



REPORT

Heritage Impact Assessment

276 Ste. Marie Street Apartments, Town of Collingwood, Ontario

Submitted to:

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Executive Summary

In September 2016, Golder was retained by Plan Wells Associates Inc. on behalf of the Bay Haven Nursing Home (Bay Haven) to conduct a Heritage Impact Assessment (HIA) as part of a severance application for 276 Ste. Marie Street in the Town of Collingwood, Ontario. The property is currently designated under Part V of the *Ontario Heritage Act* (OHA), and includes a two-storey, early 20th century brick building constructed in the Edwardian Classicism style.

Bay Haven is proposing to construct a four-storey rear addition and modify the existing structure to include eight dwelling units and one ground floor office space and ground level parking. Since the development is located within the Collingwood Downtown Heritage Conservation District (HCD), the Town of Collingwood required that a HIA be submitted as part of the site plan approval. In March 2018, Golder was retained to conduct a HIA for the proposed new construction.

Following guidelines provided by the Ministry of Tourism, Culture and Sport (MTCS), the Town of Collingwood's *Official Plan* and *Downtown Heritage Conservation District Plan*, and Canada's *Historic Places Standards & Guidelines for the Conservation of Historic Places in Canada*, this HIA identifies the heritage policies applicable to conserving and developing the property, provides an overview of the property's geography and history and an inventory of the property's built and landscape features. Based on this understanding of the property, the potential impacts resulting from the proposed development are assessed and future conservation actions recommended.

This HIA initially determined that without mitigation, the proposed development would result in major direct and indirect impacts to the heritage attributes of 276 Ste. Marie Street and the Collingwood Downtown HCD that are irreversible, widespread, permanent and continuous.

In response and on Golder's advice, Bay Haven modified the design to include:

- Providing a visual separation between the existing heritage structure and new addition;
- Limiting the number of changes to the existing heritage structure; and,
- Using design and materials that comply with the design guidelines of the Downtown HCD Plan.

With these mitigation measures, combined with consideration of alternatives and monitoring the heritage structure for vibration impact during construction, Golder has determined that the proposed development:

- ***Will result in minor direct and indirect impacts to the heritage attributes of 276 Ste. Marie that are irreversible, widespread, permanent and continuous.***

However, these minor impacts are balanced with the extent of adjacent development for the Admiral Collingwood Place and Provincial and municipal objectives for intensification.

Additionally, Golder recommends that the following documents be provided to complement the proposed renderings and provide further clarification on how the proposed development meets the Downtown HCD Plan:

- A heritage structure maintenance plan; and,
- A tree preservation and landscape plan.

Study Limitations

Golder has prepared this report in a manner consistent with the guidelines developed by the Ministry of Tourism, Culture and Sport (MTCS) and the Town of Collingwood's *Official Plan* and *Downtown Heritage Conservation District Plan*, subject to the time limits and physical constraints applicable to this report. No other warranty expressed or implied is made.

This report has been prepared for the specific site, design objective, developments and purpose described to Golder, by Bay Haven Nursing Home (the Client). The factual data, interpretations and recommendations pertain to a specific project as described in this report and are not applicable to any other project or site location.

The information, recommendations and opinions expressed in this report are for the sole benefit of the Client. No other party may use or rely on this report or any portion thereof without Golder's express written consent. If the report was prepared to be included for a specific permit application process, then upon the reasonable request of the Client, Golder may authorize in writing the use of this report by the regulatory agency as an Approved User for the specific and identified purpose of the applicable permit review process. Any other use of this report by others is prohibited and is without responsibility to Golder. The report, all plans, data, drawings and other documents as well as electronic media prepared by Golder are considered its professional work product and shall remain the copyright property of Golder, who authorizes only the Client and Approved Users to make copies of the report, but only in such quantities as are reasonably necessary for the use of the report by those parties. The Client and Approved Users may not give, lend, sell, or otherwise make available the report or any portion thereof to any other party without the express written permission of Golder. The Client acknowledges the electronic media is susceptible to unauthorized modification, deterioration and incompatibility and therefore the Client cannot rely upon the electronic media versions of Golder's report or other work products.

Unless otherwise stated, the suggestions, recommendations and opinions given in this report are intended only for the guidance of the Client in the design of the specific project.

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APPENDIX A

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Proposed Development Renderings

1.0 INTRODUCTION

In September 2016, Golder was retained by Plan Wells Associates Inc. on behalf of the Bay Haven Nursing Home (Bay Haven) to conduct a Heritage Impact Assessment (HIA) as part of a severance application for 276 Ste. Marie Street in the Town of Collingwood, Ontario (Figure 1). The property is currently designated under Part V of the Ontario Heritage Act (OHA), and includes a two-storey, early 20th century brick building constructed in the Edwardian Classicism style.

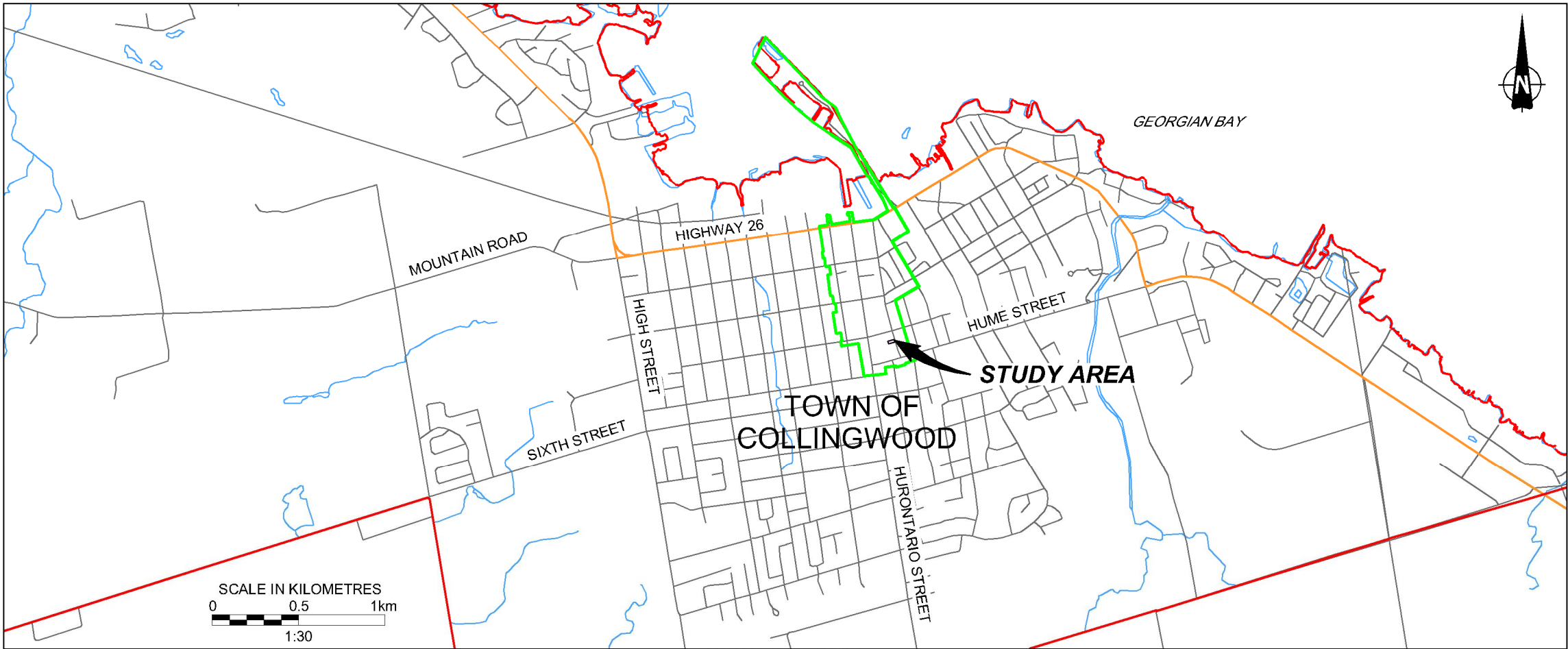
Bay Haven is proposing to construct a four-storey rear addition and modify the existing structure to include eight dwelling units and one ground floor office space and ground level parking. Since the development is located within the Collingwood Downtown Heritage Conservation District (HCD), the Town of Collingwood required that a HIA be submitted as part of the site plan approval (Figure 2). In March 2018, Golder was retained to conduct a HIA for the proposed new construction.

Following guidelines provided in the Ministry of Tourism, Culture and Sport's (MTCS) *Ontario Heritage Tool Kit* (2006) series, the Town's *Official Plan* and *Collingwood Downtown Heritage Conservation District Plan* and Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* (2010), this report provides:

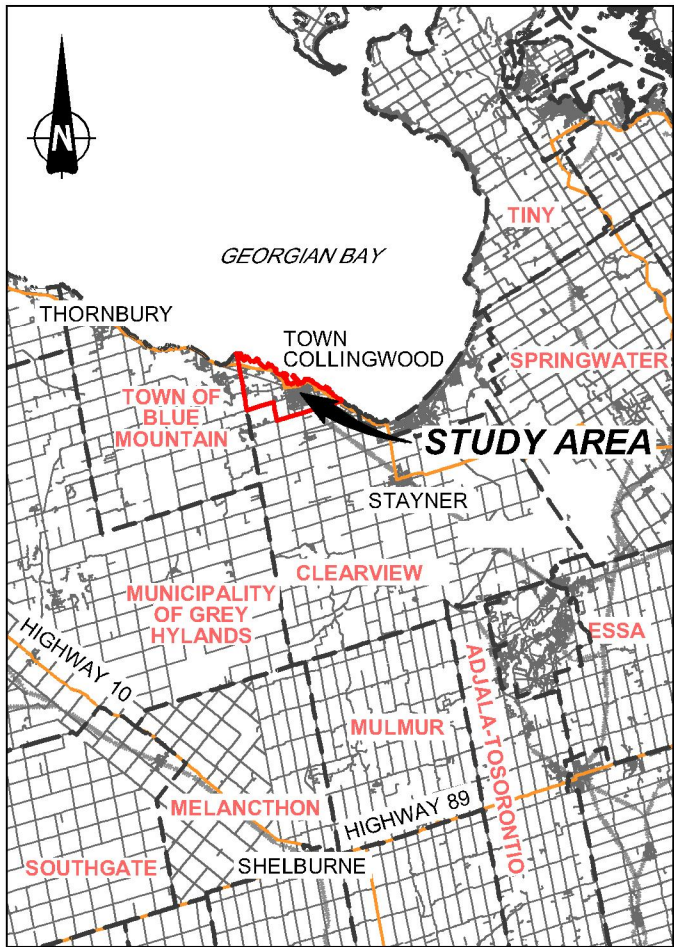
- A background on the purpose and requirements of a HIA and the methods used to investigate cultural heritage resources;
- An overview of the property's geographic context, and its documentary and structural history;
- An inventory and evaluation of built elements and landscape features on the property, including a statement of cultural heritage value or interest using the criteria prescribed in *Ontario Regulation 9/06 (O. Reg. 9/06)*;
- A description of the proposed development and an assessment of potential adverse impacts; and,
- Recommendations for future action.



AERIAL IMAGERY and OBM MAPPING



REGIONAL MAP



KEY PLAN

LEGEND	
	APPROXIMATE STUDY AREA BOUNDARY
	HERITAGE DISTRICT BOUNDARY
	TOWN OF COLLINGWOOD BOUNDARY
	TOWNSHIP/MUNICIPALITY BOUNDARY
MULMUR	TOWNSHIP/MUNICIPALITY

REFERENCE

DRAWING BASED ON MNR LIO, OBTAINED 2015, PRODUCED BY GOLDER ASSOCIATES LTD UNDER LICENCE FROM ONTARIO MINISTRY OF NATURAL RESOURCES, © QUEENS PRINTER 2015; BING IMAGERY AS OF NOVEMBER 9, 2016 (IMAGE DATE UNKNOWN); COLLINGWOOD DOWNTOWN HERITAGE CONSERVATION PLAN, 2008; CANMAP STREETFILES V2008.4.

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.

ALL LOCATIONS ARE APPROXIMATE.

PROJECT			
HERITAGE IMPACT ASSESSMENT 276 SAINTE MARIE STREET COLLINGWOOD, ONTARIO			
TITLE			
LOCATION MAP			
	PROJECT No.	1665927	FILE No. 1665927-R02001
	CADD	ZJB/DCH	SCALE AS SHOWN
	CHECK	Sept 20/18	REV. 0
	FIGURE 1		



LEGEND

- PROPOSED LOT AND STUDY AREA BOUNDARY
- BY-LAW 2012-2020 (SPECIAL POLICY AREA NO.2) BOUNDARY
- HCD "HOUSE FORM" BOUNDARY

REFERENCE

DRAWING BASE ON BING IMAGERY AS OF NOVEMBER 10, 2016 (IMAGE DATE UNKNOWN); TOWN OF COLLINGWOOD PLANNING SERVICES, FILE NO. D084611, JANUARY 30, 2012; AND COLLINGWOOD DOWNTOWN HERITAGE CONSERVATION PLAN, 2008.

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.
ALL LOCATIONS ARE APPROXIMATE.

PROJECT

HERITAGE IMPACT ASSESSMENT
276 SAINTE MARIE STREET
COLLINGWOOD, ONTARIO

TITLE

PROPOSED LOT BOUNDARIES



GOLDER

PROJECT No.	1665927	FILE No.	1665927-R02002
CADD	ZJB/DCH	SCALE	AS SHOWN
CHECK		REV.	0

FIGURE 2

2.0 SCOPE AND METHOD

To undertake this HIA, Golder:

- Reviewed applicable municipal heritage policies and plans;
- Reviewed archival and published documents relevant to the property;
- Conducted field investigations to document and identify all heritage attributes on the property, any cultural heritage resources adjacent to the property, and to understand the wider built and landscape context;
- Assessed the impact of the proposed development on identified heritage attributes using relevant cultural heritage policy and conservation guidelines; and,
- Developed recommendations for future action based on international, federal, provincial, and municipal conservation guidance.

Several primary and secondary sources, including maps, aerial imagery, and research articles were compiled from the University of Western Ontario Archives and Research Collections Centre, as well as online sources to compile land use and structural history of the property.

Field investigations were completed by Cultural Heritage Specialist Robyn Lacy on April 18, 2018 and included sketching general floorplans and photographing all exterior and interior features of the property and surrounding environment with a Nikon Coolpix P90 digital camera. A *Canadian Inventory of Historic Buildings Recording Form* (Parks Canada Agency 1980) was used to document the structure, and physical conditions and landscape characterization were recorded as written notes. Consultation undertaken for this HIA is summarized in Table 1.

Table 1: Results of Consultation

Contact	Date of Correspondence	Response
Town of Collingwood's Administrative Assistant, Lynn Gowan	Email sent: August 28, 2018, provided further information on the proposed development and asked if the Town had any concerns or comments.	Email received: August 29, 2018, stating Director of Building and Planning currently away until September 10 th .
Town of Collingwood's Director, Planning and Building Services, Nancy Farrer	Email sent: September 17, 2018, to follow up on previous email.	Email received: September 19, 2018, stating the Town's view of the development and noted specific sections of the HCD Plan for the HIA to address.

The proposed development was assessed for any potential adverse impacts using the criteria provided in the MTCS *Heritage Resources in the Land Use Planning Process* and the Town's *Collingwood Downtown Heritage Conservation District Plan (HCD Plan)*. Several widely used and recognized manuals relating to determining impacts to cultural heritage resources were also consulted, including:

- *The Ontario Heritage Tool Kit* (5 volumes, MTCS 2006);

- *Standards and Guidelines for the Conservation of Provincial Heritage Properties – Heritage Identification & Evaluation Process* (MTCS 2014);
- *Information Bulletin 3: Heritage Impact Assessments for Provincial Heritage Properties* (MTCS 2017);
- *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010);
- *Well-Preserved: The Ontario Heritage Foundation's Manual of Principles and Practice for Architectural Conservation* (Fram 2003); and,
- *Informed Conservation: Understanding Historic Buildings and their Landscapes for Conservation* (Clark 2001).

3.0 POLICY FRAMEWORK

The property at 276 Ste. Marie Street is subject to several provincial and municipal heritage planning and policy regimes, as well as guidance developed at the federal and international level. Although these have varying levels of priority, all are considered for decision-making in the cultural heritage environment. The relevant guidance, legislation, and policies are described below.

3.1 Federal and International Heritage Policies

No federal heritage policies apply to the property, although many of the provincial and municipal policies detailed below align in approach to that of Canada's Historic Places *Standards and Guidelines for the Conservation of Historic Places in Canada* (Canada's Historic Places 2010). This document — drafted in response to international and national agreements such as the 1964 *International Charter for the Conservation and Restoration of Monuments and Sites* (*Venice Charter*), 1979 *Australia ICOMOS Charter for Places of Cultural Significance* (*Burra Charter*, updated 2013), and 1983 *Canadian Appleton Charter for the Protection and Enhancement of the Built Environment*— defines the three conservation treatments of preservation, rehabilitation, and restoration, and outlines the process, standards, and guidelines to meet the objectives for each treatment on a range of cultural heritage resources. More recently, the International Council on Monuments and Sites (ICOMOS) has also provided guidance for heritage impact assessments of world heritage properties, but which provide overall 'best practice' approaches to assessment of historic assets (ICOMOS, 2011).

