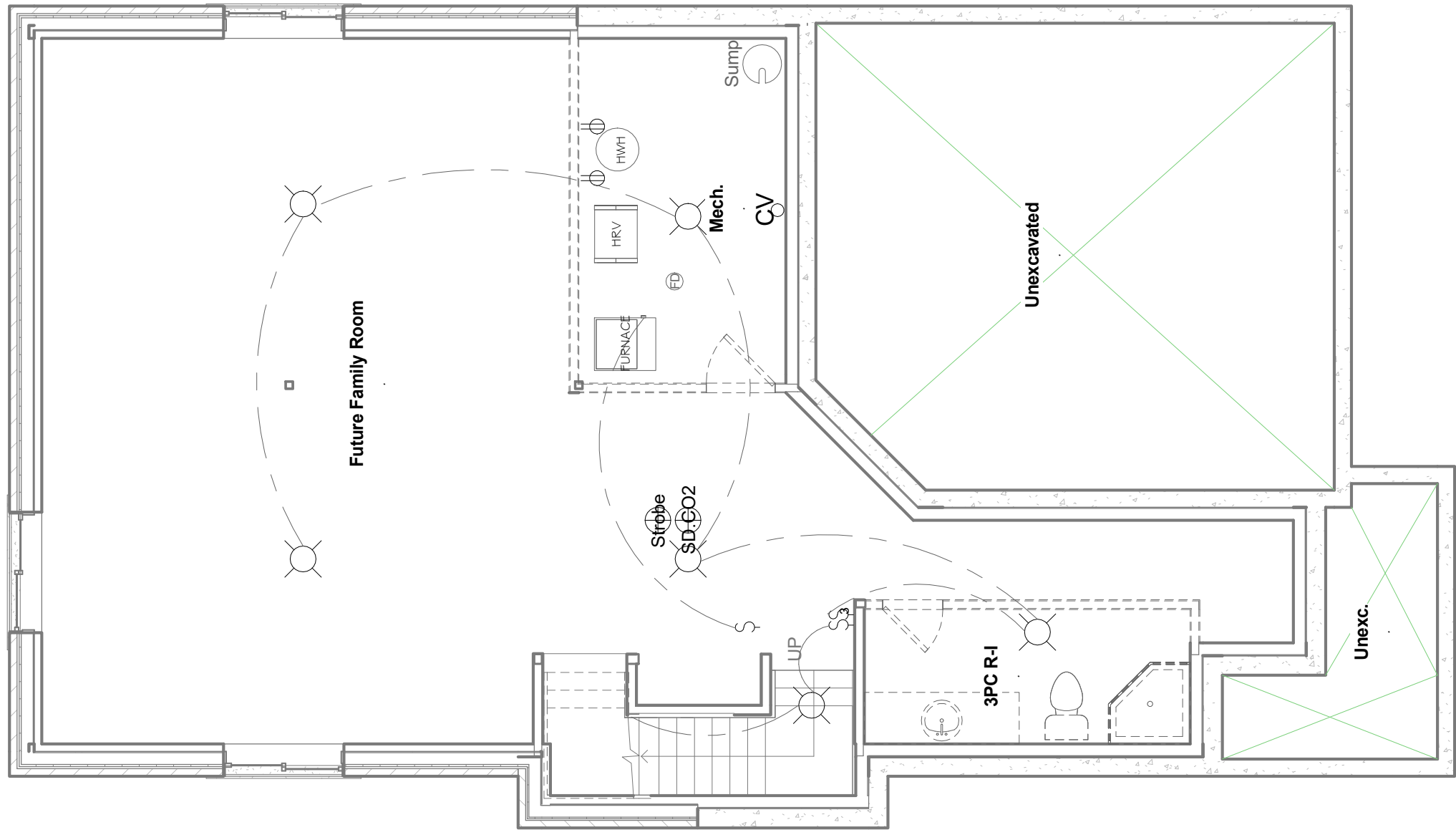
F. GROUND SNOW LOAD = 2.80KPA* (58.5PSF) CEILING/SUPPORTING CEILING 1/360MAX

G. RAIN LOAD = 0.40KPA (8.3PSF)

H. * UNFACTORED LIVE GROUND SNOW LOAD AND MAY VARY FROM LOCATION TO LOCATION.
64. ALL WINDOWS SHALL CONFORM TO AAMA/WDMA CSA 101/1.52
65. COLD WEATHER REQUIREMENTS FOR CONCRETE FORMS APPLY WHERE OUTSIDE AIR TEMPERATURE IS BELOW -10 DEG. C. FORMS TO REMAIN IN PLACE FOR 72HRS.
66. ALL EXTERIOR FOOTINGS SHALL BE PLACED MINIMUM 48" BELOW ADJACENT GRADE UNLESS OTHERWISE NOTED ON PLANS.
67. PROVIDE BLOCKING IN MAIN BATHROOM WALL FRAMING FOR FUTURE GRAB BAR INSTALLATION
68. KITCHEN HOOD VENT SHALL DIRECTLY VENT TO EXTERIOR WITH NON-COMBUSTIBLE DUCTWORK.
69. OPTIONAL GAS FIREPLACE SHALL VENT TO EXTERIOR WITH NON-COMBUSTIBLE DUCTWORK.
70. ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH OBC SECTION 9.34. AND APPROVED BY EPA.

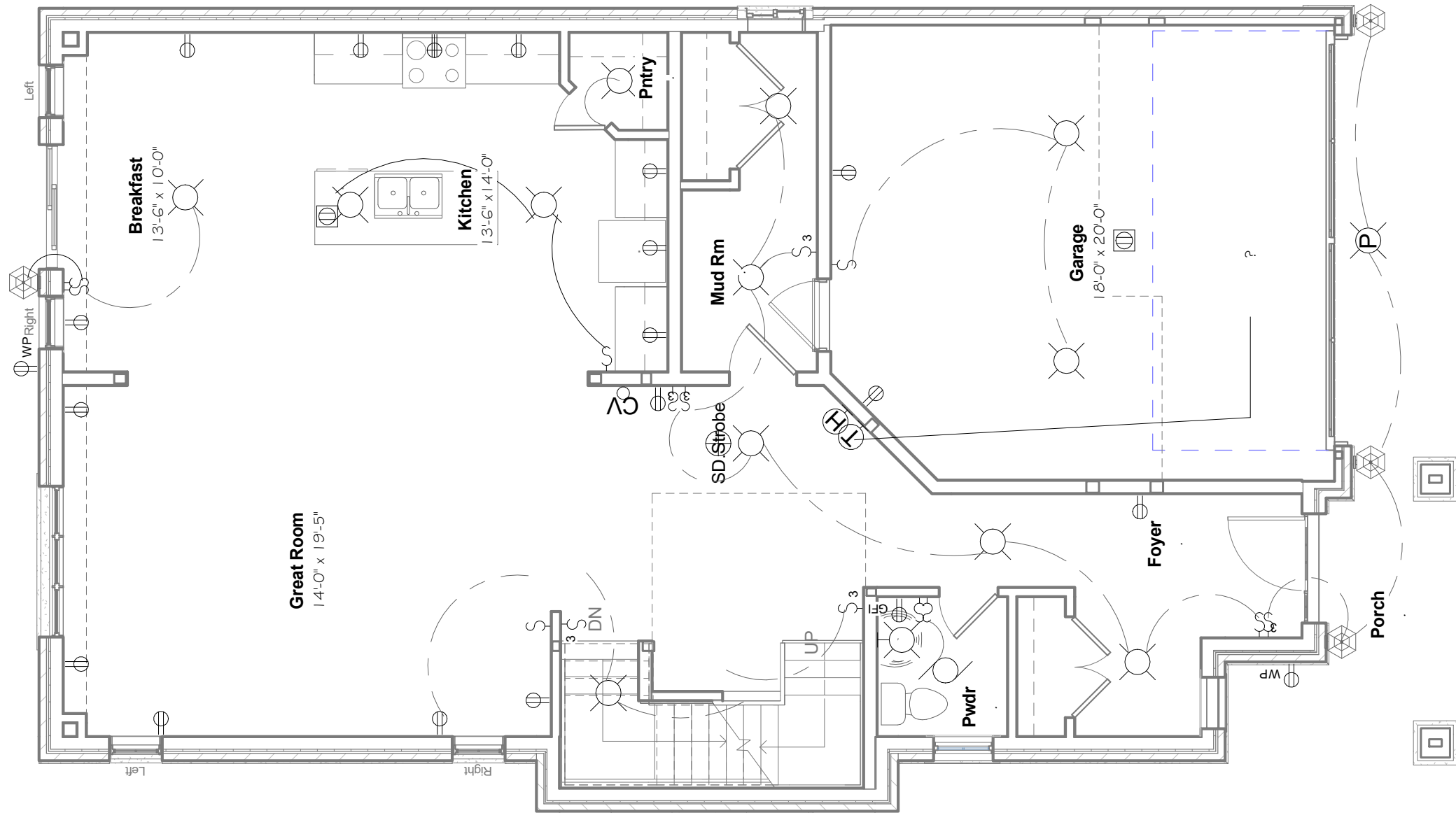
Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	<div>Devonleigh Homes Inc (519) 942-3311</div> <div>P.O. Box 70 Fax: (519) 942-9892</div> <div>Orangeville, Ontario www.devonleighbhomes.com</div>	PROJECT :		
Number	Date	Description			Craftsman Middleton B Left		
					Lot 82 (72) Foley Crescent		
					DRN. BY: rgg	CHK. BY:	DRAWING NO:
					2018-10-26 12:48:45 PM		A14
			P:_Collingwood - Summit View\82 Foley Crescent\Lot 82 Foley Crescent Craftsman Middleton B Right.rvt				
			PROJECT NO: Summit View, Collingwood, ON		REV:		

