PARKING - COMMERCIAL

Parking aisle minimum width of 6.0 metres Parking space minimum dimensions of 2.8 m x 6.0 m Accessible parking space minimum dimensions 4.5 m x 6.0 m Dual accessible parking spaces at 3.4 m x 6.0 m with 1.5 m shared aisle

Commercial

Commercial							
Building	Rate	Gross Area	Gross Floor Area*	Parking Req'd	Parking Provided	Accessible Parking Req'd	Accessible Parking Prov'd
01 Restaurant	8/100 m2	225.5 m2	157.0 m2	13			
02 Commercial	3/100 m2	929.0 m2	836.1 m2	26			
03 Commercial	3/100 m2	847.8 m2	727.0 m2	22			
04 Commercial	3/100 m2	1,799.4 m2	1,619.5 m2	49			
Grocery Store	3/100 m2	4,576.0 m2	3,204.0 m2	97			
06 Commercial	3/100 m2	1,384.8 m2	1,246.3 m2	38			
07 Restaurant	8/100 m2	410.9 m2	287.0 m2	23			
Total				268	288	6	12

TRAIL CROSSWALK

*Gross Floor Area as defined by the Town of Collingwood Zoning By-law and is based on Gross Area –10% for general commercial uses and -30% for grocery store and restaurant uses.

DELIVERY / LOADING SPACES

1 Delivery Space for GFA between 460.0 m2 and 2,500.0 m2 1 Loading Space for GFA between 2,501.0 m2 and 7,000.0 m2 Delivery Spaces at 3.5 m (w) x 7.5 m (l) x 3.0 (v) Loading Spaces at 3.5 m (w) x 20.0 m (l) x 4.5 m (v)

Building	Use	Gross Area	Gross Floor Area	Type Required	Type Provided
Building 01	Restaurant	225.5 m2	157.0 m2	N/A	1 Delivery Space
Building 02	Commercial	929.0 m2	790.0 m2	1 Delivery Space	1 Delivery Space
Building 03	Mixed-Use	727.0 m2	618.0 m2	1 Delivery Space	1 Delivery Space
Building 04	Commercial	1,799.4 m2	1,619.5 m2	1 Delivery Space	1 Delivery Space
Grocery Store	Commercial	4,576.0 m2	3,204.0 m2	1 Loading Space	2 Loading Spaces
Building 06	Commercial	1,246.3 m2	1,060.0 m2	1 Delivery Space	1 Delivery Space
Building 07	Restaurant	410.0 m2	287.0 m2	N/A	1 Delivery Space

*Gross Floor Area as defined by the Town of Collingwood Zoning By-law and is based on Gross Area –10% for general commercial uses and -30% for grocery store and restaurant uses.

QUEUING AISLES

Parking space minimum dimensions of 2.8 m x 6.0 m

Building	Use	# of Spaces Required	# of Spaces Provided	Comments
Building 01	Restaurant	10	12	Addn'tl Spaces Beyond Pick-up Window
Building 07	Restaurant	10	14	Addn'tl Spaces Beyond Pick-up Window

BICYCLE SPACES

Mixed-Use Building: 0.7 spaces per dwelling unit to a total maximum of 15 bicycle spaces Non-Residential Buildings: 10% of the required parking spaces for motor vehicles but in no case shall shall the required bicycle spaces be less than 4

Building	Use	Parking Req'd	Bicycle Spaces Req'd	Bicycle Spaces Prov'd
Building 01	Restaurant	13	4	4
Building 02	Commercial	26	4	4
Building 03	Mixed-Use Comm.	20	4	16
Building 03	Mixed-Use Res.	207	15	15 (U/G)
Building 04	Commercial	49	5	4
Grocery Store	Commercial	97	10	8
Building 06	Commercial	34	4	4
Building 07	Restaurant	23	4	4
Total		·	49	59

THE GATEWAY CENTRE - ZONE PROVISIONS

Provision	C4 Zone Requirement	Proposed
Minimum Lot Area	1,000.0 m2	37,604.1 m2
Minimum Lot Frontage (Hurontario Street)	30.0 m	194.0 m
Minimum Front Yard (Hurontario Street)	6.0 m	7.5 m
Minimum Exterior Side Yard (Poplar Sideroad)	9.0 m	15.0 m
Minimum County Setback @ Poplar Sideroad	15.0 m	15.0 m
Minimum Interior Side Lot Line (East Lot Line)	9.0 m	9.0 m
Minimum Rear Yard (North Lot Line)	7.5 m	7.5 m
Maximum Height	15.0 m	42.5 m
Maximum Lot Coverage	40%	26%
Minimum Landscape Open Space	10%	34%
Minimum Hurontario Street CL Setback	15.0 m	29.3 m
Minimum Poplar Sideroad CL Setback	18.0 m	41.9 m
Minimum Parking Space Setback	6.0 metres	6.0 metres
Entrance Width	7.5 m to 15.0 m	9.0 m
Maximum Number of Dwelling Units	N/A	165 units