3.2 Ontario *Planning Act* and *Provincial Policy Statement*

In Ontario, the *Planning Act* and associated *Provincial Policy Statement, 2014* (PPS 2014) provide the legislative imperative for heritage conservation in land use planning. Both documents identify conservation of resources of significant architectural, cultural, historical, archaeological, or scientific interest as a provincial interest, and PPS 2014 further recognizes that protecting cultural heritage and archaeological resources has economic, environmental, and social benefits, and contributes to the long-term prosperity, environmental health, and social well-being of Ontarians. The *Planning Act* serves to integrate this interest with planning decisions at the provincial and municipal level, and states that all decisions affecting land use planning 'shall be consistent with' PPS 2014.

Two sections of the PPS 2014 recognize the importance of identifying and evaluating built heritage and cultural heritage landscapes:

- Section 2.6.1 – 'Significant built heritage resources and significant heritage landscapes shall be conserved'; and,
- Section 2.6.3 – 'Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property except where the proposed development and site alteration has been evaluated and it has been demonstrated that the heritage attributes of the protected heritage property will be conserved.'

PPS 2014 defines *significant* resources as those 'determined to have cultural heritage value or interest for the important contribution they make to our understanding of the history of a place, an event, or a people', and *conserved* as 'the identification, protection, management and use of built heritage resources, cultural heritage landscapes, and archaeological resources in a manner that ensures their cultural heritage value of interest is retained under the *Ontario Heritage Act*.' 'Adjacent lands' are defined as 'those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan'.

Built heritage resources, cultural heritage landscapes, heritage attributes, and protected heritage property are also defined in the PPS:

- **Built heritage resources:** a building, structure, monument, installation or any manufactured remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Aboriginal [Indigenous] community. Built heritage resources are generally located on property that has been designated under Parts IV or V of the *Ontario Heritage Act*, or included on local, provincial and/or federal registers.
- **Cultural heritage landscapes:** a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Aboriginal [Indigenous] community. The area may involve features such as structures, spaces, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association. Examples may include, but are not limited to, heritage conservation districts designated under the *Ontario Heritage Act*; villages, parks, gardens, battlefields, mainstreets and neighbourhoods, cemeteries, trailways, viewsheds, natural areas and industrial complexes of heritage significance; and areas recognized by federal or international designation authorities (e.g. a National Historic Site or District designation, or a UNESCO World Heritage Site).
- **Heritage attribute:** the principal features or elements that contribute to a *protected heritage property's* cultural heritage value or interest, and may include the property's built or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (including significant views or vistas to or from a *protected heritage property*).
- **Protected heritage property:** property designated under Parts IV, V or VI of the *Ontario Heritage Act*; property subject to a heritage conservation easement under Parts II or IV of the *Ontario Heritage Act*; property identified by the Province and prescribed public bodies as provincial heritage property under the *Standards and Guidelines for Conservation of Provincial Heritage Properties*; property protected under federal legislation, and UNESCO World Heritage Sites.

For municipalities, PPS 2014 is implemented through an 'official plan', which may outline further heritage policies (see Section 3.4.1).

3.3 The Ontario Heritage Act and Ontario Regulation 9/06

The Province and municipalities are enabled to conserve significant individual properties and areas through the *Ontario Heritage Act* (OHA). Under Part III of the OHA, compliance with the *Standards and Guidelines for the Conservation of Provincial Heritage Properties* is mandatory for Provincially-owned and administered heritage properties and holds the same authority for ministries and prescribed public bodies as a Management Board or Cabinet directive.

For municipalities, Part IV and Part V of the OHA enables councils to 'designate' individual properties (Part IV), or properties within a heritage conservation district (HCD) (Part V), as being of 'cultural heritage value or interest' (CHVI). Evaluation for CHVI under the OHA is guided by *Ontario Regulation 9/06*, which prescribes the *criteria for determining cultural heritage value or interest*. The criteria are as follows:

- 1) The property has **design value or physical value** because it:
 - i) Is a rare, unique, representative or early example of a style, type, expression, material or construction method;

- ii) Displays a high degree of craftsmanship or artistic merit; or
- iii) Demonstrates a high degree of technical or scientific achievement.

2) The property has **historic value or associative value** because it:

- i) Has direct associations with a theme, event, belief, person, activity, organization, or institution that is significant to a community;
- ii) Yields, or has the potential to yield information that contributes to an understanding of a community or culture; or
- iii) Demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.

3) The property has **contextual value** because it:

- i) Is important in defining, maintaining or supporting the character of an area;
- ii) Is physically, functionally, visually or historically linked to its surroundings; or
- iii) Is a landmark.

If a property meets one or more of these criteria, it may be eligible for designation under Part IV, Section 29 of the *OHA*.

Designated properties, which are formally described¹ and recognized through by-law, must then be included on a 'Register' maintained by the municipal clerk. At a secondary level, a municipality may 'list' a property on the register to indicate its potential CHVI. Importantly, designation or listing in most cases applies to the entire property, not only individual structures or features.

The Town maintains a register of heritage properties that includes:

- Individual buildings or structures designated under Part IV of the *OHA*; and,
- Individual buildings or structures designated under Part V of the *OHA* within the Collingwood Downtown HCD.

Provincial designation is available only if a property is determined to be provincially significant or is located in parts of the province where there is no incorporated municipality and the Minister has determined provincial interest in designation. The Ontario Heritage Act provides all lower tier municipalities with tools to identify and protect heritage property.

3.3.1 Ministry of Tourism, Culture and Sport Guidance

As mentioned above, heritage conservation on provincial properties must comply with the MTCS *Standards and Guidelines for the Conservation of Provincial Heritage Properties*, but this document also provides 'best practice' approaches for evaluating cultural heritage resources not under provincial jurisdiction. For example, the *Standards and Guidelines for the Conservation of Provincial Heritage Properties – Heritage Identification & Evaluation Process* (MTCS 2014) provides detailed explanations of the *O. Reg. 9/06* criteria and its application.

¹ The *OHA* defines 'heritage attributes' slightly differently than PPS 2014; in the former, heritage attributes 'means, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest'.

To advise municipalities, organizations, and individuals on heritage protection and conservation, the MTCS developed a series of products called the *Ontario Heritage Tool Kit*. Of these, *Heritage Resources in the Land Use Planning Process* (MTCS 2005) defines an HIA as:

- 'a study to determine if any cultural resources (including those previously identified and those found as part of the site assessment) are impacted by a specific proposed development or site alteration. It can also demonstrate how the cultural resource will be conserved in the context of redevelopment or site alteration. Mitigative or avoidance measures or alternative development or site alteration approaches may be recommended.'

The MTCS *Heritage Resources in the Land Use Planning Process* advises how to organize the sections of a HIA, although municipalities may also draft their own terms of reference. For properties within the Downtown HCD the Town provides an outline and required components for a HIA in Appendix A of the *HCD Plan*.

Determining the optimal conservation or mitigation strategy is further guided by the MTCS *Eight guiding principles in the conservation of historic properties* (2012), which encourage respect for:

- 1) Documentary evidence (restoration should not be based on conjecture);
- 2) Original location (do not move buildings unless there is no other means to save them since any change in site diminishes heritage value considerably);
- 3) Historic material (follow 'minimal intervention' and repair or conserve building materials rather than replace them);
- 4) Original fabric (repair with like materials);
- 5) Building history (do not destroy later additions to reproduce a single period);
- 6) Reversibility (any alterations should be reversible);
- 7) Legibility (new work should be distinguishable from old); and,
- 8) Maintenance (historic places should be continually maintained).

The *Ontario Heritage Tool Kit* partially, but not entirely, supersedes earlier MTCS advice. Criteria to identify cultural landscapes is provided in greater detail in the *Guidelines on the Man-Made Heritage Component of Environmental Assessments* (1980:7), while recording and documentation procedures are outlined in the *Guideline for Preparing the Cultural Heritage Resource Component of Environmental Assessments* (1992:3-7). The latter document also stresses the importance of identifying and gauging the cumulative effects of a development (MTCS 1992:8).

3.4 Town of Collingwood Plans and Policies

3.4.1 Official Plan

The Town's *Official Plan*, last consolidated in December 2015, informs decisions on issues such as future land use, transportation, infrastructure, and community improvement within the Town limits until 2031. Section 7.0 of the *Official Plan* outlines the goal and policies for 'cultural heritage', which is not defined but includes 'significant archaeological and built heritage resources and cultural landscapes.' Under Section 7.2.3.1, when properties recognized or believed to have cultural heritage interest or value are proposed for development, Council 'may require the owner of such lands to carry out studies to:

- Survey and assess the value of the historical, architectural and/or archaeological heritage resource;

- Assess the impact of the proposed development or redevelopment on the historical, architectural, and/or archaeological heritage resource; and,
- Indicate the methods proposed to be used to mitigate any negative impact of the proposed development or redevelopment on the historical, architectural, and/or archaeological heritage resource.

Guidance for evaluating heritage resources is provided in Section 11.1 of the *Cultural Heritage Evaluation Criteria* of the *Official Plan* and generally follows the *O. Reg. 9/06* criteria.

If a development application proposes demolishing or altering a cultural heritage resource, Section 7.2.3.6 requires that Council be provided with 'accurate and adequate architectural, structural and economic information to determine the feasibility of rehabilitation and reuse versus demolition'. If Council does grant approval to demolish or 'significantly alter' a cultural heritage resource, it may additionally require that the applicant document the resource 'for archival purposes with a history, photographic record and measured drawings'.

Conservation of cultural heritage resources adjacent to a proposed development are addressed in Section 7.2.3.3, which states that:

'In considering applications for development and site alteration for lands adjacent to identified cultural heritage resources, Council shall defer approval until it has been demonstrated to their satisfaction that the proposed work can be undertaken in accordance with the municipality's heritage conservation policies.'

3.4.2 Collingwood Downtown Heritage Conservation District Plan

The property is within the Collingwood Downtown HCD, designated under Town By-law 02-12 and enabled under Part V of the *Ontario Heritage Act*. However, since the By-law only defines the HCD boundary, a separate *HCD Plan* was required to outline the objectives, design guidelines, and permit procedures to manage change within the district. The *HCD Plan* was adopted by By-law 2009.020, which implemented enforceable policies and design guidelines. It is important to note that in the event there is a conflict between the HCD Plan and other municipal by-laws, the HCD Plan takes priority. The HCD Plan addresses alterations to existing historic assets, new construction, and streetscapes and landscaping, but also outlines the requirements for HIAs and conservation plans.

3.4.3 Special Policy Area 2

Cultural resource management is sometimes addressed under Secondary Plans or other policies such as Master Plans. The property is not within a secondary plan area but is within Special Policy Area 2, passed as By-law 2012-020. This area encompasses the property and is exempt from several provisions in sections of the *HCD Plan*, primarily those concerned with the details of new construction.

4.0 GEOGRAPHIC CONTEXT & HISTORY

4.1 Geographic Context

The property is located in southwest Ontario, approximately 0.95 km from the southwest shore of Georgian Bay in the east portion of Lake Huron. It is within the Nottawasaga Basin of the Simcoe Lowlands physiographic region, which consists of a broad plain of deltaic and lacustrine deposits (Chapman and Putnam 1984:177-178). The primary watershed of the area is the Pretty River, which flows in a north-easterly direction approximately 2 km east of the property, eventually emptying into Georgian Bay approximately 1.8 km to the northeast. Within the Mixedwood Plains ecozone, the property is located in the ecoregion of Lake Simcoe-Rideau which encompasses 6.4% of Ontario from Lake Huron to the Ottawa River, and is characterized by a mild climate, undulating terrain and Alvars, unusual limestone bedrock with sparse vegetation (Crins et al 2009:45-47)

In reference to political boundaries, the property is in the southwest portion of Simcoe County, and within the downtown core of the Town of Collingwood. It is on the east-central portion of a block bound to the north by Fourth Street East, Hume Street to the south, Ste. Marie Street to the east, and Hurontario Street to the west.

4.2 Historical Context

4.2.1 Town of Collingwood, Nottawasaga Township, Simcoe County

Following the Toronto Purchase of 1787, today's southern Ontario was within the old Province of Quebec and divided into four political districts: Lunenburg, Mechlenburg, Nassau, and Hesse. These became part of the Province of Upper Canada in 1791, and renamed the Eastern, Midland, Home, and Western Districts, respectively. The property was within the former Western District, which included all lands between an arbitrary line running north from Long Point on Lake Erie to Georgian Bay, and the western Ontario/ Michigan border. Each district was further subdivided into counties and townships, with the property falling within Simcoe County and Nottawasaga Township.

The Township of Nottawasaga gained its name from two Algonquin words, 'Nahdoway' and 'saga,' meaning 'the Iroquois' and 'outlet of river,' respectively (Armstrong 1930:209). Although formally acquired by the Crown under Treaty No. 18 with the Chippewa Nation in 1818, Nottawasaga Township was not officially surveyed until 1832 when Thomas Kelly and Charles Rankin organized the township according to the 2,400-Acre Sectional System (Hunter 1909). This system of lot distribution, which was typically used between 1829 and 1861 (Schott 1981), established concessions containing 200-acre lots with blind rear lot lines, divided every three lots by side roads (Figure 3). In Nottawasaga Township, the concessions were oriented east to west, with the side roads crossing the township from south to north.

Shortly after the Crown survey was completed in 1833, Scottish, Irish, and German families began establishing small communities near the shore of Georgian Bay on the northeastern edge of the Township, and along the banks of the Batteau and Noisy Rivers (Hunter 1909). Due to the Township's remote location, the pace of growth and development proceeded slowly at first. By 1842, the population was comparatively small at 420 residents, with only three saw mills and three grist mills having been constructed in the area (Smith 1846).

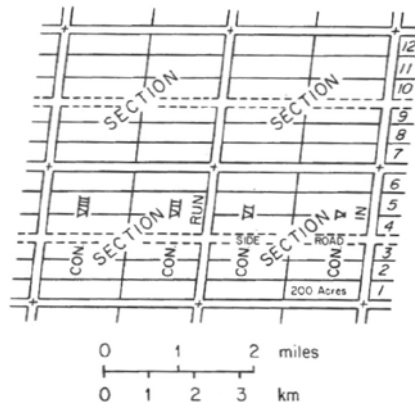


Figure 3: The 2400-acre survey system, used from 1829 to 1861. As depicted here, each lot is 200 acres and each section made of 12 farms (Schott 1981:81-82)

In 1851, the area at the northeastern edge of the Township, known as 'Hens-and-Chickens', was selected as the northern terminus of the Northern Railway of Canada, and was to connect the Toronto area with Georgian Bay (Town of Collingwood 2014). This decision spurred land speculators and businessmen to move to the area, and in 1853 local land owner Joel Underwood requested William Gibbard survey a village plot (Hunter 1909). By 1854, the Hens-and-Chickens community had been renamed Collingwood.

After completion of the rail line in 1855, Collingwood quickly developed into an important centre for shipping and ship building, supporting a large export trade of lumber, grain, and produce to the United States and western Canada (Town of Collingwood 2014). So rapid was the pace of growth and development that the community managed to bypass village incorporation and directly attained the status of town on January 1, 1858 (Hunter 1909). By 1873 Collingwood was home to 2,829 residents and had 'one tannery, one brewery, one steam flour mill, sash, door, blind, and pump factories, several hotels and churches, a number of stores, two printing offices, two telegraph agencies, a branch bank, and several ship yards and grain elevators' (Lovell 1873).

The Town continued to prosper throughout the late 19th century. When the Queen's Dry Dock was constructed in 1882, the commercial ship-building industry flourished, and the Town eventually gained an international reputation for quality work and design in this field (Town of Collingwood 2014). The success of the ship-building industry brought many workers to the area, and by 1895 Collingwood boasted a population of 4,939 (Lovell 1895).

Events of the early-to-mid-20th century slowed the Town's growth and development, and by the time the St. Lawrence Seaway was completed in 1959, the Town was no longer an important shipping centre (Collingwood Public Library 2016). Throughout the late 20th century, the shipping and ship-building industries were slowly replaced by recreational and retirement developments made popular by the local beaches and the nearby Blue Mountain. In 2016, the Town of Collingwood, now a lower-tier municipality within the County of Simcoe, was home to 20,102 residents (Statistics Canada 2016).

4.2.2 276 Ste. Marie Street

The property was historically located on Lot 43, Concession 8 in the Township of Nottawasaga.

The Patent Plan for the area was recorded in 1843 and identifies lot ownership. At this time, the property had been divided into two with the north half owned by James Connell and the south half owned by George Jackson. Jackson is listed in the 1851 census along with his wife Margaret and two children. By 1870, Jackson had sold his

100 acres to Charles Gamore and George Mobesly for \$3000. The abstract index records identifies that the east portion of Ste. Marie Street had been subdivided into small city lots with no mention of the west side of the street.

John Hogg's 1871 map of the County of Simcoe indicates that the property was originally part of Lot 10, West of Ste. Marie Street and surveyed by William Gibbard as part of registered Plan 144 in 1856 (Winearls 1991:19646; Figure 4). Similar to the majority of lots on the street at that time, Lot 10 measured approximately 20 m by 50 m. Four years later, J. J. Stoner's 1875 *Bird's Eye View of Collingwood* shows the Ste. Marie block as being in the outskirts of Town with the property itself covered by a map inset (Figure 5). Between 1870 and the 1890s, portions of the lot were transferred from the Town of Collingwood to John McKechnie Holdings Ltd, from the Canadian National Railway (CNR) Company to the Town, and from the Town to the Public Utilities Commission of Collingwood. Due to incomplete records, the original owners can not be identified.