Designer :
BCIN : 20823 Rodney G. Greer
DRAWING :
Notes
Gazarek



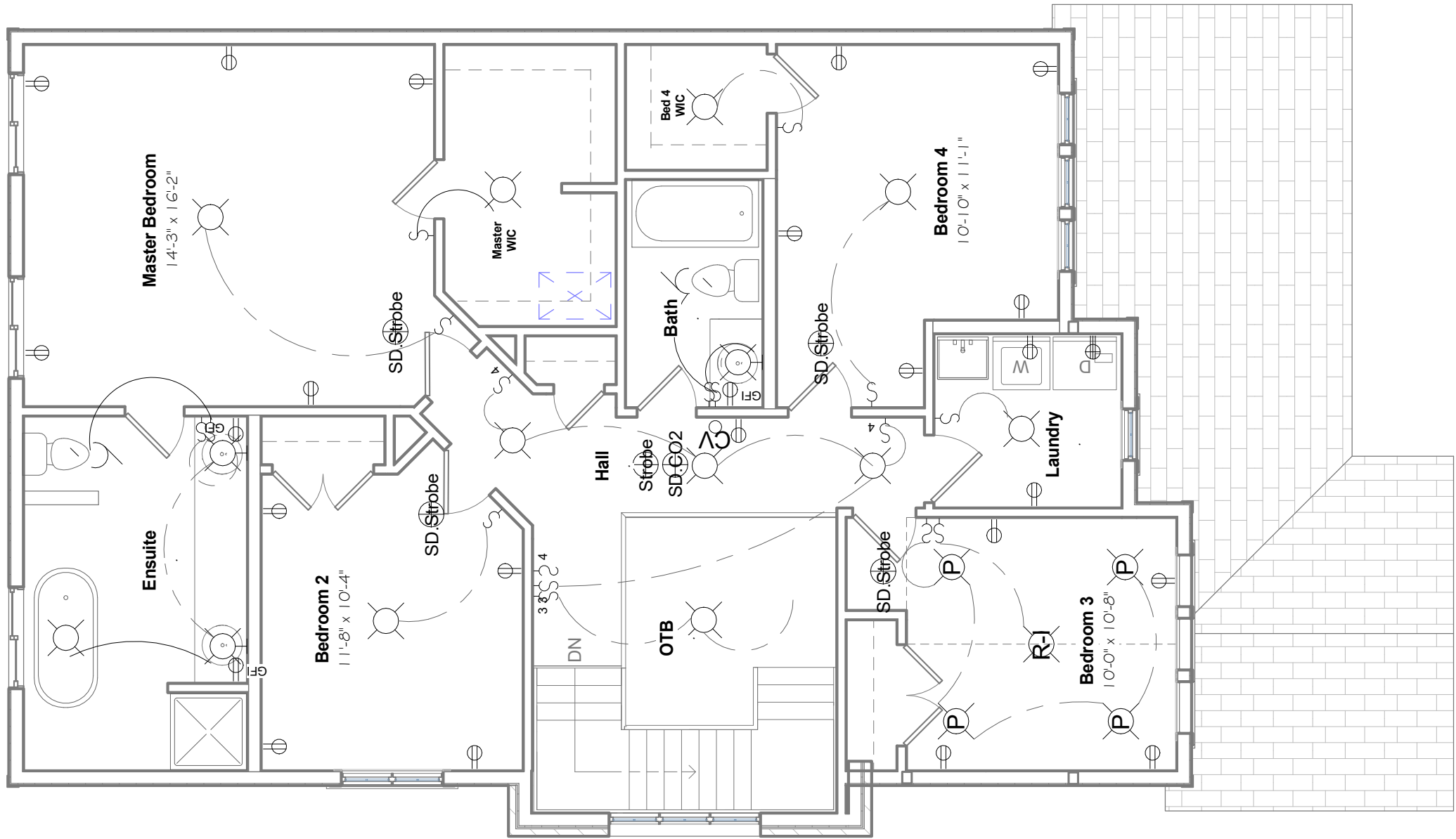
1 Basement Electrical
3/16" = 1'-0"

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	<div>Devonleigh Homes Inc (519) 942-3311</div> <div>P.O. Box 70 Fax: (519) 942-9892</div> <div>Orangeville, Ontario www.devonleighthomes.com</div>		PROJECT :	
Number	Date	Description		Craftsman Middleton B Left			
				Lot 82 (72) Foley Crescent			
				DRN. BY: rgg	CHK. BY:	DRAWING NO:	
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				PROJECT NO: Summit View, Collingwood, ON		REV:	
			Designer : BCIN : 20823 Rodney G. Greer				
			DRAWING : Basement Electrical Plan Gazarek				



1 Ground Floor Electrical
3/16" = 1'-0"

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	<div>Devonleigh Homes Inc (519) 942-3311</div> <div>P.O. Box 70 Fax: (519) 942-9892</div> <div>Orangeville, Ontario www.devonleighhomes.com</div>		PROJECT : Craftsman Middleton B Left Lot 82 (72) Foley Crescent		
Number	Date	Description		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg	CHK. BY:	DRAWING NO:
				<div>DRAWING :</div> <div>Ground Floor Electrical</div> <div>Gazarek</div>		2018-10-26 12:48:50 PM	SCALE: 3/16" = 1'-0"	E1
						CAD FILE: P:_Collingwood - Summit View\82 Foley Crescent\Lot 82 Foley Crescent Craftsman Middleton B Right.rvt		



1 Second Floor Electrical
3/16" = 1'-0"

Revision Schedule			<div>GENERAL NOTES :</div> <div>1. This drawing is the property of Devonleigh Homes Inc. and is to be returned upon request. It is not to be reproduced or used for any other project without written permission.</div> <div>2. Check and verify all dimensions and report any discrepancies to the Designer for written directions before proceeding with the work.</div> <div>3. Work to dimensions shown - DO NOT SCALE.</div> <div>4. Building to conform to the Ontario Building Code (latest edition) and to local by-laws.</div>	<div>Devonleigh Homes Inc (519) 942-3311</div> <div>P.O. Box 70 Fax: (519) 942-9892</div> <div>Orangeville, Ontario www.devonleighbhomes.com</div>		PROJECT : Craftsman Middleton B Left Lot 82 (72) Foley Crescent			
Number	Date	Description		Designer : BCIN : 20823 Rodney G. Greer		DRN. BY: rgg		CHK. BY:	DRAWING NO:
				DRAWING : Second Floor Electrical Gazarek		2018-10-26 12:48:52 PM		SCALE: 3/16" = 1'-0"	E2
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						PROJECT NO: Summit View, Collingwood, ON		REV:	



3 Block 285 Archer Ave Perspective



4 Craftsman Villas B
3" = 1'-0"

Project Design Conditions			
SB-12 Prescriptive Path	Table 3.1.1.2.A	Package A6	
Zone	1		
Heating Equipment	>= 92% AFUE		
Fuel	Gas		
Building Specifications			
Building Component	R Values	Building Component	Efficiency Ratings
Ceiling w/Attic	60	Windows/Sliding Glass Doors	ER 25 U 1.6
Ceiling without Attic	31	Skylights	2.8
Exposed Floor	31		
Walls Above Grade	22+5CI	Space Heating	92%
Basement Walls	20 CI	HRV Eff.	65%
Slab (All > 600mm Below Grade)	NA	DHW Eff.	0.8
Slab (Edge only <=600mm Below Grade)	10	Drain water heat recovery unit (connected to 2 showers/tubs)	1
Slab (All <= 600mm Below Grade Heated)	10		