PARKING - RESIDENTIAL

Parking aisle minimum width of 6.0 metres Parking space minimum dimensions of 2.8 m x 6.0 m Accessible parking space minimum dimensions 4.5 m x 6.0 m Dual accessible parking spaces at 3.4 m x 6.0 m with 1.5 m shared aisle

Residential						
Building	Rate	# of Units	Resident Parking Required	Visitor Parking Required	Total Required	Total Provided
Building 03	1/unit + 0.25/unit for Visitors	165	165	42	207	297

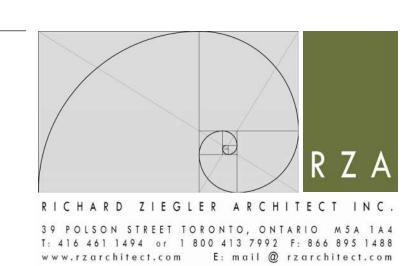
BUILDING HEIGHT 12 STOREYS - 42500mm BUILDING AREA BUILDING AREA 599.8 m² (6,456 ft²) **BUILDING HEIGHT** 3 STOREYS - 11000mm TOTAL GFA 1,490 m² (16,042 ft²) GFA 1,619.5 m² (17,438 ft²) 3000mm WOOD FENCE COMMERCIAL GFA 727 m² (7,829 ft²) ROOFTOP AMENITY 684 m² (5,095 ft²) 3m CONCRETE SIDEWALK __ _ _ _ C.L. OF FIRE ROUTE 3m CONCRETE SIDEWALK PYLON SIGN 3M X 6.25M HIGH 02 RETAIL **GROCERY STORE BUILDING AREA** 1-STOREY BUILDING 929.0 m² (10,000 ft²) **BUILDING AREA** GFA 836.1 m² 4,405.8 m² (47,424 ft²) **BUILDING HEIGHT BUILDING HEIGHT** 1 STOREY - 7163mm GFA (INCLUDING MEZZANINES) 4,576 m² (49,251 ft²) GFA 157 m² (1,690 ft²) BLUE DINC AREA 1 STOREY -PATIO BUILDING AREA 225.5 m² (2,428 ft²) 06 RETAIL **BUILDING AREA** 1,384.8 m² (14,906 ft²) PATIO 1,020 SF GFA 1,246.32 sm. (13,415.72 sf.) **BUILDING HEIGHT** 1 STOREY - 7000mm 07 RESTAURANT RETAIL 4,000 sf. WELCOME TO GFA 368 m² (3,963 ft²) COLLINGWOOD PARKETTE BUILDING HEIGHT - 1 STOREY 7000mm DESIGN TO BE COORDINATED WITH MUNICIPALITY **PYLON SIGN** 3M X 6.25M HIGH

HAMILTON DRAIN TRAIL

03 MIXED-USE

04 RETAIL WITH OFFICES

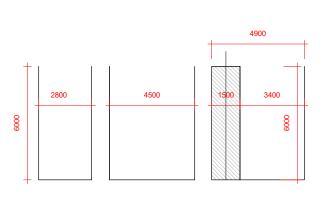
POPLAR SIDEROAD







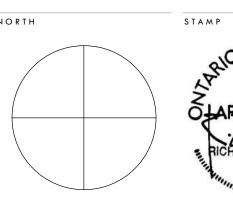




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NO. ISSUANCE THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS

AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DO NOT USE THIS DRAWING FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT.