In the 1917 *Fire Insurance Plan*, the house is identified with a small, single-storey wood frame addition at the southwest corner (Figure 6). A smaller, one-storey brick structure annotated with the word 'Auto' is also shown. The 1936 assessment roll for the Town of Collingwood indicates that James Miller, age 71, was the owner of property #10 on the west side of Ste. Marie Street (APPENDIX A). He was a labourer and a widower, and at the time was living on the property alone. The record shows that the total value of his property and building(s) was \$2,790. According to the 1911 Census, James may have been on the lot as early as that year, however incomplete records make it difficult to determine exactly when the house was constructed.

The 1955 Fire Insurance Plan shows less detail for the property, although an extended front verandah is visible which covers part of the two-storey bay on the east façade (Figure 7). The 'auto' structure is still visible, while the rear wood addition appears to have been demolished (Figure 8). Few changes are visible in the more recent imagery, apart from the subdivision of the lot and a large rear addition to the house. Bay Haven purchased the lot immediately west of 276 Ste. Marie Street, along with 282 Ste. Marie Street from a Mr. DeRuiter and Dr. Bill Bernance, respectively. These three lots were consolidated into the Admiral Village lands after 2005 (Scott Strandholt, email communication, September 27, 2016).



LEGEND



APPROXIMATE LOCATION OF STUDY AREA

REFERENCE

HOGG, JOHN, 1871, HOGG'S MAP OF THE COUNTY OF SIMCOE. JOHN HOGG, COLLINGWOOD

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.

ALL LOCATIONS ARE APPROXIMATE.

PROJECT

HERITAGE IMPACT ASSESSMENT
276 SAINTE MARIE STREET
COLLINGWOOD, ONTARIO

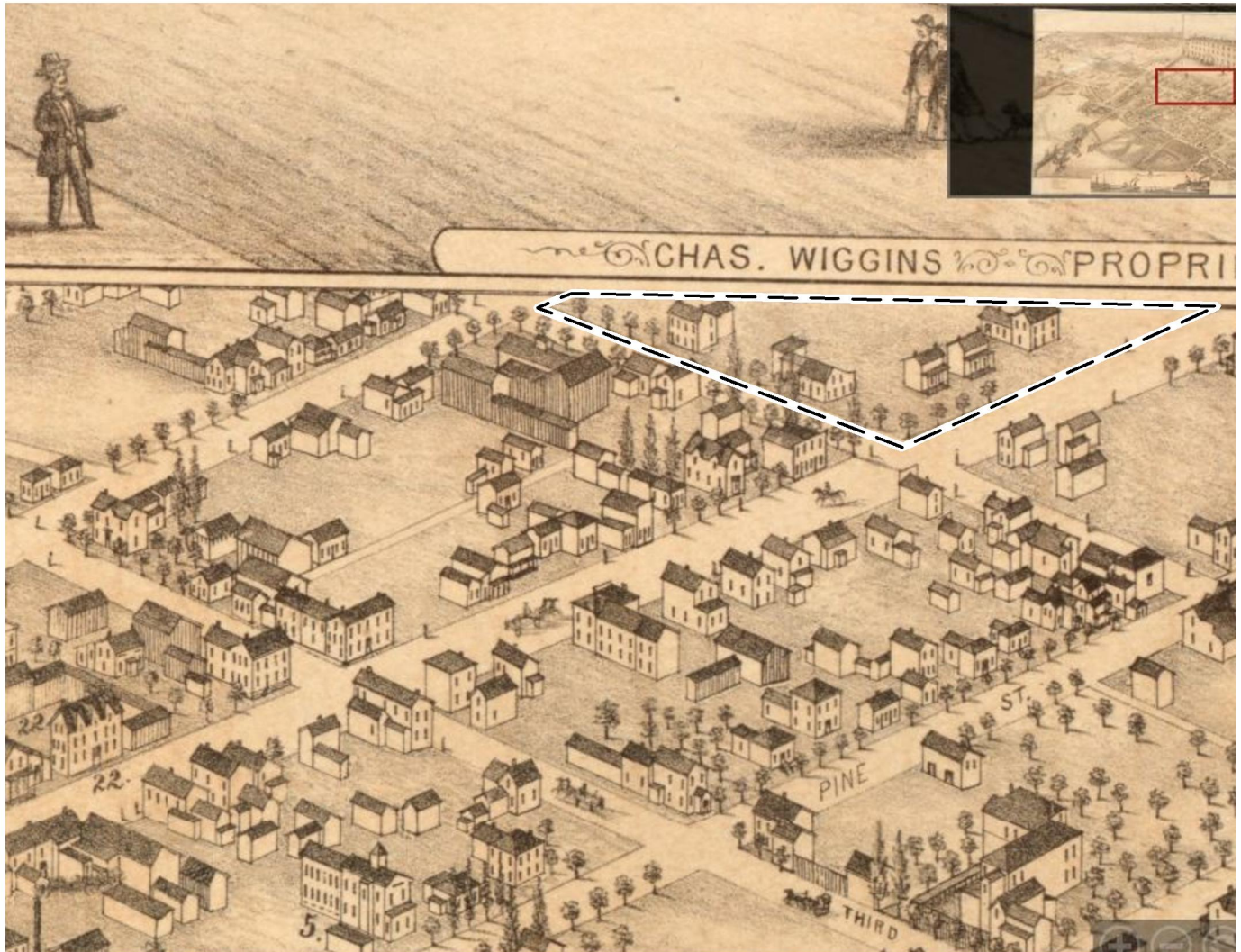
TITLE

**A PORTION OF JOHN HOGG'S 1871
MAP OF SIMCOE COUNTY**



GOLDER

PROJECT No.	1665927	FILE No.	1665927-R02004
CADD	ZJB/DCH	SCALE	AS SHOWN
CHECK		REV.	0
FIGURE 4			



LEGEND

— — HISTORICAL BLOCK LIMITS

REFERENCE

BROSIUS, H. 1875, BIRD'S EYE VIEW OF COLLINGWOOD, ONTARIO. J.J. STONER, COLLINGWOOD

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.

ALL LOCATIONS ARE APPROXIMATE.

PROJECT

HERITAGE IMPACT ASSESSMENT
276 SAINTE MARIE STREET
COLLINGWOOD, ONTARIO

TITLE

**A PORTION OF H. BROSIUS' 1875
BIRD'S EYE VIEW OF COLLINGWOOD**



GOLDER

PROJECT No.	1665927	FILE No.	1665927-R02004
CADD	ZJB/DCH	Sept 20/18	SCALE AS SHOWN REV. 0
CHECK			
FIGURE 5			

**LEGEND**

APPROXIMATE LOCATION OF STUDY AREA

REFERENCE

GOAD, CHARLES E. 1904 (REVISED 1917), COLLINGWOOD, SIMCOE COUNTY, ONTARIO. CHARLES E. GOAD, TORONTO

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.

ALL LOCATIONS ARE APPROXIMATE.

PROJECT

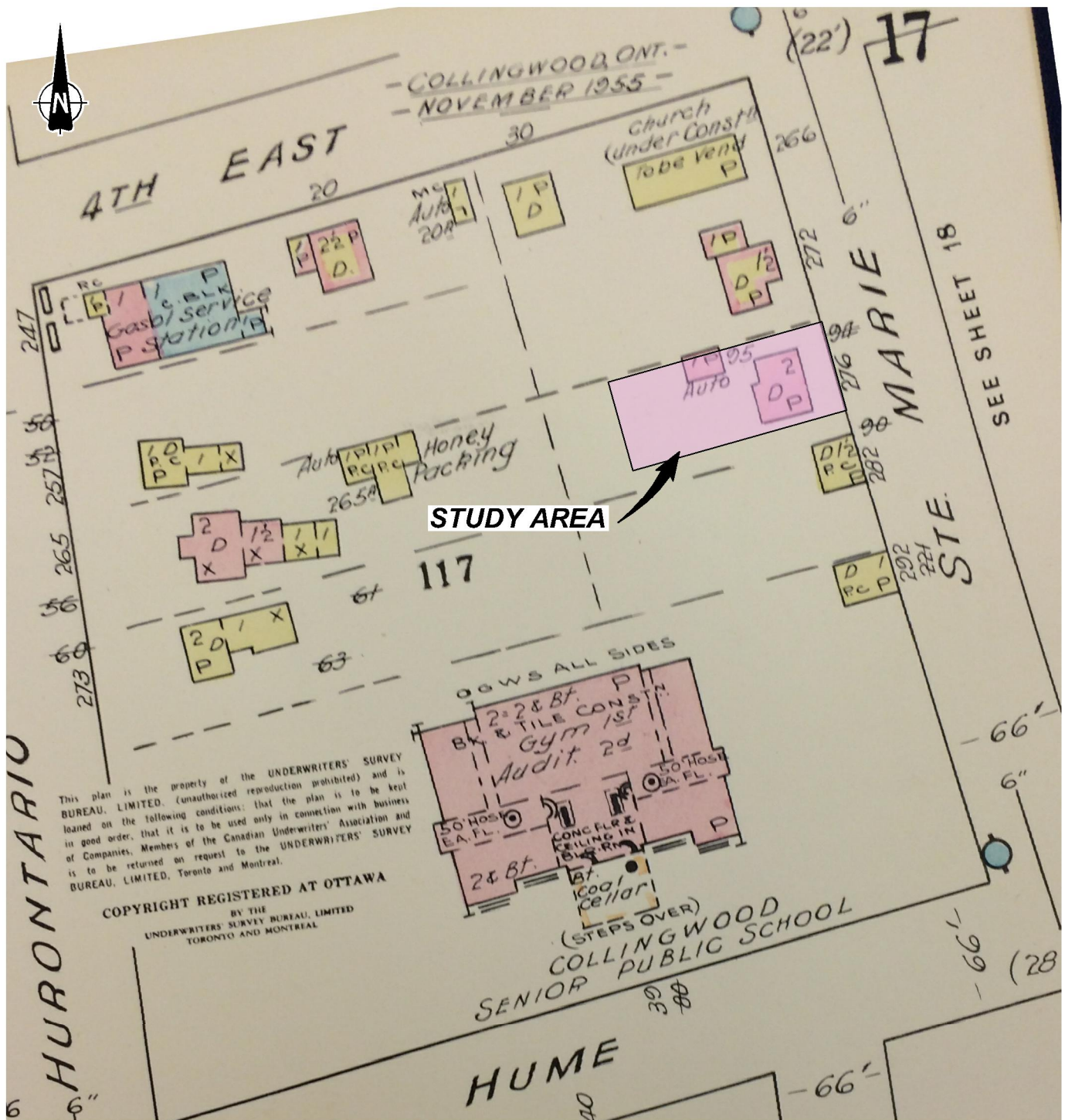
HERITAGE IMPACT ASSESSMENT
276 SAINTE MARIE STREET
COLLINGWOOD, ONTARIO

TITLE

**A PORTION OF THE 1904 (REVISED 1917)
FIRE INSURANCE PLAN OF THE
TOWN OF COLLINGWOOD**

**GOLDER**

PROJECT No.	1665927	FILE No.	1665927-R02004
CADD	ZJB/DCH	SCALE	AS SHOWN
CHECK		REV.	0
FIGURE 6			



LEGEND



APPROXIMATE LOCATION OF STUDY AREA

REFERENCE

UNDERWRITER'S SURVEY BUREAU, 1955, INSURANCE PLAN OF THE TOWN OF COLLINGWOOD, ONTARIO.
UNDERWRITER'S SURVEY BUREAU, TORONTO.

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ IN CONJUNCTION WITH ACCOMPANYING TEXT.

ALL LOCATIONS ARE APPROXIMATE.

PROJECT

HERITAGE IMPACT ASSESSMENT
276 SAINTE MARIE STREET
COLLINGWOOD, ONTARIO

TITLE

**A PORTION OF THE 1955 INSURANCE PLAN
OF THE TOWN OF COLLINGWOOD**



GOLDER

PROJECT No.	1665927	FILE No.	1665927-R02004
CADD	Z.B./DCH	SCALE	AS SHOWN
CHECK		REV.	0
FIGURE 7			



LEGEND



APPROXIMATE LOCATION OF STUDY AREA

REFERENCE

WESTERN UNIVERSITY MAP AND DATA CENTRE, 1966,
MINISTRY OF NATURAL RESOURCES AERIAL IMAGE
4421-199. WESTERN UNIVERSITY, LONDON.

NOTES

THIS DRAWING IS SCHEMATIC ONLY AND IS TO BE READ
IN CONJUNCTION WITH ACCOMPANYING TEXT.

ALL LOCATIONS ARE APPROXIMATE.

PROJECT

HERITAGE IMPACT ASSESSMENT
276 SAINTE MARIE STREET
COLLINGWOOD, ONTARIO

TITLE

**1966 AERIAL IMAGERY
FOR THE STUDY AREA**



GOLDER

PROJECT No.	1665927	FILE No.	1665927-R02004
CADD	ZJB/DCH	SCALE	AS SHOWN
CHECK		REV.	0
FIGURE 8			

5.0 EXISTING CONDITIONS

5.1 Setting

The setting along Ste. Marie Street can be characterized as an urban ‘small town’ streetscape, typified by one-to-two storey, single-detached brick buildings. There are moderately sized side yards (4 to 8 m) with small setbacks from the street. There are no trees within the public right-of-way, and a gravel median is located between the sidewalk and the road. The surrounding structures have a range of construction dates from the late 19th century through to the late 20th century and are primarily clad in red brick (Figure 9).

Topography over the 0.06 hectare (0.15 acre) rectangular property is relatively flat. Deciduous trees are north and east of the property, but the areas immediately west and south have been cleared for construction. There are no water features evident surrounding the property. A relic driveway of a previous structure is present to the south, with a gravel pad for parking to the west of the structure. There are three mature trees along Ste. Marie Street in front of the east façade of the house.

Neighbouring heritage properties include 243, 249, 259, 271, 272, 285 and 297 Ste. Marie Street. To the immediate south of the property is a vacant lot which will be redeveloped with a six-storey condominium building known as Admiral Collingwood Place (Figure 10).

Traffic on Ste. Marie Street is divided into two lanes in each direction, with the outer lanes used for on street parking. The pedestrian realm is defined by a sidewalk on either side of the street, which is approximately 3 m wide. Views from the house to the east are partially obscured by a single deciduous tree (Figure 11 and Figure 12), and views towards the empty lot to the south and east are partially obscured by deciduous hedges in the adjoining relic property. However, the lot can be viewed through the fence to the south and west of the structure. To the north, a wood fence and additional foliage blocks the view of the neighbouring property. The flat topography and lack of trees or structures to the west allow for clear views of surrounding properties.



Figure 9: West side of Ste. Marie Street, with 276 Ste. Marie to the far left (October 2016).



Figure 10: Future site of Admiral Collingwood Place, to the south of 276 Ste. Marie Street (October 2016).



Figure 11: View looking north-east from 276 Ste. Marie Street (October 2016).



Figure 12: View looking south-east from porch of 276 Ste. Marie Street (October 2016).

5.2 Built Environment

The structure is a single-detached, two-storey and five-bay mixed-use building which has been converted from a single-family dwelling (Figure 13 to Figure 16). It has a rectangular plan (main block) with a one-storey extension (rear addition) on the west façade, and an open, covered porch on the east façade. Each element is described below in further detail.



Figure 13: East façade (April 2018)



Figure 14: North façade (April 2018).



Figure 15: West façade (April 2018).



Figure 16: South façade (April 2018).

5.2.1 Main Block

5.2.1.1 Exterior

The structure at 276 Ste. Marie Street is described on the Town's *Register* as a 'two-storey, hip roofed, red brick house with veranda and gabled brick bay' with a five-bay front façade. The more detailed description in the registry reads:

Description – Front verandah extends from LH [left-hand] side to return into chamfered side of bay window. Masonry piers are built of cast-stone blocks, with cast-stone copings. Columns, balustrades and stair are recent replacements, differing somewhat from period components, while at high-level beam and dentils are original. Slab-type front door has three, bevelled-edge panes (behind modern, glazed storm door). Rectangular transom window, set in unornamented, segmental, brick arch, is recent, with false muntins (and behind metal storm) (Figure 17). Window to LH side is 1/1 (behind metal storm) in segmental-arch opening. Projecting brick bay to right has 1/1 windows in segmental-arch apertures (behind metal storm windows, and under metal canopies) (Figure 18). At second floor above, fenestration is similar (as are storms and canopies). Over hip-roofed verandah, second-floor windows are also 1/1 (with similar encumbrances). At wall-head, peripheral metal flashing abuts aluminum-clad soffits, and plain fascia to eaves have K-type aluminum gutters. Front gable has rectangular, louvred vent centred within typical, shingled wall, with dentilled architrave above. Gable fascia are decorated with profiled wooden discs in panels formed by planted wooden battens (Figure 20). Hipped roof is clad in brown, staggered asphalt shingles with central flat flashed in dark, pre-painted metal. Slender, rebuilt chimney exists at south side.

The veranda indicated in the *Register* entry would be more accurately referred to as a porch as it does not extend across the full width of the east façade. The description does not include the rubble, limestone foundation and

stretcher brick water table of the main block (Figure 19). A wood platform with plain wood balustrade and two straight stairs surround the north and west façades. The registry description also does not include an interpretation of the architectural style. The date of construction, square plan, hipped roof, two-storey bay, and exposed stone foundation all suggest the house was built in the Edwardian Classicism style, popular between 1900 and 1930 (Blumenson 1990:166-175).



Figure 17: Door and transom of 276 Ste. Marie Street.