1 Energy Efficiency Design Summary
12" = 1'-0"

Sheet List	
Sheet Number	Sheet Name
A0	Title Sheet
A1	Front & Left Elevation
A2	Basement Plan
A3	Ground Floor Plan
A4	Second Floor Plan
A5	Roof Framing Plan
A6	Rear & Right Elevation
A7	Building Sections
A8	Typical Details
E0	Basement Electrical Plan
E1	First Floor Electrical
E2	Second Floor Electrical

Area Schedule (Gross Building)		
Unit No.	Level	Area
Unit 1	Ground Floor	643 SF
Unit 1	Second Floor	798 SF
Unit 1 : 2		1440 SF
Unit 2	Ground Floor	612 SF
Unit 2	Second Floor	781 SF
Unit 2 : 2		1393 SF
Unit 3	Ground Floor	612 SF
Unit 3	Second Floor	775 SF
Unit 3 : 2		1387 SF
Unit 4	Ground Floor	626 SF
Unit 4	Second Floor	798 SF
Unit 4 : 2		1424 SF
Grand total: 8		5645 SF

DETAIL SYMBOL:

DETAIL NO:

DRAWING NO:

ALL DIMENSIONS SHALL BE VERIFIED BY THE SITE SUPERVISOR BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER SIGNED BELOW PRIOR TO THE COMMENCEMENT OF WORK. ALL DRAWINGS, SPECIFICATIONS ETC., PREPARED BY THE DESIGNER ARE THEIR PROPERTY AS INSTRUMENTS OF SERVICE TO BE RETURNED AS REQUESTED. ALL WORK SHALL COMPLY WITH THE CURRENT EFFECTIVE ONTARIO BUILDING CODE AND ALL BY-LAWS WITH AUTHORITIES HAVING JURISDICTION.

Devonleigh Homes Inc.

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Canada

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(519) 942-9892

www.devonleighhomes.com

DESIGNER:
BCIN : 20823 Rodney G. Greer

Owner:
Block 285 Archer Ave

PROJECT:
Craftsman Villas B
Summit View,
Collingwood, ON

Issue for Permit 01.31.2019

LOCATION:
Block 285 Archer Ave
Craftsman Villas B

DRAWING:

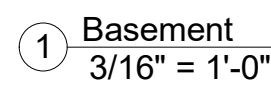
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	ISSUE DATE: 01.31.2019
	SCALE: As indicated
	PROJECT NO: Summit View, Collingwood, ON

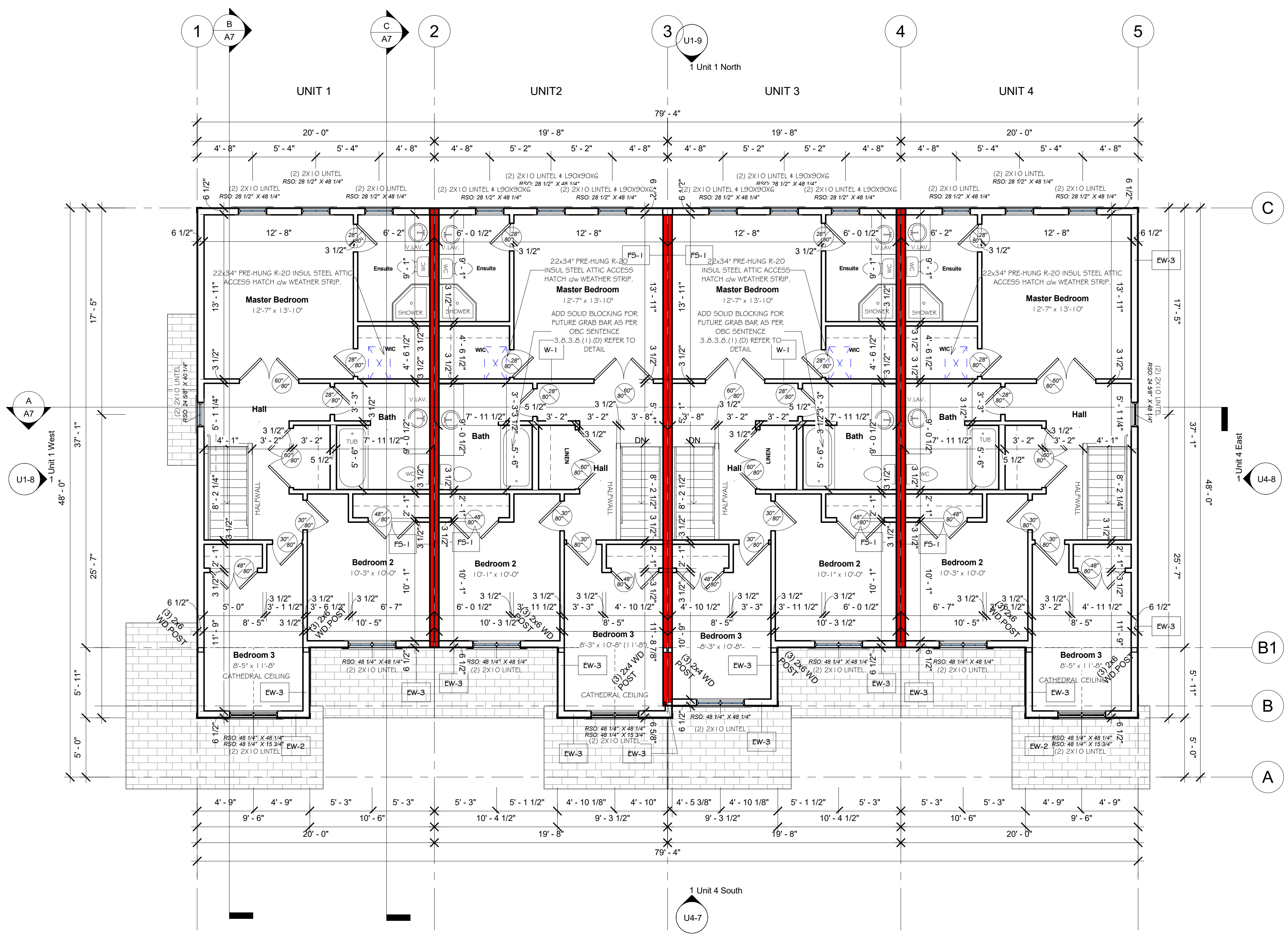
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Revision Schedule		
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<div><div><div>DETAIL SYMBOL:</div><div><div>DETAIL NO:</div><div>DRAWING NO:</div></div></div><div><div>ALL DIMENSIONS SHALL BE VERIFIED BY THE SITE SUPERVISOR BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER SIGNED BELOW PRIOR TO THE COMMENCEMENT OF WORK. ALL DRAWINGS, SPECIFICATIONS ETC., PREPARED BY THE DESIGNER ARE THEIR PROPERTY AS INSTRUMENTS OF SERVICE TO BE RETURNED AS REQUESTED. ALL WORK SHALL COMPLY WITH THE CURRENT EFFECTIVE ONTARIO BUILDING CODE AND ALL BY-LAWS WITH AUTHORITIES HAVING JURISDICTION.</div></div></div>		
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A2



① Second Floor
3/16" = 1'-0"

Revision Schedule		
Revision Number	Revision Date	Revision Description

DETAIL SYMBOL:

DETAIL NO:

DRAWING NO:

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Orangeville, Ontario,
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(519) 942-9892

www.devonleighthomes.com

DESIGNER:
BCIN : 20823 Rodney G. Greer

Owner:

Block 285 Archer Ave

PROJECT:

**Craftsman Villas B
Summit View,
Collingwood, ON**

Issue For Permit: 01.31.2019

LOCATION:
Block 285 Archer Ave
Craftsman Villas B

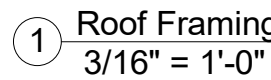
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Second Floor Plan

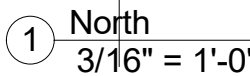
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	ISSUE DATE: 01.31.2019
	SCALE: 3/16" = 1'-0"
	PROJECT NO: Summit View, Collingwood, ON