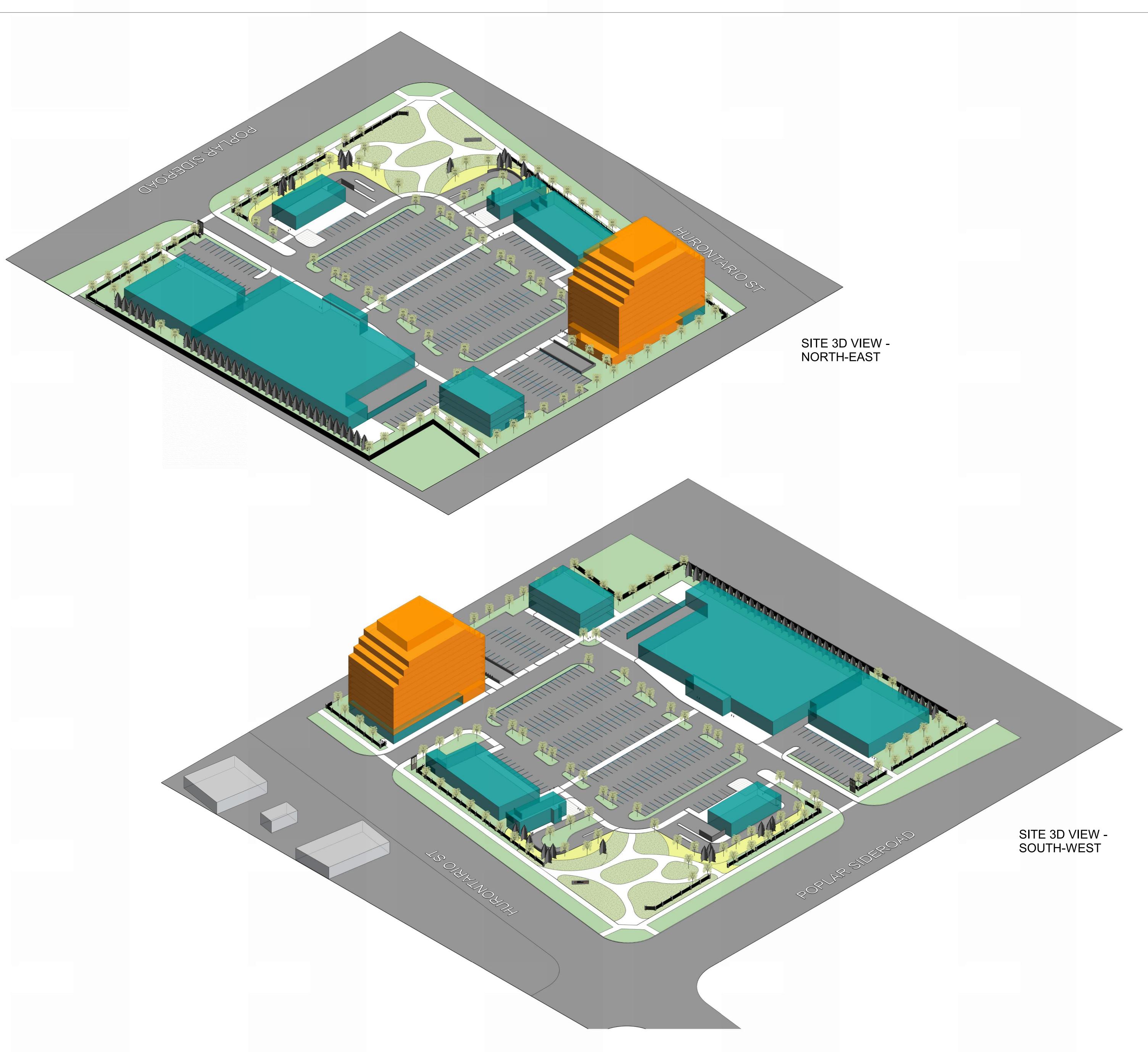


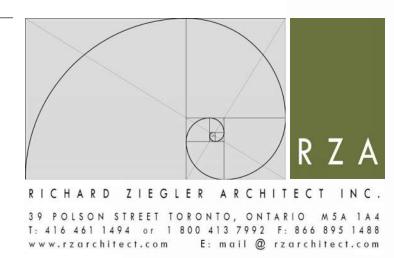


CHARIS DEVELOPMENTS HIGHWAY 124 & POPLAR SIDE ROAD COLLINGWOOD, ONTARIO

SITE PLAN - OPTION C3

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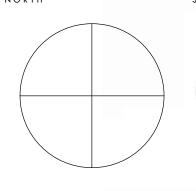


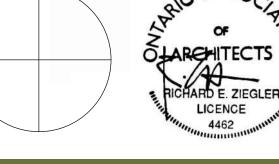




THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS

DO NOT SCALE THE DRAWINGS. DO NOT USE THIS DRAWING FOR





THE GATEWAY CENTRE

CHARIS DEVELOPMENTS
HIGHWAY 124 & POPLAR SIDE ROAD
COLLINGWOOD, ONTARIO

SITE PLAN 3D VIEW

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SHEET		REVISION