Figure 18: Segmental arch window.



Figure 19: Coursed rubble foundation and brick water table.



Figure 20: Carved rosettes and scalloped shingles on the front gable.

5.2.1.2 Interior

The house can be characterized as a four-room, central-hall, double-pile or two-room deep plan (Figure 21). The main floor of the house is currently occupied by a doctor's office and clinic, with a private residence on the second storey.

The front door on the east façade opens into the central hall which runs nearly the full width of the house (Figure 22). On the north wall are two entrances, one to the waiting room and another to the reception area. In the waiting room, three large windows fill the bay (Figure 23) and the doorway to the room can be closed off by two six-panel sliding wood doors with original brass hardware (Figure 24). Between the reception office and waiting room, a large doorway has been partially filled in with a half-height wall built to match the existing moulding (Figure 25).

To the south of the central hall are two rooms. The southeast room is currently used as the doctor's office and appears to have retained its wide decorative moulding and architraves. To the west is a blind doorway with the original doorframe and architrave (Figure 26). A small hallway leads to the rear of the house where there is a small bathroom and an exterior door. The examination room features angled walls and is located within the southwest corner of the house. There is a six panelled door with a brass box lock mechanism and an ornate doorknob (Figure 27). The mud room has drywall covering the wood frame and two windows on the west wall with a small closet on the south wall. Above the backdoor is a gable roof scar enclosed within the existing wood structure, indicating that there was an early covered porch or mud room (Figure 28).

The second storey has two doorways on each side of the central hallway, with a single window at the end and a large closet on the opposite side of the hall. North of the closet is a small hallway leading to a bathroom complete

with original clawfoot bathtub (Figure 29). Contemporary linoleum covers the bathroom floor and the window has decorative moulding and architrave.

To the north of the central hall is a large room with two doorways. Three large windows occupy the bay, with ornate moulded frames and architraves (Figure 30). To the west of the room is the kitchen. On the south side of the central hall are two bedrooms (Figure 31). Each bedroom contains an angled wall to accommodate the southwest bedroom doorway at the top of the stairs, and the angled space has been filled with a small closet in both rooms (Figure 32). All floors on the second storey, with the exception of the bathroom, are covered by the same narrow strip hardwood floor as seen on the first storey.

Directly east of the ground floor bathroom is a low doorway which leads to a set of wood steps into the half-submerged basement. The floorboards of the ground floor are visible in cross-section on the staircase (Figure 33). The basement walls are comprised of a coursed rubble limestone foundation and have been covered over with painted cement. Several small windows in the basement have retained their wood frames. The basement is currently used for storage and large sawn beams are visible in the ceiling, supported by brick columns (Figure 34).

276 Ste. Marie Street TOWN OF COLLINGWOOD

Floorplan by R.Lacy, based on field sketches, 2018

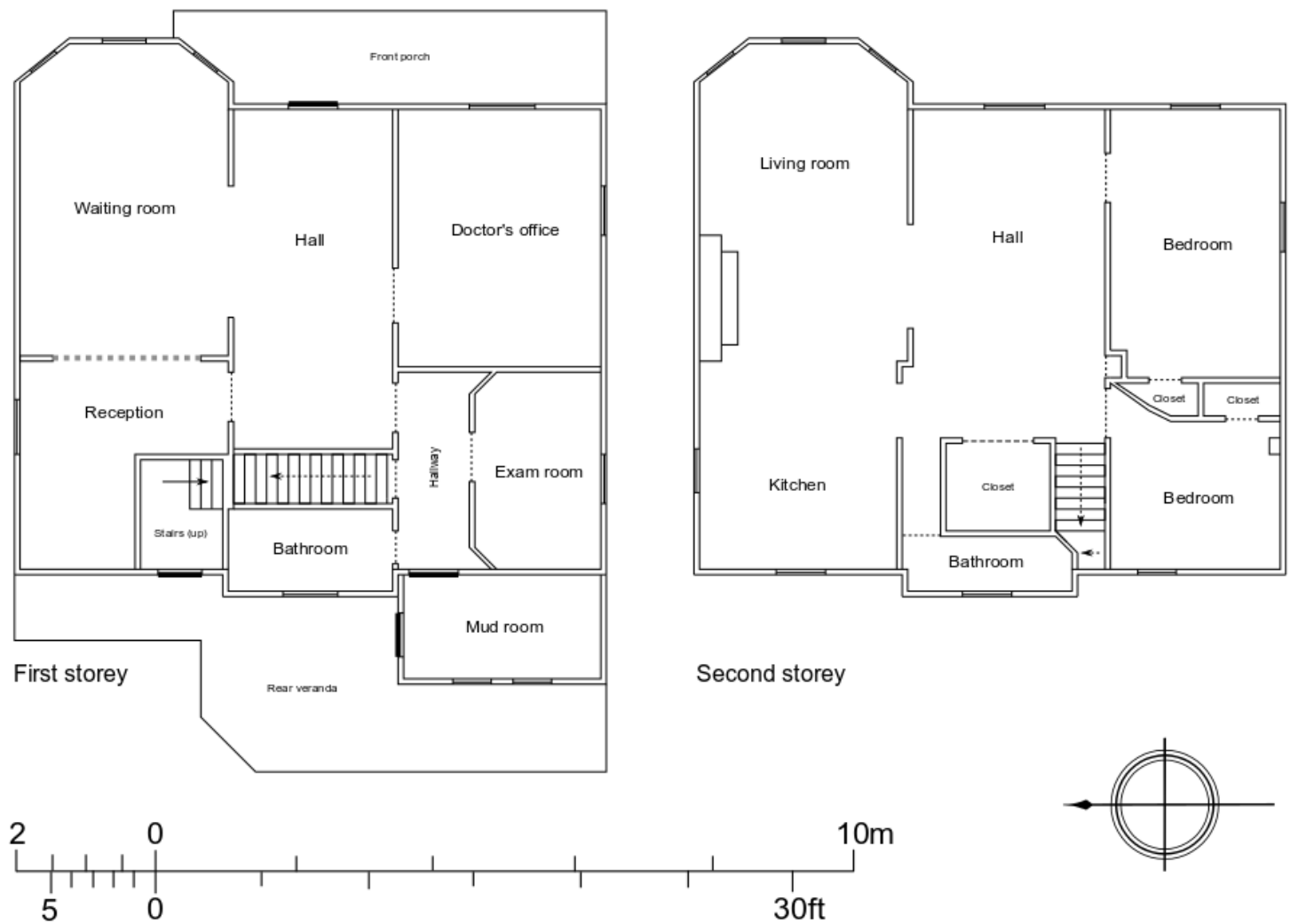


Figure 21: Interior floorplan of 276 Ste. Marie Street. Scale is approximate.

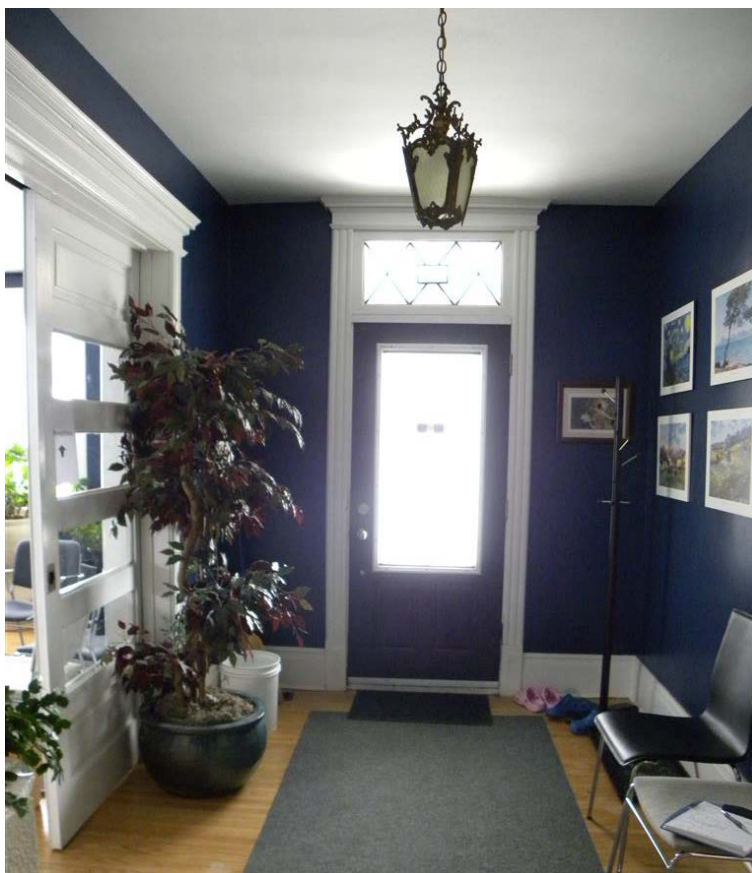


Figure 22: The front entrance, facing east.

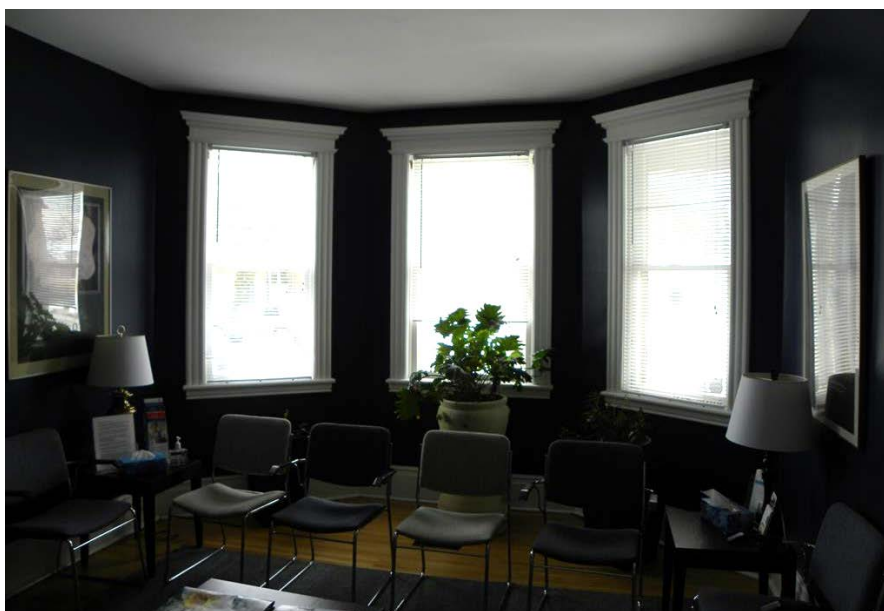


Figure 23: Northeast room on the ground floor.



Figure 24: Sliding doors on the northeast room of the ground floor.



Figure 25: Partial wall between the waiting room and reception.



Figure 26: Blind entrance on west wall of southeast first level room.



Figure 27: Back door mechanism and ornate doorknob.



Figure 28: Roof scar within the current wood mud room, highlighted with a yellow dashed line.



Figure 29: Interior of bathroom on the second storey, with original bathtub.



Figure 30: View of the living room facing east on the second storey.



Figure 31: Surviving architraves.



Figure 32: Interior curved east wall of southwest bedroom.



Figure 33: Tongue-and-groove floorboards visible on the basement staircase.



Figure 34: Interior of basement, with brick support pillars.

5.2.2 Rear Addition

5.2.2.1 Exterior

The rear addition is wood-frame construction clad in horizontal wood siding with corner boards. It is capped by a medium gable roof oriented perpendicular to the main block of the residence. There are two tall, flat-head and single-pane fixed sash windows on the west façade. A wood platform with plain wood balustrade and two straight stairs surround the north and west façades, with a single-leaf glazed door on the north façade.



Figure 35: Wood-frame addition with open wood porch.

5.2.2.2 Interior

The rear addition provides access to the second storey (a private residence). The interior of the rear addition includes access to stairs, which go up to the south and make a 90 degree turn to enter the upper landing of the central hall (Figure 36).



Figure 36: Stairs leading to private residence.

5.3 Physical Condition & Integrity

5.3.1 Structural History

The house appears to have undergone two periods of alteration since its construction in the early 1900s and can be divided into three phases: the initial construction and initial occupation of the house (Phase 1, circa early 1900s), the rear wing replacement (post 1955) and the conversion to an apartment and doctor's office (Phase 2, circa 2003 – 2016).

5.3.1.1 Phase 1: Construction & Initial Occupation (c. early 1900s)

This phase includes construction of the:

- Two-storey, hip roofed Main block constructed in red brick.

5.3.1.2 Phase 2: Rear wing replacement (Post 1955)

Alterations made during the second phase include:

- Demolition of wood frame addition; and,
- Construction of new wood frame addition on west façade.

Aerial imagery identifies the addition as being constructed sometime in the late 20th century to early 21st century.

5.3.1.3 Phase 3: Land severance (2003 to 2016)

This phase includes the:

- Conversion from a single-family home to doctor's office and second-storey apartment (circa 2003);
- Replacement of the roof with asphalt shingles (circa 2007);

- Reconstruction of the rear deck with cut lumber (circa 2007); and,
- Severance of the lot (2016).

5.4 Interpretation

The style of the house in plan and elevation is typical of the Edwardian Classicism or Four-Square style of the early 1900s. (Blumenson 1990:166-175). The style is associated with the reign of King Edward VII between 1901 and 1910 but appears prior to the end of the 19th century as a response to the over-saturation of detail and decoration of 19th century Victorian houses. A typical Edwardian Classicism home is characterised by a front veranda with wood columns, a smooth brick façade, and large windows. A significant number were produced as kit homes in suburban areas, although the design was also popular for farmhouses across Ontario.

5.5 Physical Condition

The condition assessment presented in Table 2 provides a checklist developed by Historic England (Watt 2010: 356-361). Note that these observations are based solely on visual inspection and should not be considered a structural engineering assessment.

Table 2: Physical Condition Assessment

Element	Observed Conditions
General structure	<ul style="list-style-type: none"> ■ Overall good to very good condition, based on the state on interior and exterior fabric.
Roof	<ul style="list-style-type: none"> ■ Overall in good condition ■ No areas of visible damage on roof, fasciae, soffits, or coverings ■ No sagging on the roof ridge could be discerned
Rainwater disposal	<ul style="list-style-type: none"> ■ Gutters appear to be in good condition ■ Drainpipe has vegetation growth surrounding the pipe (Figure 18).
Walls, foundations & chimneys, exterior features	<ul style="list-style-type: none"> ■ Walls are in very good condition ■ Foundation has been repointed with cement ■ The front and back porches are in good condition.
Windows & doors	<ul style="list-style-type: none"> ■ All windows are vinyl inserts with metal flashing
Internal roof structure/ceilings	<ul style="list-style-type: none"> ■ Interior ceiling is in very good condition ■ Interior roof structure was not accessible.
Floors	<ul style="list-style-type: none"> ■ All floors are in very good condition

Element	Observed Conditions
Stairways, galleries, balconies	■ All staircases are in very good condition, no visible physical issues
Interior decorations/finishes	■ All interior finishes/decorations are in very good condition.
Fixtures & fittings	■ Current lighting in good condition.
Building services	■ All building services are operational and in good condition.
Site & Environment	<ul style="list-style-type: none"> ■ Vines are present on the exterior of the southwest corner and north half of the west façade, attached to the masonry of the structure. ■ Empty lot to the south and west removed exposed portion of the property to be viewed from Hume and Hurontario Streets.
General environment	■ Overall good and well maintained.

5.6 Integrity

In a heritage conservation context, the concept of integrity is linked not with structural condition, but rather to the literal definition of ‘wholeness’ or ‘honesty’ of a place. The *MTCS Heritage Identification & Evaluation Process* (2014:13) and *Ontario Heritage Tool Kit: Heritage Property Evaluation* (2006:26) both stress the importance of assessing the heritage integrity and physical condition of a structure in conjunction with evaluation under *O. Reg. 9/06* yet provide no guidelines for how this should be carried out beyond referencing the *US National Park Service Bulletin 8: How to Evaluate the Integrity of a Property* (US NPS n.d.). In this latter document, integrity is defined as ‘the ability of a property to convey its significance’, so can only be judged once the significance of a place is known.

Other guidance suggests that integrity instead be measured by understanding how much of the asset is ‘complete’ or changed from its original or ‘valued subsequent configuration’ (English Heritage 2008:45; Kalman 2014:203). Kalman’s *Evaluation of Historic Buildings*, for example, includes a category for ‘Integrity’ with sub-elements of ‘Site’, ‘Alterations’, and ‘Condition’ to be determined and weighted independently from other criteria such as historical value, rather than linking them to the known significance of a place.

Kalman’s approach is selected here and combined with research commissioned by Historic England (The Conservation Studio 2004), which proposed a method for determining levels of change in conservation areas that also has utility for evaluating the integrity of individual structures. The results are presented in Table 3, and is considered when determining the CHVI of the property (see Section 6.0).

Table 3: Heritage Integrity Analysis for 276 Ste. Marie Street

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Site location	Original	Lot size severed in urban settling.	80%	Very Good	The original lot size was slightly larger than the present property, however has not seen much alteration.
Footprint	Rectangular	Rear addition	100%	Very Good	The west addition does not change the footprint of the original structure, as it appears to be a small covered porch or mudroom.
Walls	Brick	No change	100%	Very Good	No further comment.
Foundation	Limestone rubble	No apparent change	90%	Very Good	It appears that the foundation of the structure is intact, however has been repointed with cement.
Exterior doors	Wood	Exterior doors covered by (or replaced by) storm doors. Original front door and transom present behind metal storm door	50%	Poor	Modern storm door had contemporary glasswork panel. Rear doors to structure have been replaced with contemporary metal.
Windows	Wood 1-over-1	All windows but one or two in the basement have been replaced with modern metal window frames and storm windows	10%	Poor	No further comment.