ORIENTATION:	DRAWING NO:
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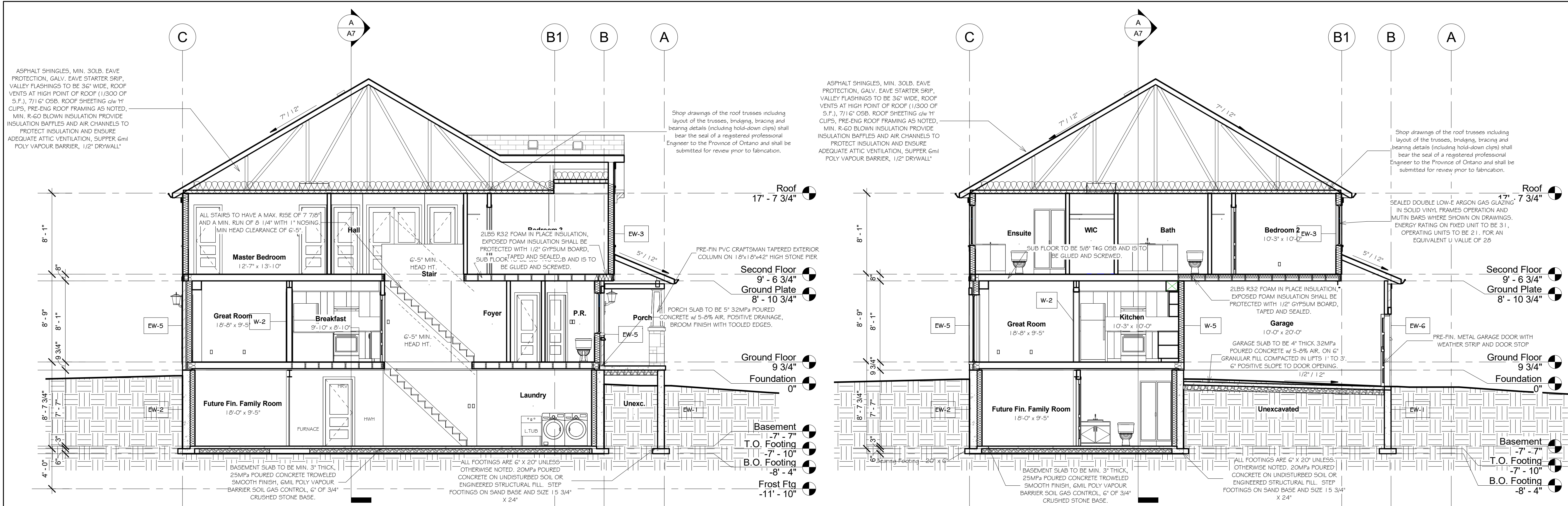
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A5