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
Roof	Unknown, possibly shingle, with wood fascia.	Roof was replaced with prefabricated metal gutters and rainwater leads, metal fascia and soffits.	20%	Very Good	No further comment.
Chimneys	Brick	The current structure does not appear to have a chimney.	0%	Poor	No further comment.
Water Systems	Unknown, likely pressed metal	Pre-fabricated metal gutters and rain water leaders on the east and west sides of the roof.	0%	Poor	No further comment.
Exterior decoration	Semi-elliptical arches over doorways and windows. Wood rosettes on front gable.	No major changes have been made to decorative elements of the structure. Awnings were added within the existing frame of some windows.	90%	Very Good	Exterior decoration is minimal but survives.
Porch/exterior additions	Front port, possible rear addition	A larger addition to west façade was constructed to replace a smaller mud room, along with an additional porch. The front porch is retained.	80%	Very Good	1904 (revised 1917) FIP indicated the brick structure with a wood front porch, and a wood 1-storey addition, smaller than the present west addition. The present addition also has a large porch.
Interior plan	4-room, central passage, 2-room deep plan	Minor alterations have been made to the west rooms on the first floor.	90%	Very Good	While the interior structure has had minor alterations to two rooms on the first floor, they are reversible alterations. The overall plan has been retained on both

Element	Original Material / Type	Alteration	Survival (%)	Rating	Comment
					levels, with an open basement below.
Interior walls and floors	Plaster walls (lathe-and-plaster or plasterboard) and tongue-and-groove flooring	Vinyl flooring covering some rooms, likely original wood floor retained below. Some walls added made from wood frame and drywall.	90%	Very Good	While one doorway has been blocked in, and a room has been subdivided with drywall walls, these alterations do not negatively effect the heritage integrity of the structure and are reversible. Plaster walls and hardwood floors are primarily retained throughout.
Interior trim	Moulded baseboards, window and door frames, ornate architraves.	Altered room in southwest corner of first floor, and mud room display contemporary synthetic trim.	95%	Very Good	The majority of the house displays its original trim. The owner indicated that in some cases, trim may have been replicated to replace older portions, but evidence of this was unclear.
Interior features (e.g. hearth, stairs, doors)	Wood doors, stoves unknown but likely present, fireplace.	No stoves were present on either storey of the structure, however covered stove flashings were likely present. Most doors appear to be original to the structure, although some door handles were replaced. No chimney present	75%	Good	The score is primarily generated from the absence of the chimney and stove features, however other interior features such as the stairs and doors have been retained.
Landscape features	Relatively no change	Until recently, there has been relatively no change to the size and features of the landscape at 276 Ste. Marie Street.	75%	Good	Only major change to the property has been the covering of the grass with gravel, within the last decade.
AVERAGE OF RATE OF CHANGE/HERITAGE INTEGRITY			65.3%	Good	Rating of Good is based on the original element survival rating of 50 – 75%

5.6.1.1 *Results*

Overall, 276 Ste. Marie Street has a good level of integrity due to the limited number of internal alterations made to the structure in the 20th and 21st centuries.

6.0 STATEMENT OF CULTURAL HERITAGE VALUE OR INTEREST

The property at 276 Ste. Marie Street has been identified as being of cultural heritage value or interest as it contributes to the Downtown Collingwood Heritage Conservation District, designated under Part V of the *OHA*. Based on this evaluation, a Statement of CHVI is proposed below.

6.1.1 Description of Property – 276 Ste. Marie Apartment, Town of Collingwood

The mixed-use building located at 276 Ste. Marie Street in the Town of Collingwood is bound by Hurontario Street to the west, Hume Street to the south, Ste. Marie Street to the east and Fourth Street East to the north. The house is located within the Downtown Collingwood HCD with new development planned for the immediate south towards Hume Street.

6.1.2 Statement of Cultural Heritage Value or Interest

The house at 276 Ste. Marie Street is of cultural heritage value for its design or physical value and its contextual value. Constructed between 1900 and 1904 in the Edwardian Classicism style, the house is a two-storey, red brick structure with a hip-roof and five-bay front façade. The interior layout has been well preserved. The property has contextual value as it supports and contributes to Collingwood's Downtown Heritage Conservation District, defined primarily by commercial and public buildings built between 1880 and 1910.

Description of Key Heritage Attributes

Key attributes that reflect the cultural heritage value of the building include its:

- Two-storey residence built in the Edwardian Classicism-style;
- Medium hip roof with side gable;
- Four-room plan;
- Masonry construction entirely in stretcher bond with water table and coursed rubble foundation;
- Wide, segmental arch headed windows;
- Decoration on the front gable including wood rosettes and scalloped shingles,
- Minimal setback from the street.

7.0 IMPACT ASSESSMENT

7.1 Development Description

Bay Haven proposes to:

- Develop a 4-storey, 18.75 m long (east to west) by 8.85 m wide (north-south) addition to the existing structure, with:
 - New red brick and mortar cladding to match existing house;
 - Flat roof with rooftop balcony;
 - Ground floor parking; and,
 - Symmetrical fenestration with tempered glass balconies from the second level to rooftop.
- Renovate the existing heritage structure with:
 - An apartment in the attic space lit by four Velux roof windows on the north and south façade;
 - An additional white painted, double hung wood window on the south façade.
- Construct a 2.05 m long (east to west) by 6.096 m wide (north-south) red brick clad passage to separate the rear addition with the existing heritage structure, which will:
 - Provide access to ground floor parking through one exterior door on the north elevation.
- Landscaping plan has not yet been developed.

The property is currently zoned (H14) C1-4: Downtown Core Commercial Exception Four. H14 signifies that the property is subject to an authorization by-law for a site plan control agreement. A site plan and elevations are provided in APPENDIX B.

7.2 Impact Assessment

When determining the effects a development or site alteration may have on known or identified built heritage resources or cultural heritage landscapes, the MTCS *Heritage Resources in the Land Use Planning Process* advises that the following direct and indirect adverse impacts be considered:

- Direct impacts
 - *Destruction* of any, or part of any, significant heritage attributes, or features; and
 - *Alteration* that is not sympathetic or is incompatible, with the historic fabric and appearance.
- Indirect Impacts
 - *Shadows* created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden;
 - *Isolation* of a heritage attribute from its surrounding environment, context or a significant relationship;
 - *Direct or indirect obstruction* of significant views or vistas within, from, or of built and natural features; or

- A *change in land use* such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces.

Other potential impacts associated with the undertaking may also be considered. Historic structures, particularly those built in masonry, are susceptible to damage from vibration caused by pavement breakers, plate compactors, utility excavations, and increased heavy vehicle travel in the immediate vicinity. Like any structure, they are also threatened by collisions with heavy machinery or subsidence from utility line failures (Randl 2001:3-6).

Although the MTCS guidance identifies types of impact and residual effect, it does not advise on how to describe its magnitude. Likewise, impact assessment guidelines produced at the federal level lack clear advice to illustrate the extent of each impact. In the absence of a Canadian source of guidance, the ranking provided in the UK Highways Agency *Design Manual for Roads and Bridges: Volume 11*, HA 208/07 (2007: A6/11)² is used here:

- Major
 - Change to key historic building elements, such that the resource is totally altered. Comprehensive changes to the setting.
- Moderate
 - Change to many key historic building elements, such that the resource is significantly modified.
 - Changes to the setting of an historic building, such that it is significantly modified.
- Minor
 - Change to key historic building elements, such that the asset is slightly different.
 - Change to the setting of an historic building, such that it is noticeably changed.
- Negligible
 - Slight changes to historic building elements or setting that hardly affect it.
- No impact
 - No change to fabric or setting.

If adverse impacts are identified, the MTCS guidance suggests that mitigation be achieved through:

- Alternative development approaches;
- Isolating development and the site alteration from significant built and natural features and vistas;
- Design guidelines that harmonize mass, setback, setting, and materials;
- Limiting height and density;
- Allowing only compatible in-fill and additions;

² This guidance provides a method for heritage impact assessments of road and bridge projects in both urban and rural contexts and is the only assessment method to be published by a UK government department (Bond & Worthing 2016:167). Similar ranking systems have been adopted as best practice by agencies and groups across the world, such as the International Council on Monuments and Sites (ICOMOS 2011), the Irish Environmental Protection Agency (Kalman 2014), and New Zealand Transport Agency (2015), all published after the *Ontario Heritage Tool Kit*.

- Reversible alterations; and,
- Buffer zones, site plan control, and other planning mechanisms.

An assessment of impacts resulting from the proposed development on the property's heritage attributes is presented in Table 4. Conservation measures are recommended where an impact is identified.

Table 4: Impact Assessment for 276 Ste. Marie Street

Potential adverse impacts	Heritage attributes at risk of impact	Predicted impact <u>without</u> mitigation (magnitude/reversibility/extent/ duration/ & frequency)	Assessment Rationale	Recommended General Conservation Mitigation Measures	Predicted Residual Impact	Rationale
<p><i>Destruction</i> of any, or part of any, significant heritage attributes, or features</p> <ul style="list-style-type: none">■ Removal of west addition and porch and rear gable roof feature.	All structural heritage attributes on the west façade of the existing heritage structure.	<ul style="list-style-type: none">■ Minor adverse■ Irreversible■ Localized■ Permanent■ Once	The proposed development requires the demolition of the west addition and porch, but these are not considered heritage attributes.	<ul style="list-style-type: none">■ Monitoring to ensure no damage to brickwork and foundation.	<ul style="list-style-type: none">■ Minor adverse■ Irreversible■ Localized■ Permanent■ Once	No heritage attributes are at risk of impact if the recommended mitigation measures are implemented (see Section 7.5).
<p><i>Alteration</i> that is not sympathetic or is incompatible, with the historic fabric and appearance.</p> <ul style="list-style-type: none">■ Construction of 4-storey addition to the rear of the property with ground floor parking.	All identified heritage attributes.	<ul style="list-style-type: none">■ Major adverse■ Irreversible■ Widespread■ Permanent■ Continuous	The rear addition of the proposed development will be four-storeys, which is taller than the existing heritage structure and could be incompatible without mitigation (e.g. visual separation between existing heritage structure and addition).	<ul style="list-style-type: none">■ Alternative development approaches;■ Design guidelines that harmonize mass, setback, setting and materials;■ Allowing only compatible in-fill and additions; and,■ Limiting height and density.	<ul style="list-style-type: none">■ Minor adverse■ Reversible■ Widespread■ Permanent■ Continuous	<p>Bay Haven has made a significant number of design changes to ensure the proposed development is compatible with the Downtown HCD Design Guidelines and adjacent heritage properties. An assessment of the new design for compatibility with the Downtown <i>HCD Plan</i> is provided in Section 7.3.</p> <p>The proposed development will provide a 2.05 m buffer between the existing structure and rear addition, which will provide visual separation as per guidance from Canada's Historic Places (Section 4.3.1: Exterior Form). The Admiral Collingwood Place, proposed immediately adjacent to 276 Ste. Marie, will exceed in height and massing.</p>
<p><i>Shadows</i> created that alter the appearance of a heritage attribute or change the viability of a natural feature or plantings, such as a garden</p> <ul style="list-style-type: none">■ Construction of a 4-storey addition and connected 2-storey linkage.	All exterior heritage attributes.	<ul style="list-style-type: none">■ Minor adverse■ Irreversible■ Widespread■ Permanent■ Continuous	The height of the proposed development is unlikely to result in major shadows, as it is surrounded by a vacant lot to the south and west and will have minimal impact on the existing structure to the north.	<ul style="list-style-type: none">■ Alternate development approaches;■ Limiting height and density; and,■ Buffer zones, site plan controls, and other planning mechanisms.	<ul style="list-style-type: none">■ Minor adverse■ Irreversible■ Localized■ Permanent■ Periodic	The height of the development is minor in comparison to the proposed development immediately adjacent and will be an appropriate transition from the commercial Hurontario Street to the more residential portion of Ste. Marie Street. The rear addition may cast some shadows but is not predicted to adversely impact the heritage attributes of adjacent properties.
<p><i>Isolation</i> of a heritage attribute from its surrounding</p>	No identified heritage attributes.	<ul style="list-style-type: none">■ No impact.	The heritage attributes of the existing heritage property will not be isolated from its surrounding environment or	No recommended conservation measures.	<ul style="list-style-type: none">■ No impact.	The existing heritage structure at 276 Ste. Marie will be retained to ensure prominence from the street. No significant surrounding

Table 4: Impact Assessment for 276 Ste. Marie Street

Potential adverse impacts	Heritage attributes at risk of impact	Predicted impact <u>without</u> mitigation (magnitude/reversibility/extent/ duration/ & frequency)	Assessment Rationale	Recommended General Conservation Mitigation Measures	Predicted Residual Impact	Rationale
<i>environment, context or a significant relationship</i> ■ Construction of a 4-storey addition to the rear of the existing heritage property.			context. The rear addition will not block the existing structure from surrounding heritage properties or views.			environmental elements, context or relationships were identified. The proposed rear addition will act as a moderate density transition between single family dwellings to the east and north, and the six-storey proposed development to the immediate south of the property.
Direct or indirect obstruction of significant views or vistas within, from, or of built and natural features	No identified heritage attributes.	■ No impact.	Views from the existing heritage structure and surrounding heritage properties will not be obstructed from the proposed development.	No recommended conservation measures.	■ No impact.	The impact of the proposed development will be minimal, as the addition is located to the rear of the property and the existing heritage structure will be retained. Further, a visual separation has been introduced between the existing heritage structure and new addition.
A change in land use such as rezoning a battlefield from open space to residential use, allowing new development or site alteration to fill in the formerly open spaces ■ Land use will remain the same but will include intensification of the area.	All identified heritage attributes.	■ Minor adverse ■ Irreversible ■ Widespread ■ Permanent ■ Continuous	The property will be transitioning from a limited use to an intensified use (increased density), as the number of residential units will be going from one to eight.	■ Alternative development approaches; ■ Design guidelines that harmonize mass, setback, setting and materials; and, ■ Buffer zones, site plan control and other planning mechanisms.	■ Minor adverse ■ Irreversible ■ Widespread ■ Permanent ■ Continuous	The intensified use will have less of an impact as most of the units and parking will be located to the rear of the building. Further, the surrounding area has been zoned C1 which is similar to 276 Ste. Marie (C1-4).
Land disturbances such as a change in grade that alters soils, and drainage patterns that may affect a cultural heritage resource. ■ Demolition of west addition and porch; and, ■ General construction disturbance	All identified heritage attributes.	■ Major adverse ■ Irreversible ■ Localized ■ Temporary ■ Once	Construction vibrations from heavy equipment traffic can majorly impact structural components of a built heritage asset, such as masonry in foundations and walls.	■ Buffer zones, site plan controls, and other planning mechanisms; and ■ Monitoring for vibrations from the exterior of the foundation of existing structure.	■ Minor adverse ■ Irreversible ■ Localized ■ Temporary ■ Once	With mitigation, the impact to the existing built heritage asset will be removed (see Section 7.5).

7.3 Design Assessment

276 Ste. Marie is located within the Downtown Collingwood Heritage Conservation District, designated under Part V of the *OHA*. Therefore, development on the property must comply with the HCD Plan. To assess for compatibility, the proposed development has been assessed using the guidelines provided in the HCD Plan. This assessment is provided in Table 5.

It is important to note that after Golder provided a preliminary assessment of the development, Bay Haven made a considerable number of design modifications to address initial concerns and compatibility issues.

Table 5: Assessment of the Proposed Development for compatibility based on design guidelines provided in the Downtown Collingwood HCD Plan

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
5.1 Objectives and Policies for Heritage Buildings The objectives and policies of the HCD Plan in regard to the existing heritage buildings (meaning heritage buildings and structures) are:	
To encourage the continuing adaptive re-use of heritage buildings.	Compatible. The proposed development encourages the adaptive reuse of the existing heritage structure through retaining the building and converting the use to mixed use (commercial and residential).
To apply exceptional measures to avoid demolition or removal of heritage buildings.	Compatible. The existing heritage building will be retained. The rear (west elevation) wood-frame addition will be demolished, however, it is not an identified heritage attribute of the structure.
To apply the provisions of the Ontario Heritage Act to control the demolition or removal of a heritage building or structure.	Compatible. The proposed development will retain the existing heritage structure, except for the rear wood-frame addition. Alteration to the rear addition will be subject to approval by the Minister.
To foster renewed economic uses of the heritage buildings that capitalize on the overall heritage character and quality of the District.	Compatible. The proposed development will foster renewed economic use while capitalizing on the overall heritage character and quality of the District as it retains the existing heritage building and introduces new office space and residential units to the area. The development will encourage residents to live, work and play within the HCD through increasing the number of residential units.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
To retain and conserve the heritage buildings by applying accepted principles and standards for heritage conservation.	Not applicable. Conservation is not proposed.
To encourage the revitalization, conservation, preservation, and restoration of heritage buildings based on documentary and physical evidence.	Compatible. Documentation and physical evidence of the existing heritage building are provided in the Heritage Impact Assessment (HIA).
To retain, repair, and restore distinguishing and/or original architectural features, qualities, technologies, and the overall character of the heritage buildings.	Compatible. The existing heritage structure and its original architectural features will be retained.
To remove incompatible past alterations made to the heritage buildings.	Compatible. Although the rear addition will be demolished, it is not an identified heritage attribute and is not an incompatible past alteration.
To encourage stewardship practices that include regular inspections to identify and undertake maintenance needs.	Golder recommends a heritage structure maintenance plan be completed.
To encourage interior and exterior maintenance to protect heritage buildings from damage or destruction from weather, floor, fire and other hazards.	Golder recommends a heritage structure maintenance plan be completed.
To enforce the provisions and best practices of fire prevention and similar regulations.	Compatible. The proposed development enforces the provisions and best practices of fire prevention and similar regulations.
To apply the cultural heritage and archaeology resources policies of the Provincial Policy Statement of the Planning Act, notably 2.6.3 regarding adjacent lands.	Compatible. The proposed development will not impact adjacent properties as the south is under development, and there will be no shadow impacts or isolation of heritage attributes (see Section 7.2).
To enforce the building standards bylaw as permitted under s.45.1(1) of the Ontario Heritage Act, should such a bylaw be established.	Not applicable.
To apply the provisions of the Town's Sign Bylaw and the HCD Plan to ensure that signage contributes to and enhances the heritage character of the District.	More information is required for detailed design – the current plan and elevations do not indicate signage.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
5.2 Objectives and Policies for New Construction and Development New construction is in reference to properties where there is no existing heritage building or structure, and in instances where a proposed addition is larger in size or a more dominant visual presence when compared to the existing building. Development is in reference to large, usually multi-structure, new construction. The objectives and policies of the HCD Plan in regard to new construction and development are:	
To encourage new construction and development on existing vacant lands, to avoid the loss of any heritage building or structure.	Compatible. The proposed development will retain the existing heritage building while developing the currently vacant land to the rear of the property
To encourage replacement construction or alterations to lands that contain non-heritage buildings.	Compatible. See comment above.
To ensure that new construction and development complement the District.	Compatible. The addition will be located to the rear of the existing heritage building, ensuring it retains prominence in the streetscape. A visual separation has been created between the existing heritage building and the proposed addition, which will further ensure the development complements the HCD. The proposed development is compatible in terms of form, alignment, height, massing, architectural features (symmetrical fenestration), colour schemes and materials (red brick, wooden windows).
5.3 Objectives and Policies for Townscape Features Townscape features mean those elements of public and private realms such as infrastructure, public works, landscaping, street furnishings, plantings, vistas, identity markers, and other non-building aspects of the District. The objectives and policies of the HCD Plan for the townscape features are:	
To preserve the existing pattern of streets, lanes and pathways.	Compatible. No changes are proposed for the existing pattern of streets, lanes and pathways.
To restore the heritage character of streetscapes by control and guidance of new construction and development.	Compatible. The proposed development will restore the heritage character of the streetscape by retaining the existing heritage building and constructing a compatible rear addition which uses similar colour schemes, architectural features and materials.
To identify and maintain the trees that contribute to and enhance the character of the District and develop policies for tree preservation.	Golder recommends a tree preservation and landscape plan be completed.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
To encourage the conservation and/or re-introduction of cultural and natural landscape treatments in public and private realms.	Golder recommends a tree preservation and landscape plan be completed.
To ensure that landscape, streetscape, and infrastructure improvements enhance the heritage character of the District.	Golder recommends a tree preservation and landscape plan be completed.
To preserve and reinforce existing vistas and sight lines toward significant features and buildings.	Golder recommends a tree preservation and landscape plan be completed.
To open new vistas toward significant features and buildings where this can be done without detriment to the heritage character of the District.	Golder recommends a tree preservation and landscape plan be completed.
To de-emphasize non-heritage service facilities such as parking and utilities by inconspicuous location, plantings, screening, and a general integration into elements that are in keeping with the heritage character of the District.	Compatible. Roof-top utilities and maintenance equipment will be screened, and parking is located to the rear of the building.
To create gateway or entry markers into the District at Hurontario Street, First Street and Huron Street.	Not applicable. Ste. Marie Street is not a gateway nor is the property at an entry marker into the District.
To establish District identity markers through such techniques as paving stones, markers, plaques and other indicators that will be of interest to the public.	None proposed.
To ensure that all public works do not detract from the heritage character of the District.	Not applicable.
10.5 General Guidelines (All Projects) The ICOMOS Venice Charter, Appleton Charter, Burra Charter, and <i>Eight Guiding Principles in the Conservation of Historic Properties</i> are key documents in the conservation of cultural heritage (historic) properties. These documents agree on common guidelines that must be applied to the management of change within Collingwood's HCD:	
Conserve the heritage value of a historic place. Do not remove, replace, or substantially alter its intact or repairable character defining elements.	Compatible. The existing heritage building will be retained and no character defining elements will be removed under the proposed development. The rear (west elevation) wood-frame addition will be demolished, however, it is not an identified heritage attribute of the structure.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
Conserve heritage value by adopting an approach calling for minimal intervention.	Compatible. A minimal intervention approach has been selected for the development as the existing heritage building will only be altered with roof windows and an additional window on the south façade. The passageway between the existing building and new addition will provide a visual separation.
Modest buildings and buildings of our time may also be worthy of preservation.	Compatible. The proposed development preserves the existing heritage structure, which is a modest sized, early 20 th residential building.
That conservation of a property involves preservation of its traditional setting.	Compatible. The proposed development preserves the existing heritage building in its traditional setting.
That the continuing use of heritage buildings is very important, but alteration for reuse should not jeopardize the significant attributes of a building.	Compatible. The existing heritage building will continue its use as an office/residential property. Although the rear (west elevation) wood-frame addition will be demolished, it is not a significant attribute and will therefore not jeopardize the heritage value of the structure.
That moving of a significant building from its traditional setting is not allowed.	Not applicable. Relocation of the existing heritage building is not proposed.
That heritage buildings and properties are complex amalgams of their historical evolution and that the evidence of that evolution should be preserved.	Compatible. The existing heritage building will be retained. The rear (west elevation) wood-frame addition will be demolished, however, it is not an identified heritage attribute of the structure.
Additions must maintain the original character of the building, the balance of composition and the traditional relationship to the surroundings.	Compatible. The proposed addition uses similar materials (e.g. red brick exterior) and architectural features (e.g. symmetrical fenestration) as the existing heritage structure.
An extensive body of scientific technique and knowledge is available to achieve conservation of heritage structures and should be sought out when undertaking conservation work.	Not applicable. No conservation work is being proposed.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
That traditional techniques of conservation must always be used, but, when these are not adequate, tested and proven modern techniques of conservation must be applied.	Not applicable. No significant changes to the existing building or conservation work are proposed.
That restoration (i.e. re-creating historic features that have vanished) is very specific work and should be preceded by thorough study that allows the restoration to be authentic not conjectural.	Not applicable. Restoration is not proposed.
That replacement of missing parts through restoration must integrate with the whole but be somehow distinguishable from the original building fabric so as not to falsify historic evidence.	Not applicable. Restoration is not proposed.
That regular building maintenance is an important part of conservation.	Golder recommends a heritage structure maintenance plan be completed.
That changes to heritage properties should be carefully documented and made available for the public record so that evolution of the property can be charted.	Compatible. This Heritage Impact Assessment (HIA) report provides documentation for the proposed development of 276 Ste. Marie Street, however, photos will also be required once rear wing has been demolished.
14.1 General Principles for New Construction	
The design of a new building, or an addition, does not need to replicate historic design model to be compatible with the HCD. Attention to the form, alignment, setback, architectural features, colour schemes, and materials can result in a design that maintains the architectural rhythm of the neighbouring buildings and streetscape. On these lands the maximum building height permitted is four storeys plus an additional storey for mechanical penthouses and amenity spaces.	Compatible. The proposed development incorporates similar colour schemes and materials (e.g. red brick, painted wood windows) and architectural features (e.g. symmetrical fenestration). The addition is located to the rear of the existing heritage property to ensure its prominence on the streetscape and will not exceed the maximum building height.
The construction of an addition should be avoided, if possible, and considered only after its determined that the uses intended for the addition cannot be accommodated in the existing building.	Compatible. Although an addition is proposed, it is unlikely that six dwelling units could be accommodated in the existing heritage building. The proposed development will allow for intensification while maintaining the existing heritage structure.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
New construction must conform to the established design principles, qualities, and characteristics of the neighbourhood and the streetscape.	Compatible. The proposed development maintains the existing early 20 th century building and introduces new construction which conforms to the established Downtown HCD design guidelines. This will maintain the characteristics of the Downtown HCD neighbourhood and streetscape.
If adjacent buildings are not in keeping with the heritage character of the district, principles of materiality, setback, and form should be consistent with the overall streetscape.	Not applicable. The proposed development is adjacent to other early 20 th century buildings. The setback from the street will remain unchanged.
New building should be designed to allow pedestrian amenities such as wider sidewalks, lack of obstruction to barrier free entry, and shelter at building entries.	Compatible. The proposed development includes an upgraded walkway to the existing heritage structure, as well as a textured block pedestrian walkway along the north façade. The main entrance along Ste. Marie Street is sheltered.
Mid block entrances and pathways are encouraged.	None proposed.
14.3 New Construction: House Form The overall principles for new construction of commercial buildings apply, with some modification, to new construction in the House Form areas of the District.	
House Form Area – Appropriate Materials	
<i>Exterior Finish</i>	
Materials compatible with the original design.	Compatible. The proposed development will use red brick to match the existing brick as close as possible in regard to size, colour, texture and mortar joints. Painted wood windows will also be used.
Stone of a type, cut, and bond pattern that can be documented in the District.	None proposed.
Traditional sizes of smooth, red clay, face brick, with buff clay, face brick as accent.	Compatible. The proposed development will match the existing brick as close as possible with regard to size, colour, texture and mortar joints. Red brick and mortar are proposed.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
Horizontal, wood clapboard, 4" to the weather.	None proposed.
Smooth, painted, wood board and batten siding.	None proposed.
Roughcast plaster when a similar heritage type can be documented in the District (not fabricated stucco wall systems).	None proposed.
Wood shingles or shake siding, only when appropriate to the context.	None proposed.
Combinations of materials when a similar heritage example can be documented in the District.	Compatible. Although tempered glass balconies are proposed, this material has been accepted by the Town in other recent developments.
Exterior Accent Detail All exterior accents or architectural details should be compatible with the heritage buildings of the District. Seeking actual examples as templates is encouraged.	
Cut stone for accents in brick buildings.	None proposed.
Wood shingles, roughcast plaster, terracotta wall tiles, crushed coloured stone, or applied motifs (for example, floral motif) in centre gables and gable ends.	None proposed.
Painted wood porches, verandas, or porticos, including support posts, brackets, barge-board, stairways, hand supports, and railings.	None proposed.
Decorated soffits and fascia, including painted wood bargeboard (also known as gingerbread or vergeboard) and brackets, where appropriate in the architectural style and design.	None proposed.
Shutters that are correct in size to the window opening.	None proposed.
Roofs	
Slopes and layouts compatible with the original design.	Compatible. The proposed development has a flat roof to ensure the existing heritage building remains prominent.
Hipped or gable roof with a minimum 6:12 slope.	None proposed.
Cedar, slate, or simulated slate shingles.	Compatible.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
	Charcoal grey Enviroslate is proposed.
Asphalt shingles in different shapes and patterns, in a colour compatible with neighbourhood house colours.	None proposed.
Standing seam metal roofing suitable for dwellings.	None proposed.
Cupolas and roof monitors.	None proposed.
Doorcase	
Wood doors and frames, solid or glazed panel construction.	More information is required – fibreglass doors may be suitable if panelled to look historic.
Transom windows in clear, coloured, or art glass, or a decorated panel.	None proposed.
Paired sidelights with solid and glazed panel construction.	None proposed.
Wood or plaster architrave (trim) in a design that can be documented in the District.	More information is required – trim material for the doors was not available at the time of the assessment.
Wood casement (“French”) doors for porch or veranda entrances.	None proposed.
Single-bay wood paneled garage doors.	None proposed.
Windows	
Materials and designs compatible and in keeping with the original architectural style.	Compatible. Painted wood windows are proposed.
Wood frames, true muntin or glazing bars, sash type appropriate to the original style.	Compatible. See comment above.
Vertical proportion, usually ranging from 3:5 to 3:7.	Compatible. The proposed development incorporates vertical proportion windows.
Metal, vinyl, or vinyl or metal clad wood windows could be allowed where the look replicates wood and the selection is appropriate to the context.	None proposed.
Flashings	
Visible step flashings should be painted the colour of the wall.	Compatible.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
	The flashings will be a dark grey colour, similar to the roof.
House Form Area – Inappropriate Materials	
<i>Exterior Finish</i>	
Concrete block, calcite or concrete brick.	None proposed.
Textured, clinker, or wire cut brick.	None proposed.
Precast concrete panels or cast-in-place concrete.	None proposed.
Pre-fabricated metal or plastic (vinyl) siding.	None proposed.
Stone or ceramic tile facing.	None proposed.
“Rustic” clapboard or “rustic” board and batten siding; wood shake siding on a primary façade.	None proposed.
<i>Exterior Detail</i>	
Prefinished metal fascia and soffits.	None proposed.
Pre-manufactured shutters, railings, and decorative woodwork or other trims that do not match in quality, texture, colour, dimension, or materials to other examples in the District or that are inappropriate to an approved design.	None proposed.
Unfinished, pressure-treated wood in decks, porches, verandas, stairways, railings, and trim.	None proposed.
<i>Roofs</i>	
Slopes or layouts not suitable to the architectural style.	Compatible. Although a flat roof is proposed, this will ensure the existing heritage building remains prominent.
Low sloped or flat roofs.	None proposed.
Non-traditional metal roofing such as pre-finished or corrugated metal.	None proposed.
Modern skylights visible from the street.	None proposed.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
Doors	
"Stock" suburban door assemblies.	More information is required – fibreglass doors may be suitable if panelled to look historic.
Flush doors.	None proposed.
Sidelights on one side only.	None proposed.
Metal storm and screen doors; sliding patio doors.	None proposed.
Double-bay, slab, or metal garage doors.	None proposed.
Windows	
Large dimension window openings that do not meet the heritage standard for window openings and sash types.	None proposed.
Curtain wall systems.	None proposed.
Metal, plastic, or fibreglass frames.	None proposed.
Metal, vinyl, or vinyl or metal clad wood windows could be allowed where the look replicates wood and the selection is appropriate to the context and architectural style of the original building.	None proposed.
Awning, hopper, or sliding openers.	None proposed.
"Snap-in" simulated muntin (glazing bars).	None proposed.
Flashings	
Pre-finished metal in inappropriate colours.	None proposed.
Cladding	
Wood cladding was in common use until about the third quarter of the 19 th century. This was typically horizontal clapboard or shiplap, often bevelled with 4-inch coursing. Vertical board and batten was popular for a style referred to as "Carpenter Gothic" but there are few examples in the District. Correctly proportioned and finished with traditional details such as vertical cornerboards, foundation level drip boards, and possibly returned eaves, horizontal wood siding is	Not applicable. The existing heritage building is a red brick property built in the Edwardian Classicism style.

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
an attractive and acceptable cladding for new construction.	
The late 19 th and early 20 th century witnessed an increase in the use of wood shingles as a wall cladding. This was popular as decorative gable ends in Queen Anne style dwellings. The “Shingle” and Arts & Crafts styles made extensive use of shingles that were shaped and laid in blocks or bands to create a texture. This is an acceptable cladding if the architectural style of the dwelling supports its use.	Not applicable. The existing heritage building is a red brick property built in the Edwardian Classism style.
House Form Principles	
Buildings should be setback from the street line to create front yards of similar depth to neighbouring buildings, within the limits set in the Town’s zoning bylaw.	Compatible. The setback from the street line remains unchanged, as the existing heritage building will remain at its original location.
Front yards should be unfenced or have heritage quality fencing in an approved material that is within the height requirements specified by the Town Fence Bylaw.	None proposed.
Where adjacent incompatible uses require a privacy screen, hedge planting is suitable. The height should be in keeping with the requirements of the Town Fence Bylaw.	Not applicable.
Unfinished pressure-treated wood and chain link fencing are not appropriate for fencing visible from the street or public lane or pathway.	None proposed.
A tree preservation and landscape plan may be required.	Golder recommends a tree preservation and landscape plan be completed.
New plantings should be species typical to the District.	Golder recommends a tree preservation and landscape plan be completed.
15.0 Streetscapes, Lanes, and Pathways	
15.1 Streetscape Design The combined effect of large numbers of heritage buildings, open spaces, streetscapes, and traditional land patterns create a “sense of place” or heritage character that is more than the sum of its parts. To maintain this sense of place, the following guidelines apply to streetscapes:	

TOWN HCD DESIGN GUIDELINE	PROPOSED CONSTRUCTION/ALTERATION
The preservation of existing heritage buildings is the most important way to preserve the heritage character of the streetscapes.	Compatible. The proposed development preserves the existing heritage building at 276 Ste. Marie Street. The addition will be located to the rear of the property which will not impact the overall character of the streetscape. Further, the adjacent property to the south is slated for development of a much larger scale.
Alterations, additions and new construction must reinforce the heritage character of the setting and/or streetscape by referencing and respecting the surrounding buildings in siting, architectural design, massing, quality, and landscaping.	Compatible. The proposed addition is located to the rear of the existing heritage building and references the original building's architectural design and materials.
Streetscape improvements and public works that reinforce and enhance the district identity and special quality of the Commercial and House Form areas are to be encouraged.	Golder recommends a tree preservation and landscape plan be completed.