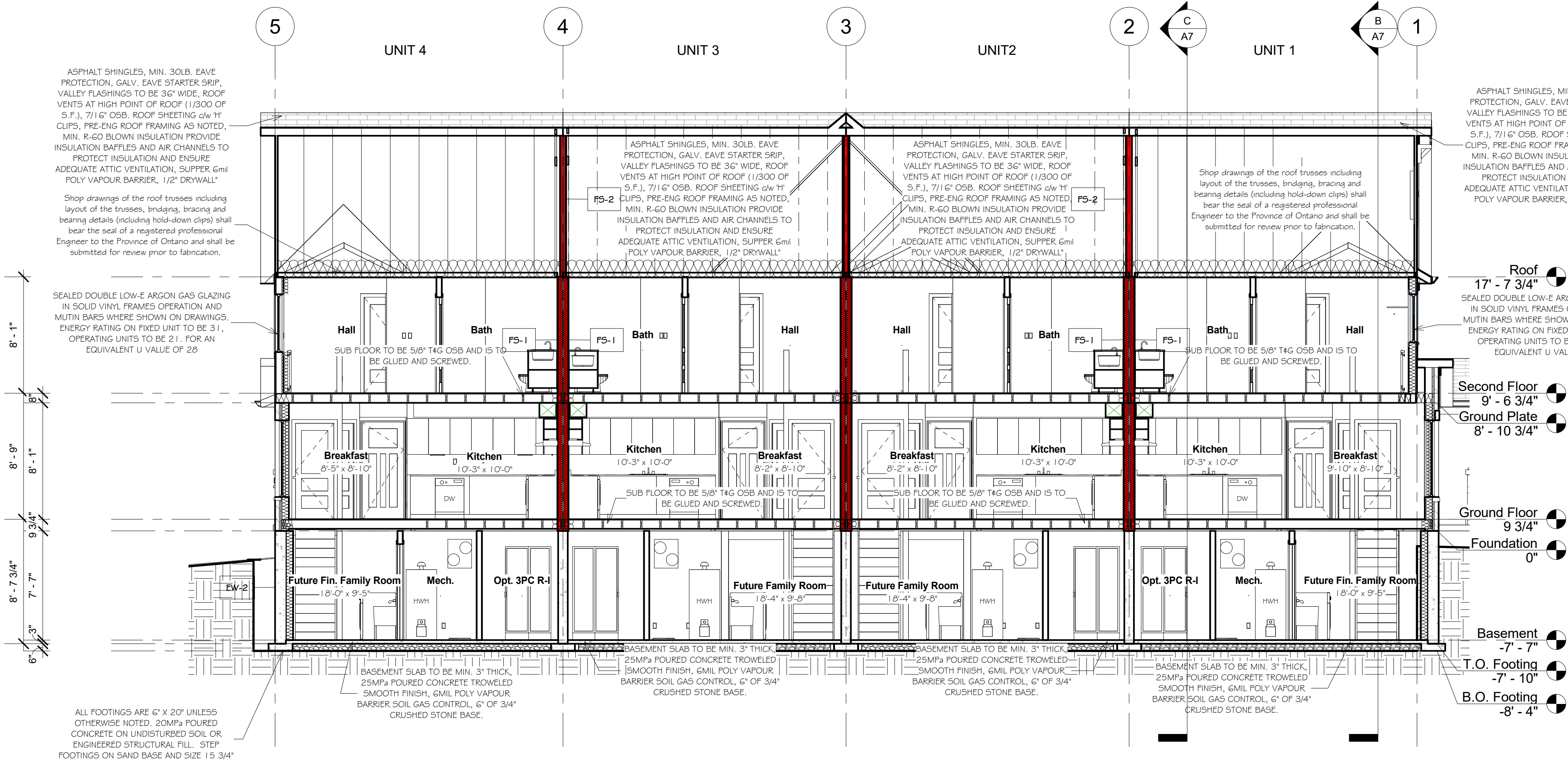


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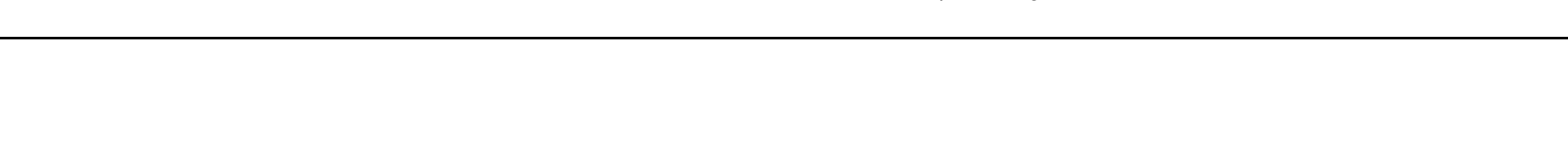
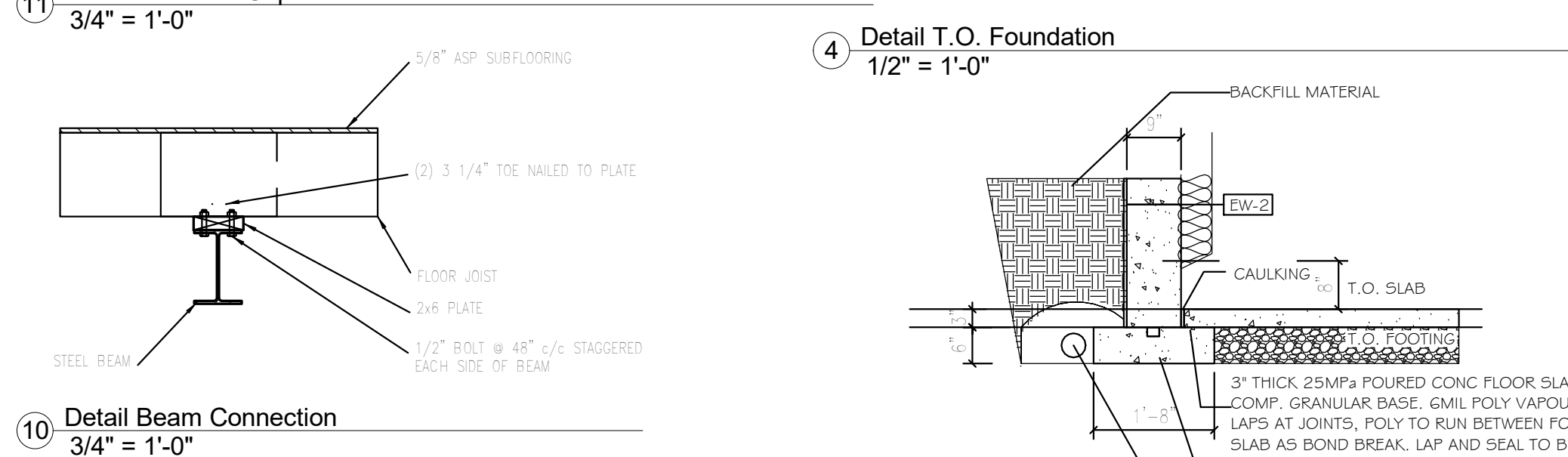
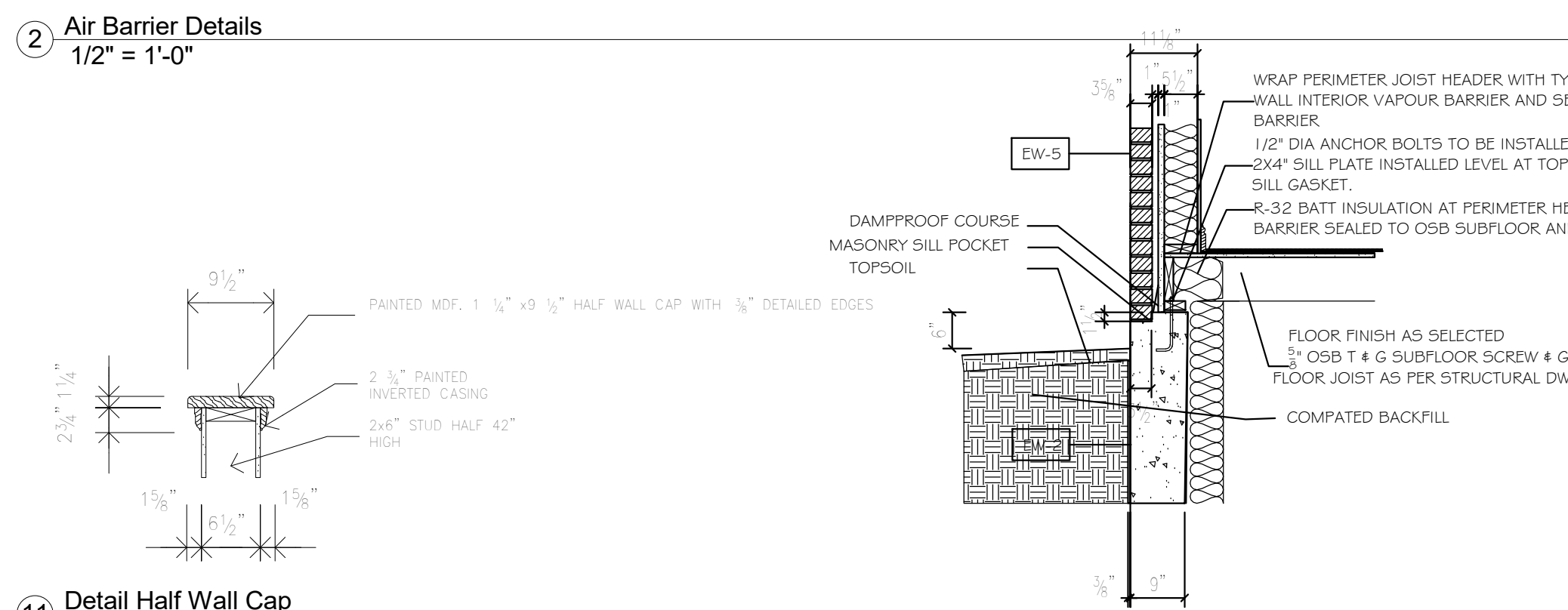
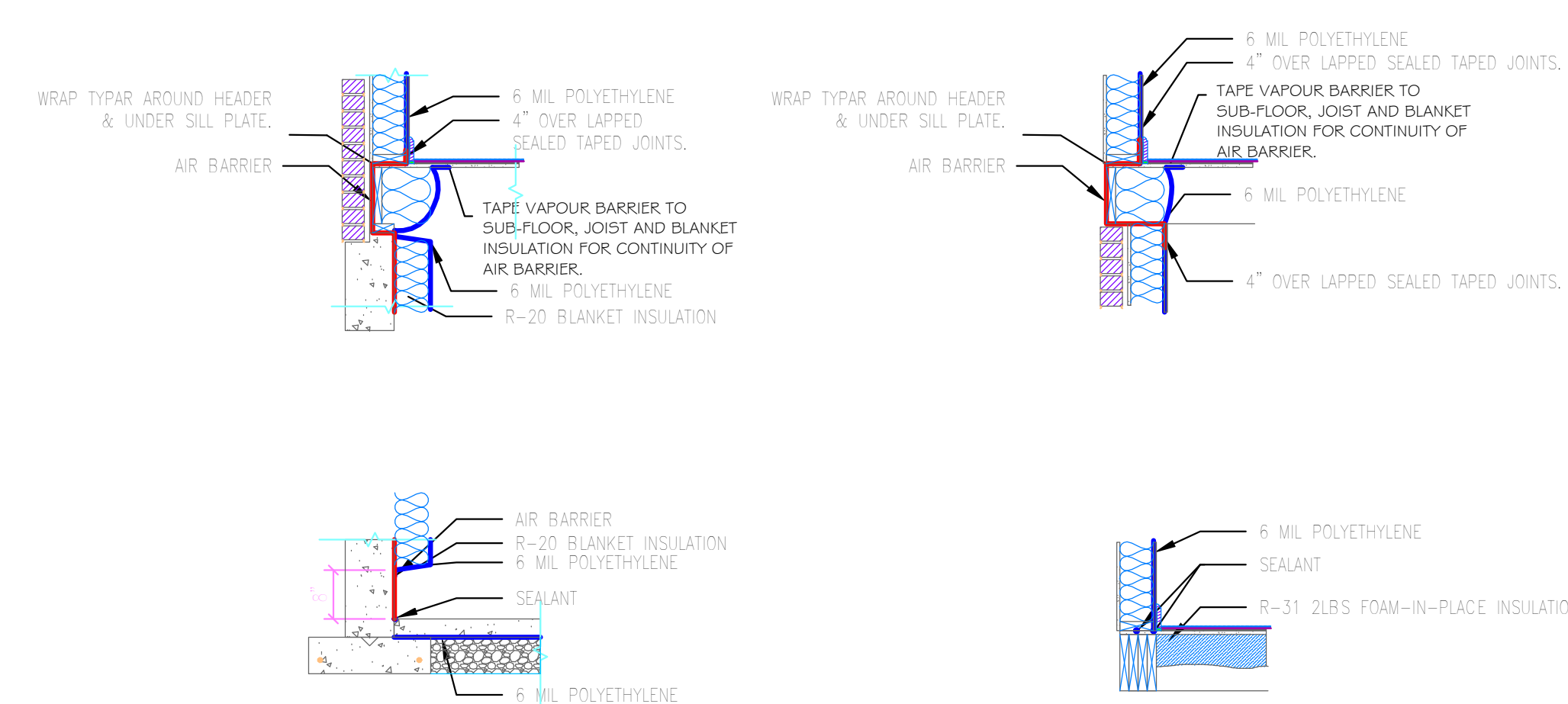
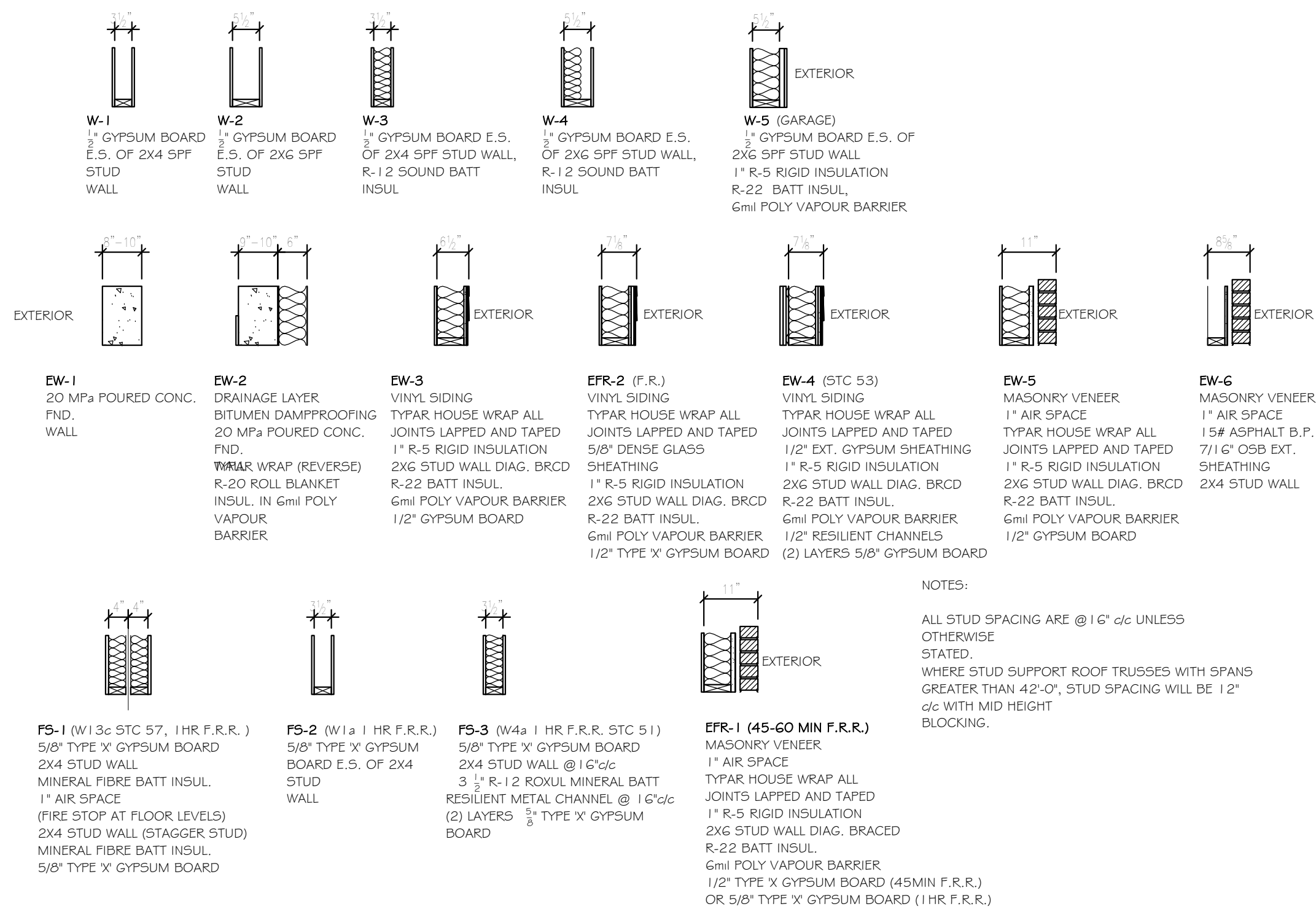
B Cross Section B
3/16" = 1'-0"