7.4 Results of Impact Assessment

The preceding assessment has determined that without conservation or mitigation measures that Bay Haven has incorporated into the proposed plan and elevations, combined with monitoring the heritage structure for vibration impact during construction, the proposed development at 276 Ste. Marie Street:

- ***Will result in minor direct and indirect impacts to the heritage attributes of 276 Ste. Marie Street that are irreversible, widespread, permanent, and continuous.***

7.5 Consideration of Alternatives, and Mitigation and Conservation Options

There is no single, correct way to mitigate the impacts of new construction on historic structures. Best practice for heritage conservation generally attempts minimal intervention, that is, maintaining the building in as close to the condition it was encountered. In reality, however, economic and/or technical site considerations may require an alternate method to conserve the cultural heritage value of the structure or property.

Golder has identified four options, which are:

- 1) Do nothing;
- 2) Proceed as proposed; and,
- 3) Develop with smaller-scale addition.

An analysis of each mitigation option is provided in Table 6.

Table 6: Consideration of mitigation for 276 Ste. Marie Street

Options		Advantages	Disadvantages	Comment
1	<i>Do nothing:</i> retain the building located at 276 Ste. Marie unaltered and continue the current office and residential usage.	This is generally the most preferred of conservation options since - through the principle of minimal intervention - it has the highest potential for retaining all the structure's heritage attributes.	Preservation is not a 'do nothing' approach: to ensure the buildings do not deteriorate, repairs must be carried out and a systematic monitoring and repair program will be required for both exteriors and interiors. However, execution of a maintenance program for a building can take excessive amounts of time and may prove costly.	<p>While minimum intervention is the most preferred approach, this sometimes proves difficult for long-term sustainability, since some potential property purchasers find minimal intervention as imposing too many constraints on future development.</p> <p>As identified in Section 3.0, PPS 2014 encourages intensification in settlement areas. The Town's Official Plan echoes this sentiment in Section 2.5.7, where it indicates "a minimum intensification target of 40% of development per year within the built boundary by 2015 and each year thereafter". Given the prime location of the development, with close proximity to a major thoroughfare (Hurontario Street), the option to 'do nothing' on the site would go against existing planning policy.</p>
2	<i>Proceed as proposed:</i> incorporate the building into new construction and rehabilitate it for compatible uses.	As defined by Parks Canada <i>Standard & Guidelines</i> , rehabilitation and re-use can revitalize a historic place. Not only are structures repaired and in some cases restored when adapted from new uses, they are regularly maintained and protected, and the heritage attributes are understood, recognized, and celebrated.	<p>Adapting the building to new uses may prove difficult as the impacts of shadow, differences in scale, orientation and setback, and architectural compatibility all have to be considered.</p> <p>Without modification, a new addition can dominate a heritage structure and undermine the heritage value of the character-defining features of the</p>	Incorporation and rehabilitation is one of most common conservation approaches since it balances new development with retention and appreciation of architectural and social heritage. The proposed development has made several design modifications to ensure that the existing heritage structure is retained and is prominent in the streetscape along Ste. Marie Street. Further, it introduces moderate density to the area which aligns

Options		Advantages	Disadvantages	Comment
		Rehabilitation projects are generally more cost-effective, socially beneficial, and environmentally sustainable than new builds, even though they may require more specialized planning and trades to undertake.	building. Further, the intensification of the property may be viewed unfavourably by neighbouring properties, which are mainly single-family dwellings.	with the Province's and Town's intensification policies.
3	<i>Incorporate</i> the existing structure into a smaller development.	This option would retain the house in its current form while incorporating a minimal level of density.	Although retaining the existing structure, the construction of a smaller addition would prove financially challenging as it would be difficult to recoup costs especially after the maintenance of the existing structure.	As noted above, the Province of Ontario and the Town of Collingwood have placed an emphasis on intensification through their plans and policies. As proposed, the current development will introduce modest density while maintaining the existing structure. A visual separation has been introduced between the existing structure and addition, which will ensure visual prominence of the existing heritage building. The property to the immediate south at the corner of Hume Street and Hurontario Street is being redeveloped with a six-storey mixed-use building which will be larger in scale and massing than the proposed development.

7.5.1 Recommendations

The option that best balances the economic viability of the surrounding land and conserves the identified heritage attributes of 276 Ste. Marie is:

- **Option 2: Proceed as Proposed: Incorporate the building into new construction and rehabilitate it for compatible uses.**

As currently proposed, the development at 276 Ste. Marie will introduce a modest level of density in the downtown core of Collingwood while retaining the existing heritage structure, which is of overall good structural condition. Bay Haven has accepted Golder's recommendations to: introduce a visual separation between the existing structure and rear addition; maintain the existing roofline of the existing heritage structure; and use compatible materials with the Downtown HCD, which will ensure prominence of the early 20th century residence.

To further minimize impact, Golder recommends to:

- ***Monitor for vibration impact during construction.***
 - Continuous ground vibration monitoring should be carried out at the property boundaries using a digital seismograph capable of measuring and recording ground vibration intensities in digital format in each of three (3) orthogonal directions. The instrument should also be equipped with a wireless cellular modem for remote access and transmission of data.
 - The installed instrument should be programmed to record continuously, providing peak ground vibration levels at a specified time interval (e.g. 5 minutes) as well as waveform signatures of any ground vibrations exceeding a threshold level that would be determined during monitoring. The instrument should also be programmed to provide a warning should the peak ground vibration level exceed the guideline limits specified. In the event of either a threshold trigger or exceedance warning, data should be retrieved remotely and forwarded to designated recipients.

8.0 SUMMARY STATEMENT

In September 2016, Golder was retained by Plan Wells Associates Inc. on behalf of the Bay Haven Nursing Home (Bay Haven) to conduct a Heritage Impact Assessment (HIA) as part of a severance application for 276 Ste. Marie Street in the Town of Collingwood, Ontario. The property is currently designated under Part V of the *Ontario Heritage Act* (OHA), and includes a two-storey, early 20th century brick building constructed in the Edwardian Classicism style.

Bay Haven is proposing to construct a four-storey rear addition and modify the existing structure to include eight dwelling units and one ground floor office space and ground level parking. Since the development is located within the Collingwood Downtown Heritage Conservation District (HCD), the Town of Collingwood required that a HIA be submitted as part of the site plan approval. In March 2018, Golder was retained to conduct a HIA for the proposed new construction.

Following guidelines provided by the Ministry of Tourism, Culture and Sport (MTCS), the Town of Collingwood's *Official Plan* and *Downtown Heritage Conservation District Plan*, and Canada's *Historic Places Standards & Guidelines for the Conservation of Historic Places in Canada*, this HIA identifies the heritage policies applicable to conserving and developing the property, provides an overview of the property's geography and history and an inventory of the property's built and landscape features. Based on this understanding of the property, the potential impacts resulting from the proposed development are assessed and future conservation actions recommended.

This HIA initially determined that without mitigation, the proposed development would result in major direct and indirect impacts to the heritage attributes of 276 Ste. Marie Street and the Collingwood Downtown HCD that are irreversible, widespread, permanent and continuous.

In response and on Golder's advice, Bay Haven modified the design to include:

- Providing a visual separation between the existing heritage structure and new addition;
- Limiting the number of changes to the existing heritage structure; and,
- Using design and materials that comply with the design guidelines of the Downtown HCD Plan.

With these mitigation measures, combined with consideration of alternatives and monitoring the heritage structure for vibration impact during construction, Golder has determined that the proposed development:

- ***Will result in minor direct and indirect impacts to the heritage attributes of 276 Ste. Marie that are irreversible, widespread, permanent and continuous.***

However, these minor impacts are balanced with the extent of adjacent development for the Admiral Collingwood Place and Provincial and municipal objectives for intensification.

Additionally, Golder recommends that the following documents be provided to complement the proposed renderings and provide further clarification on how the proposed development meets the Downtown HCD Plan:

- A heritage structure maintenance plan; and,
- A tree preservation and landscape plan.

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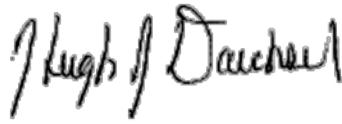
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Signature Page

Golder Associates Ltd.

A stylized, handwritten signature in black ink, appearing to be 'HC' with a large, looping flourish at the end.

Henry Cary, Ph.D., CAHP
Cultural Heritage Specialist

A handwritten signature in black ink that reads 'Hugh Daechsel' in a cursive script.

Hugh Daechsel, M.A.
Principal, Senior Archaeologist

HC/HD/ly

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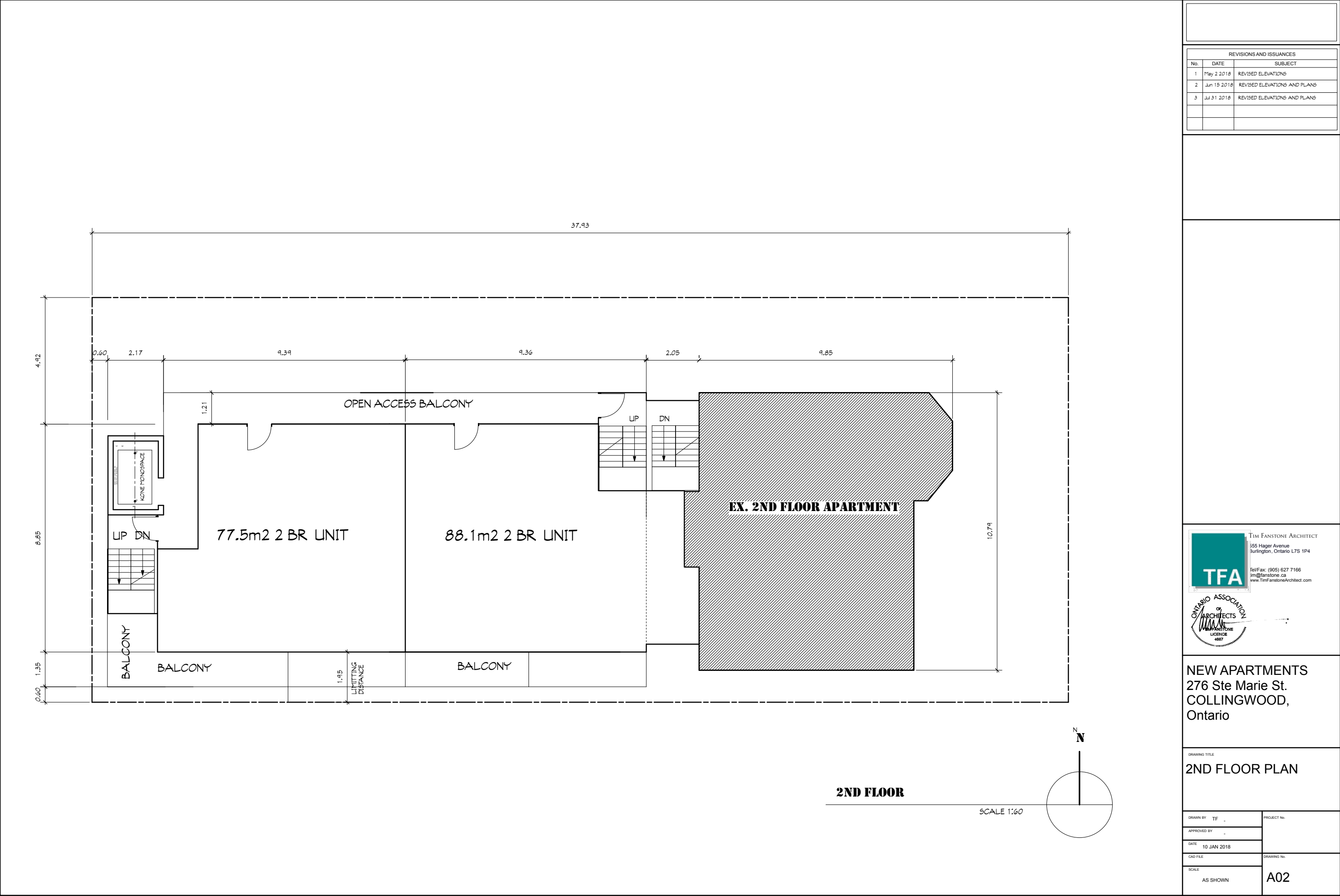
APPENDIX A

Abstract Index to Deeds & Assessment Roll Records

Date	Title
1846	George Jackson purchases south ½ of Lot 43 Con 8 from the Crown
1854	Jackson sells his half of the Lot to David Lyns Laylow [? illegible] for £50, who sells the Lot back to Jackson later that same year.
1855	Jackson (et ex) sells part ½ acre (27 x 28) to John Todd for £400
1856	Jackson further subdivides his Lot, selling a portion to Samuel [Leo? Illegible], William [illegible] (3/4 acres), and William Priestman (35 x 36).
1857	A portion of the Lot was sold by James Connell, who owned the North ½ of the lot, to George Jackson.
1857-1870	George Jackson remains primary owner of S ½ of the Lot. Lot is subdivided using city property numbers by at least 1856. (Property located on #10 West side Ste. Marie Street)
1870	Jackson et ex sells all 100 acres of S ½ to Charles [Gamore? Illegible] and George Mobesly of Collingwood for \$3000. This transaction includes 'lots in Collingwood, 27, 28, 29, 30, 31, and 32 East Hurontario Street, and 8, 9, and 10 East Ste. Marie Street. No mention of west side.
1870-1896	Parts of Lot are transferred from the Town of Collingwood to John McKechnie Holdings Ltd, from the Canadian National Railway Company to the Town of Collingwood, and from the Town to the Public Utilities Commission of Collingwood, but records do not demonstrate who these companies obtained the land from.
1936	Assessment rolls for the Town of Collingwood indicate that James Miller, age 71, is the owner of property #10 on the west side of Ste. Marie Street. He is a labourer and a widower and lived alone. The record shows that the total value of his property and building(s) was \$2790. According to the 1911 Census, James may have been on the lot as early as 1911.

APPENDIX B

Proposed Development Renderings



REVISIONS AND ISSUANCES		
No.	DATE	SUBJECT
1	May 2 2018	REVISED ELEVATIONS
2	Jun 15 2018	REVISED ELEVATIONS AND PLANS
3	Jul 31 2018	REVISED ELEVATIONS AND PLANS



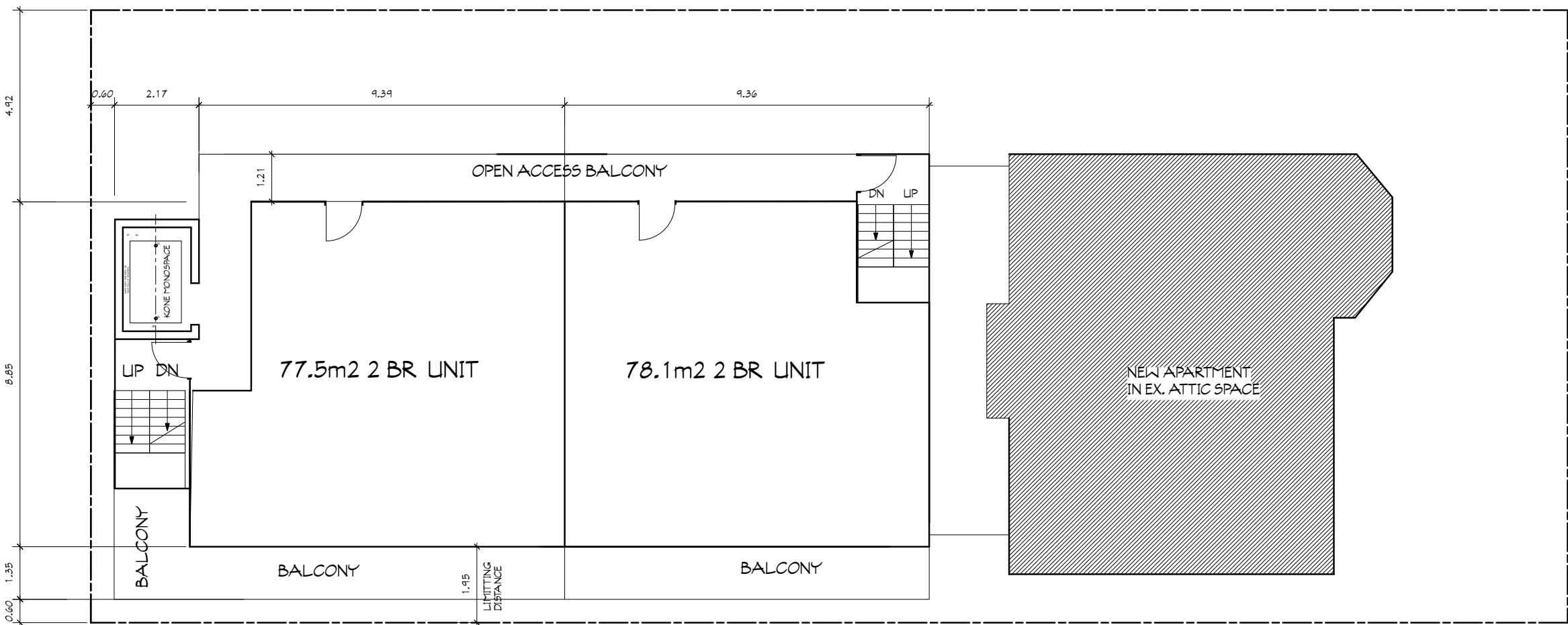
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Ontario

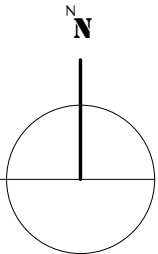
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2ND FLOOR PLAN