C Cross Section C
3/16" = 1'-0"



A Cross Section A
3/16" = 1'-0"

Revision Schedule		
Revision Number	Revision Date	Revision Description
DETAIL SYMBOL:		
DETAIL NO:		
DRAWING NO:		
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P. O. Box 70 Orangeville, Ontario, Canada		
(519) 942-3311 (519) 942-9892		
www.devonleighbhomes.com		
DESIGNER: BCIN : 20823 Rodney G. Greer		
Owner:		
Block 285 Archer Ave		
PROJECT:		
Craftsman Villas B Summit View, Collingwood, ON		
Issue For Permit		01.31.2019
LOCATION: Block 285 Archer Ave Craftsman Villas B		
DRAWING:		
Building Sections		
PROJECT NORTH:		DRAWN BY: ggr
ISSUE DATE: 01.31.2019		SCALE: 3/16" = 1'-0"
PROJECT NO: Summit View, Collingwood, ON		DRAWING NO:
ORIENTATION:		
A7		



7. THE BUILDING SHALL BE SITE GRADED SO THAT WATER WILL NOT ACCUMULATE AT OR NEAR THE BUILDING AND WILL NOT ADVERSE AFFECT ADJACENT PROPERTIES.
8. EXTERIOR FINISH SHALL BE 1" THICK POLISHED PORTLAND CEMENT W-8 OR C OR GRANULAR FILL COMPACTED IN LIFTS, 1" 3" SPOILED SLOPE TO DOOR OPENING.
9. WEEPING TIE TO BE 4" BARS @ 4' ON CENTER, AND 6" 3/4" STONE.
10. BRICK VENTNER TO BE MAX 5/8" CANAL BRICK WITH METAL TIES 15 3/4" VERTICAL AND 31 1/2" HORIZONTAL OR 23 5/8" VERTICAL 15 3/4" HORIZONTAL. WEEP HOLES SHALL BE PROVIDED AT 27" MAX VERTICAL SPACING. WEEP HOLES SHALL BE LOCATED 12" MIN. FROM THE BOTTOM OF THE BRICK VENTNER. WEEP HOLES IN BRICK VENTNER OVER VOID FRAME SHALL EXTEND 31" 3/4" BEYOND THE OUTER FACE OF THE BUILDING 5' 7/8" UP THE VOID FRAME.
11. WEEP HOLES SHALL BE 1/2" DIA. SLOPE SHALL EXCEEDS 9" 10"
12. DRINKWALL SCREWS MAX 11 3/4" DIA. FOR CEILING, 15 3/4" DIA. OR WALLS WITH STUDS @ 16".
13. EXTERIOR CONCRETE TO HAVE 32MPS COMPRESSIVE STRENGTH
14. WINDOW AND DOOR HEAD HEIGHTS TO BE 82 1/2" UNLESS OTHERWISE STATED. TRANSOM WINDOWS SET ABOVE 82 1/2" UNLESS OTHERWISE STATED.
15. LIGHT OUTLETS SHALL BE CONTROLLED BY A WALL SWITCH IN KITCHENS, BEDROOMS, LIVING ROOMS, UTILITY ROOMS, LAUNDRY ROOMS, DINING ROOMS, BATH ROOMS, WALL CLOSET ROOMS AND BATHROOMS. WALL SWITCHES SHALL BE PROVIDED IN EACH ROOM BY A WALL SWITCH CAN BE USED IN BEDROOMS AND LIVING ROOMS. BASEMENTS LIGHT OUTLETS SHALL BE PROVIDED FOR EACH 323 SQ. FT. OF FLOOR AREA.
16. SHOWER STALLS TO HAVE FLOOR PANEL AT WALL 42" HIGH, CORNER SHOWER STALLS 36" FROM CORNERS.

- BASEMENT NOTES

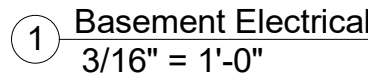
22. INTERIOR PERIMETER OF CONCRETE FOUNDATION WALLS TO HAVE FULL HEIGHT R-20 BLANKET INSULATION W/ SUPER GRM. POLY VAPOR BARRIER AND TYPICAL BUILDING VAPOR.
23. INSULATION TO BE (2) 2" X 6" X 2 3/8" UNLESS OTHERWISE NOTED REFER TO SCHEDULES.
24. ROUGH-IN FLOORING (3) THREE PEEC BATH WHERE (1) 5" SHOWN.
25. ALL FLOORINGS ARE 6" X 24" UNLESS OTHERWISE NOTED. 1" SMPA FOUNDED ON 4" CONCRETE. EXTERIOR REPAIRS TO BE DONE WITH STRUCTURAL FILL. STEEL FOUNDATIONS ON SAND BASE AND SIZE 1 1/2" X 24" X 2".
26. FOUNDATIONS WALLS TO BE 8" THICK. UNLESS OTHERWISE NOTED, WITH 2" CMPA FOUNDED CONCRETE COMPRESSIVE STRENGTH.
27. CONCRETE TO BE 4" MIN. THICK. UNLESS OTHERWISE NOTED.
28. 4" DIA. STEEL TELEPOSTS TO BE USED WHERE SHOWN, BOLT TO CONCRETE FOUNDATION AND SUPPORTED STEEL BEAM.
29. BACKFILL TO A MAXIMUM HEIGHT OF 6' ± 11".
30. CONCRETE EXTERIOR REPAIRS TO BE DONE WITH FOUNDATION WALL WITH BITUMEN TAP STRAP TIES AND AROUND ANY MECHANICAL / PLUMBING PENETRATIONS.
31. DRAINAGE LAYER TO BE SYSTEM PLANT.
32. BASEMENT SLAB TO BE MIN. 3" THICK. 25MPA FOUNDED CONCRETE.
33. CONCRETE SMOOTH TOP SURFACE.
34. IF GARAGE IS EXCAVATED FILL WITH SAND COMPACT TO 98% STANDARD PROCTOR.
35. PROVIDE DIRECT VENTING FROM GAS FURNACE AND HOT WATER HEATER TO EXTERIOR.
36. PROVIDE 4" DIA. METAL PIPE TO VENT DUCT TO EXTERIOR CW HHOOD AND DAMPER.
37. SLOPE BASEMENT FLOOR SLAB TO FLOOR DRAIN.
21. GARAGE DOOR POCKET SIZE TO SUIT GRADE FROM TOP OF BRICK LEDGE AND GARAGE DOOR WIDTH.
20. PROVIDE 6" SLEEVE FOR SEPTIC SYSTEM PIPE 6" BELOW FINISHED GRADE WHERE APPLICABLE.
19. PROVIDE 6" SLEEVE FOR WATER AND HYDRO VENT.
18. SUMP PUMP AND PUMP, PROVIDE DUCT RECEPTANCE WITHIN 24" TO POWER PUMP.
17. SMOKE ALARMS CW STROBE, SHALL BE HARDWIRED AND INTERCONNECTED AND SHALL BE PROVIDED WITH A BATTERY AS AN ALTERNATIVE POWER SOURCE THAT CAN CONTINUE TO PROVIDE POWER TO THE SMOKE ALARM FOR A PERIOD OF NOT LESS THAN 7 DAYS IN THE NORMAL CONDITION, FOLLOWED BY 4 MIN. OF ALARM.
16. PROVIDE A WIRE THAT IS DIRECTLY CONNECTED TO A HOT WATER STORAGE TANK SHALL HAVE HEAT TRAPS ON BOTH INLET AND OUTLET PIPES AS CLOSE AS PRACTICAL TO THE TANK. EXCEPT WHERE THE TANK (A) HAS AN INTEGRAL HEAT TRAP, OR (B) SERVES AS A RECIRCULATING SYSTEM.
15. PROVIDE A HOT WATER STORAGE TANK OUTLET PIPING OF A HOT WATER STORAGE TANK SERVING A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.2. THE INLET PIPE OF A HOT WATER STORAGE TANK BETWEEN THE HEAT TRAP AND THE TANK SHALL BE A NON-RECIRCULATING SYSTEM SHALL BE INSULATED TO PROVIDE A THERMAL RESISTANCE OF NOT LESS THAN RSI 0.2.
14. WHERE A SUPPLY DUCT IS LOCATED IN A CONDITIONED SPACE, THE DUCTWORK SHALL BE SEALED TO A CLASS C SEAL LEVEL. IN ACCORDANCE WITH ASHRAE 62.1MCMCA, HVAC DUCT CONSTRUCTION STANDARDS – METAL FLEXIBLE".

- FIRST FLOOR NOTES

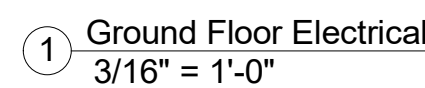
34. PRE-HUNG INSULATED STEEL SKIN DOOR C/W SELF-CLOSER, WEATHERSTRIP AND ALUMINUM THRESHOLD.
35. PROVIDE SMOKE-TIGHT JOINTS BETWEEN HOUSE AND GARAGE C/W 2" X 2" MIN. MIN. AIR GAP. PROVIDE 1" VAPOR BARRIER, CAULK AROUND ALL OPENINGS AND PENETRATIONS THROUGH GARAGE AND HOUSE. GARAGE DOOR C/W SELF-CLOSER.
36. ALL INTERIOR UNITS ARE (2) 24" X 24" 2" SFT UNLESS OTHERWISE NOTED
37. REFER TO UNIT SCHEDULES FOR EXTERIOR UNITS.
38. GARAGE DOOR UNITS TO BE (2) 2X12" x 7'10" 6" OSB UNLESS OTHERWISE NOTED
39. GARAGE DOOR UNITS TO BE 5'32"MPA POLISHED COATED W/ 5-8% AIR POSITIVE DRAINAGE, BROOM FINISH WITH TOOLED EDGES.
40. WIRE ROD AND SHEET IN ALL CLOSETS
41. DECORATIVE POSTS (8" OR 10") ON TOP OF BRICK FRILLS AS SHOWN ON THE ELEVATIONS
42. INTERIOR WALLS TO BE 2X4" 2" SFT STUDS @ 16" O/C (13/2" THICK) UNLESS OTHERWISE NOTED (2X6" STUDS @ 12" O/C)
43. INTERIOR CEILING SHALL BE 2X4" 2" SFT STUDS @ 16" O/C (13/2" THICK). FRAME WITH 2X6" 2" SFT RAFTERS AND CEILING JOISTS @ 16" O/C
44. SUB FLOOR TO BE 5/8" 16G OSB AND IS TO BE GLUED AND SCREWED.
45. ALL STAIRS TO HAVE A MAX. RISE OF 7"7/8" AND A MIN. RUN OF 8"1/4" WITH 12" MIN. MIN. TREADS AND 3" MIN. MIN. RISES. STAIR WALLS AND GUARD RAILS CONSTRUCTED IN ACCORDANCE WITH THE SUPPLEMENTARY GUIDELINES 56-7 OF THE ONTARIO BUILDING CODE.
46. AIR / VAPOR BARRIER TO BE LAPPED 4" AND SEALED. ELECTRICAL PENETRATIONS TO BE SEALED.
47. WHERE PORCH IS UNDECAVATED PROVIDE 6" COMPACTED GRANULAR DIRECTLY BELOW SLAB. WHERE PORCH IS OVER COLD ROOM PROVIDE 10" BARS 8" O/C EACH DIRECTION WITH 1"1/4" C/C OF 1"2" O/C REBAR. C/W 1" VAPOR BARRIER. PROVIDE 1" WALL SILES AND ANCHORED TO WALL WITH 1"OW DOWELS 24"X24" @24" C/C. EXCESS NOTED OTHERWISE.
48. 2X6X2 PRE-HUNG R-20 INSUL STEEL ATTIC ACCESS HATCH C/W WEATHER STRIP
49. PRE-HUNG INSULATED STEEL SKIN DOOR C/W WEATHER STRIP AND ALUM. THRESHOLD.
50. PROVIDE 1" LOW E GLAZING IN SOLID VINYL FRAMES OPERATION AND MUNTIN BARS WHERE SHOWN ON DRAWINGS.
51. ELECTRICAL DESIGN BY ELECTRICAL CONTRACTOR.
52. MECHANICAL AND PLUMBING SPECIFICATIONS, LOCATIONS, AND SIZES TO BE DETERMINED BY MECHANICAL AND PLUMBING CONTRACTORS.
53. THE PROGRAMMABLE THERMOSTATIC CONTROL DEVICE SHALL (A) ALLOW THE SETTING OF DIFFERENT AIR TEMPERATURES FOR ATLEAST, (I) FOUR TIME PERIODS PER DAY, AND (II) TWO DIFFERENT DAY-TYPES PER WEEK EXCEPT (A) 24 HOURS PER DAY.
54. THE SETTING OF THE AIR TEMPERATURE TO (I) 15°C OR LOWER IN HEATING MODE, AND (II) 29°C OR LOWER IN COOLING MODE, WHERE APPROPRIATE.
55. RECONSTRUCTION IS PROVIDED
56. AIR AND SOLID BUILDING FOR THE GRADE BAR AIR PER CBC SENTENCE 3.8.3.3.1.(1). (D) REFER TO DETAIL