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3RD FLOOR

SCALE 1:60



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REVISIONS AND ISSUANCES		
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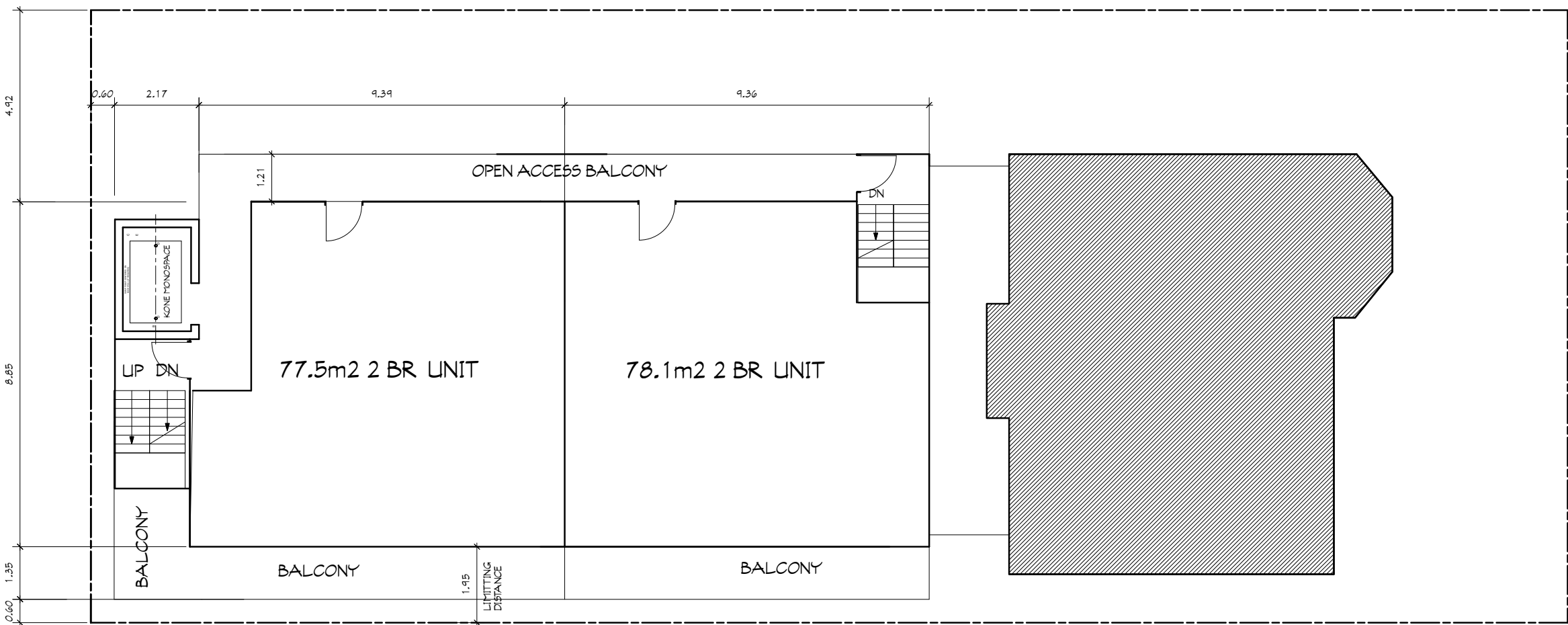


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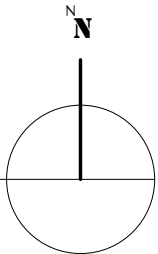
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3RD FLOOR PLAN

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4TH FLOOR

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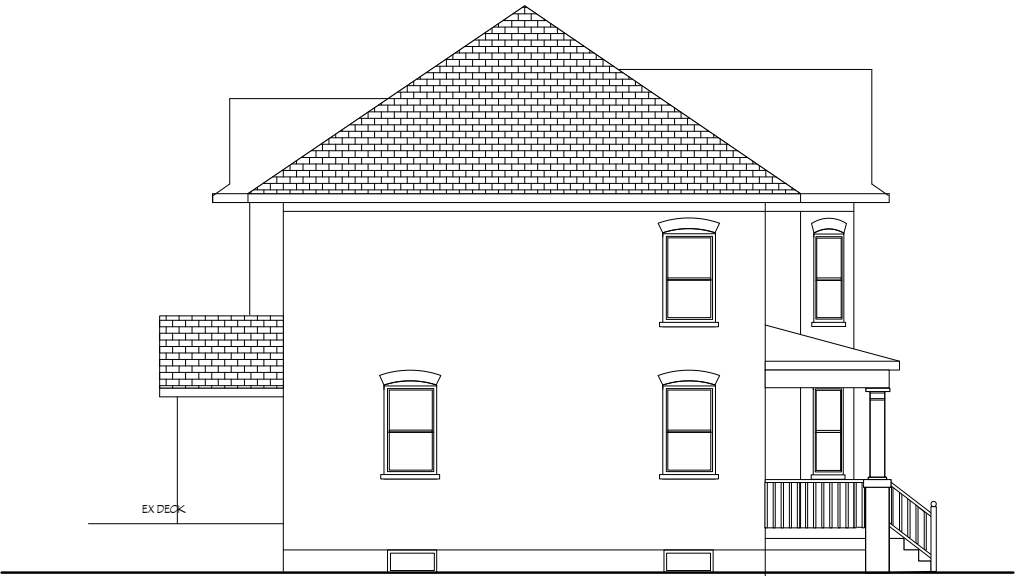
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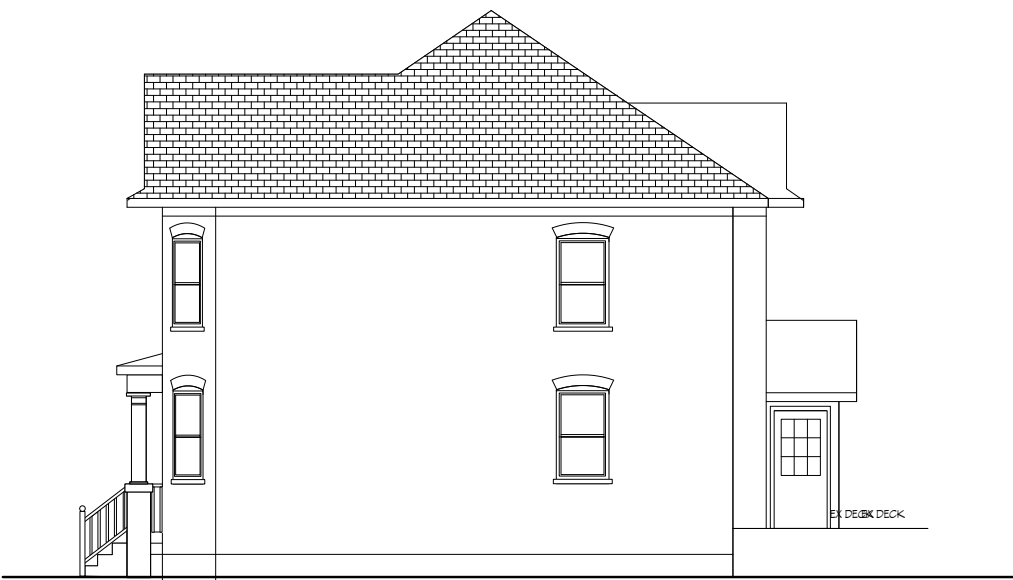
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

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REVISIONS AND ISSUANCES		
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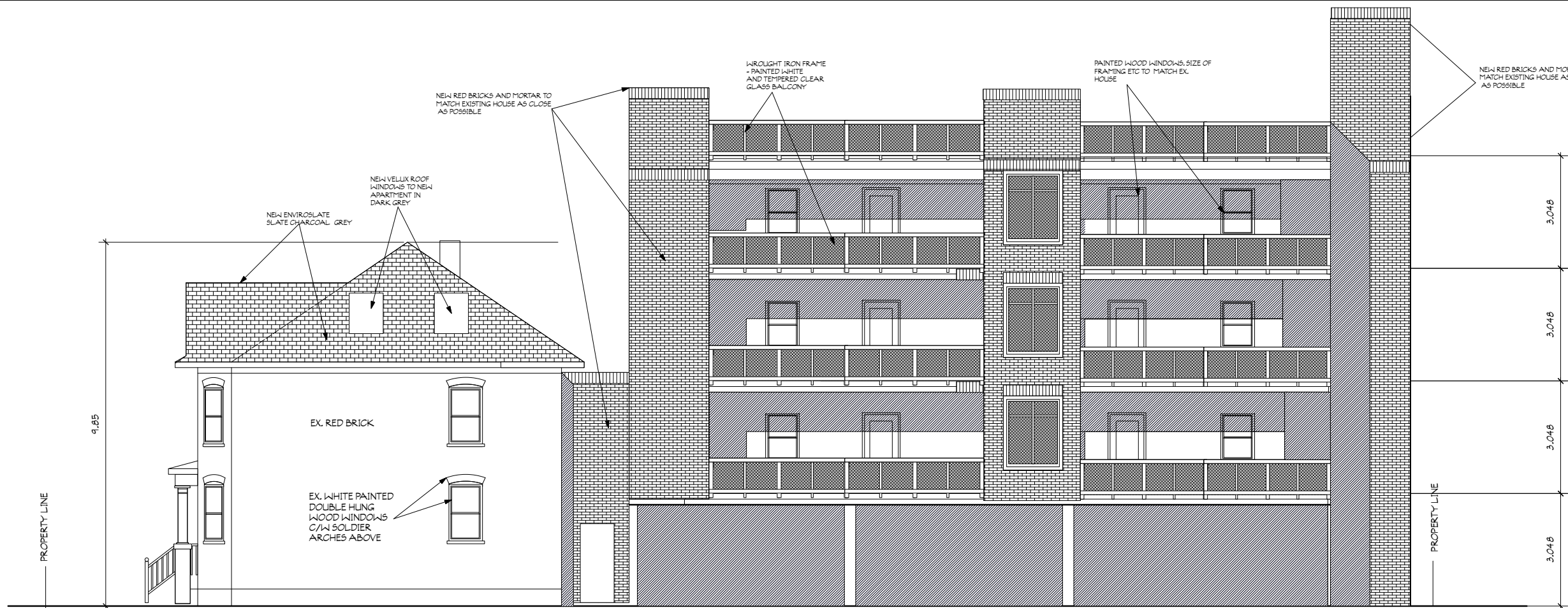


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NORTH ELEVATION



SOUTH ELEVATION

REVISIONS AND ISSUANCES		
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3	Jul 31 2018	REVISED ELEVATIONS AND PLANS

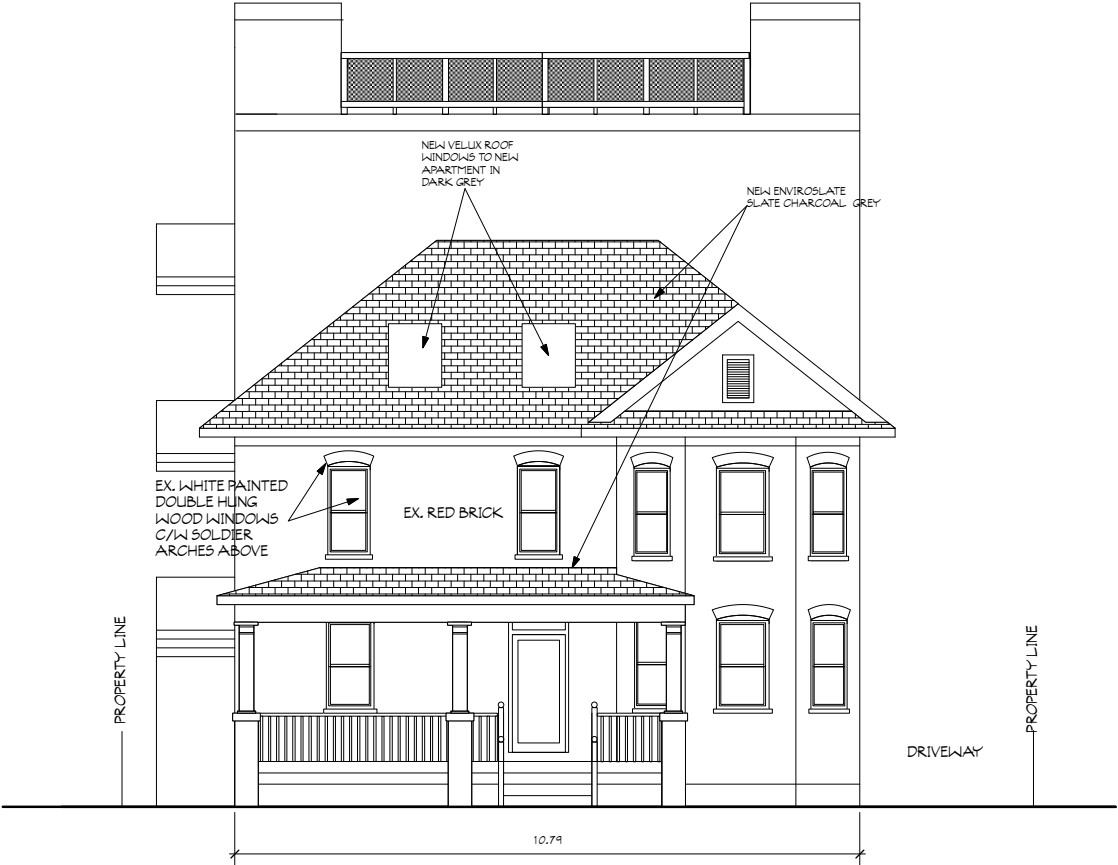
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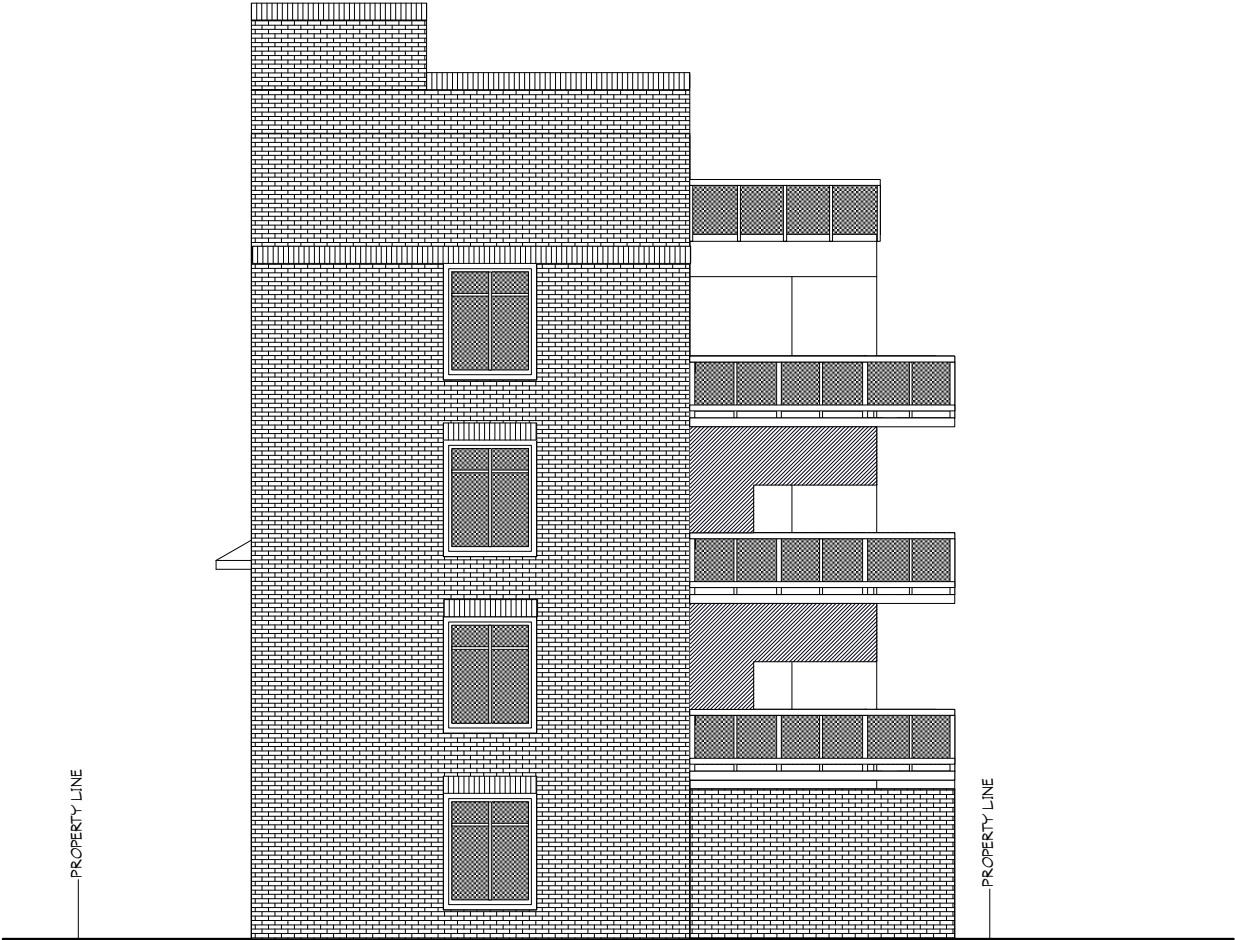
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EAST ELEVATION



WEST ELEVATION

REVISIONS AND ISSUANCES		
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