- ## STRUCTURAL SPECIFICATIONS

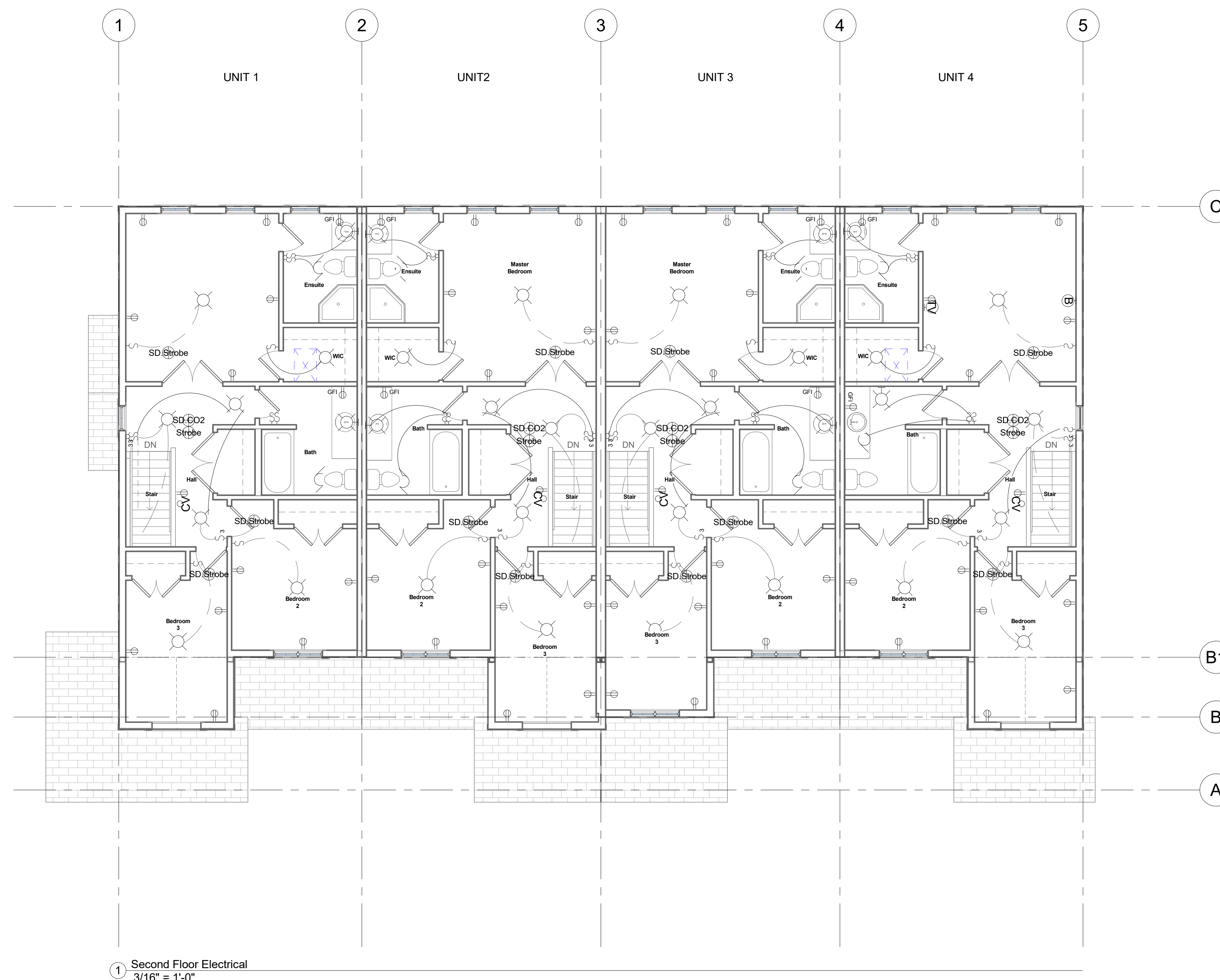
55. ENSURE MIN 75KPA SLO BEARING CAPACITY
56. EXCAVATION SHALL BE FREE OF ALL ORGANIC MATERIAL, KEPT FREE OF STANDING WATER AND SHALL BE KEPT FROM FREEZING DURING THE COURSE OF CONSTRUCTION
57. COMPRESSIVE STRENGTH OF CONCRETE:
 - A. FOOTINGS SHALL BE 20MPA
 - B. FOUNDATION WALLS 15MPA CORD MIX
 - C. INTERIOR FLOOR SLABS 20MPA
 - D. EXTERIOR SLABS DESIGNED TO WITHSTAND 32MPA
 - E. GARAGE FLOOR SLAB 32MPA
58. STRUCTURAL STEEL SHALL CONFORM TO CANADA-S16 1-M
59. ALL STEEL JOINTS SHALL HAVE A MINIMUM 6" END BEARING ON CONCRETE OR MASONRY.
60. WELDING OF STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF THE CANADIAN WESD AND SHALL BE UNDERTAKEN BY A WELDER CERTIFIED BY THE CANADIAN WELDING BUREAU TO THE REQUIREMENTS OF CSA STANDARD W41.
61. SHOP DRAWINGS OF THE ROOF TRUSSES INCLUDING LOCATION OF THE TRUSSING, BRACING, BATTENS AND SHEET METALS (INCLUDING HOLD-DOWN CLIPS) SHALL BEAR THE SEAL OF A REGISTERED PROFESSIONAL ENGINEER TO THE PROVINCE OF ONTARIO AND SHALL BE SUBMITTED FOR REVIEW PRIOR TO FABRICATION.
62. ALL ROOF TRUSS JOINTS SHALL BE FULLY DRY AND WELL SEASONED IN ORDER TO PREVENT POSSIBLE DISTORTION OR DEFORMATION OF THE TRUSSES.
63. STRUCTURAL LOADS AND DEFLECTION:
 - A. FLOORS: DEAD LOAD = $0.70KPa$ (15PSF) / 1/360 MAX DEFLECTION
 - B. FLOORS: DEAD LOAD + $1.00KPa$ (27.2PSF) / 1/360 MAX DEFLECTION LIVING AREAS
 - C. OTHER AREAS: DEAD LOAD + $1.90KPa$ (40PSF) / 1/360 MAX DEFLECTION
 - D. PARTITIONS: DEAD LOAD + $1.00KPa$ (20.4PSF)
 - E. ROOFS: DEAD LOAD = $0.70KPa$ (14.6PSF) RAFTER NO CEILING / 1/240 MAX DEFLECTION
 - F. GROUND SNOW LOAD = $2.80KPa$ (58.5PSF)
 - G. CEILING SUPPORTING CEILING / 1/360MAX
 - H. RAIL LOAD = $0.40KPa$
 - I. UNFACTORED LIVE LOAD ON LOAD AND MAY VARY FROM FACTORED LIVE LOAD TO LOCATION.
64. ALL WINDOWS SHALL CONFORM TO AAMMAGNA CSA 1011 / 52
65. COLD SURFACE REQUIREMENTS SHALL BE NOTED ON PLANS. WHERE OUTSIDE AIR TEMPERATURE IS BELOW -10 C. FORMS TO REMAIN IN PLACE FOR 72HRS.
66. ALL EXTERIOR FOOTINGS SHALL BE PLACED MINIMUM 48" BELOW FINISHED GRADE LINE
67. PROVIDE BRACING IN MAIN BATHROOM WALL FRAMING FOR FUTURE GARDEN INSTALLATION
68. KITCHEN HOOD VENT SHALL DIRECTLY VENT TO EXTERIOR WITH NON-REVERSIBLE DUCTWORK
69. OPTIONAL GAS FIREPLACE SHALL VENT TO EXTERIOR WITH NON-COMBUSTIBLE DUCTWORK.
70. ALL ELECTRICAL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE 2015 CANECS AND 34, AND APPROVED BY EFA.



Revision Schedule		
Revision Number	Revision Date	Revision Description
<div><div><div>DETAIL SYMBOL:</div><div><div>DETAIL NO:</div><div>DRAWING NO:</div></div></div><div><div>ALL DIMENSIONS SHALL BE VERIFIED BY THE SITE SUPERVISOR BEFORE COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER SIGNED BELOW PRIOR TO THE COMMENCEMENT OF WORK. ALL DRAWINGS, SPECIFICATIONS ETC., PREPARED BY THE DESIGNER ARE THEIR PROPERTY AS INSTRUMENTS OF SERVICE TO BE RETURNED AS REQUESTED. ALL WORK SHALL COMPLY WITH THE CURRENT EFFECTIVE ONTARIO BUILDING CODE AND ALL BY-LAWS WITH AUTHORITIES HAVING JURISDICTION.</div></div></div>		
<div><div>Devonleigh Homes Inc.</div><div><div>P. O. Box 70 Orangeville, Ontario, Canada</div><div>(519) 942-3311 (519) 942-9892</div><div>www.devonleighbhomes.com</div></div></div>		
<div><div>DESIGNER:</div><div>BCIN : 20823 Rodney G. Greer</div></div>		
<div><div>Owner:</div><div>Block 285 Archer Ave</div></div>		
<div><div>PROJECT:</div><div>Craftsman Villas B Summit View, Collingwood, ON</div><div><div>Issue for Permit</div><div>01.31.2019</div></div></div>		
<div><div>LOCATION:</div><div>Block 285 Archer Ave Craftsman Villas B</div></div>		
<div><div>DRAWING:</div><div>Basement Electrical Plan</div></div>		
<div><div><div>PROJECT NORTH:</div><div><div>DRAWN BY: egg</div><div>ISSUE DATE: 01.31.2019</div><div>SCALE: 3/16" = 1'-0"</div><div>PROJECT NO: Summit View, Collingwood, ON</div></div></div><div><div>ORIENTATION:</div><div>DRAWING NO:</div><div>E0</div></div></div>		



E1



Revision Schedule		
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PROJECT NORTH:	DRAWN BY:	egg
	ISSUE DATE:	01.31.2019
	SCALE:	3/16" = 1'-0"
	PROJECT NO:	Summit View, Collingwood, ON
ORIENTATION:	DRAWING NO:	E2