

PARKING - COMMERCIAL

Parking aisle minimum width of 6.0 metres
Parking space minimum dimensions of 2.8 m x 6.0 m
Accessible parking space minimum dimensions 4.5 m x 6.0 m
Dual accessible parking spaces at 3.4 m x 6.0 m with 1.5 m shared aisle

Commercial							
Building	Rate	Gross Area	Gross Floor Area*	Parking Req'd	Parking Provided	Accessible Parking Req'd	Accessible Parking Prov'd
01 Restaurant	8/100 m2	225.5 m2	157.0 m2	13			
02 Commercial	3/100 m2	929.0 m2	836.1 m2	26			
03 Commercial	3/100 m2	847.8 m2	727.0 m2	22			
04 Commercial	3/100 m2	1,799.4 m2	1,619.5 m2	49			
Grocery Store	3/100 m2	4,576.0 m2	3,204.0 m2	97			
06 Commercial	3/100 m2	1,384.8 m2	1,246.3 m2	38			
07 Restaurant	8/100 m2	410.9 m2	287.0 m2	23			
Total				268	288	6	12

*Gross Floor Area as defined by the Town of Collingwood Zoning By-law and is based on Gross Area -10% for general commercial uses and -30% for grocery store and restaurant uses.

DELIVERY / LOADING SPACES

1 Delivery Space for GFA between 460.0 m2 and 2,500.0 m2
1 Loading Space for GFA between 2,501.0 m2 and 7,000.0 m2
Delivery Spaces at 3.5 m (w) x 7.5 m (l) x 3.0 (v)
Loading Spaces at 3.5 m (w) x 20.0 m (l) x 4.5 m (v)

Building	Use	Gross Area	Gross Floor Area	Type Required	Type Provided
Building 01	Restaurant	225.5 m2	157.0 m2	N/A	1 Delivery Space
Building 02	Commercial	929.0 m2	790.0 m2	1 Delivery Space	1 Delivery Space
Building 03	Mixed-Use	727.0 m2	618.0 m2	1 Delivery Space	1 Delivery Space
Building 04	Commercial	1,799.4 m2	1,619.5 m2	1 Delivery Space	1 Delivery Space
Grocery Store	Commercial	4,576.0 m2	3,204.0 m2	1 Loading Space	2 Loading Spaces
Building 06	Commercial	1,246.3 m2	1,060.0 m2	1 Delivery Space	1 Delivery Space
Building 07	Restaurant	410.0 m2	287.0 m2	N/A	1 Delivery Space

*Gross Floor Area as defined by the Town of Collingwood Zoning By-law and is based on Gross Area -10% for general commercial uses and -30% for grocery store and restaurant uses.

QUEUING AISLES

Parking space minimum dimensions of 2.8 m x 6.0 m

Building	Use	# of Spaces Required	# of Spaces Provided	Comments
Building 01	Restaurant	10	12	Addn'l Spaces Beyond Pick-up Window
Building 07	Restaurant	10	14	Addn'l Spaces Beyond Pick-up Window

BICYCLE SPACES

Mixed-Use Building: 0.7 spaces per dwelling unit to a total maximum of 15 bicycle spaces
Non-Residential Buildings: 10% of the required parking spaces for motor vehicles but in no case shall shall the required bicycle spaces be less than 4

Building	Use	Parking Req'd	Bicycle Spaces Req'd	Bicycle Spaces Prov'd
Building 01	Restaurant	13	4	4
Building 02	Commercial	26	4	4
Building 03	Mixed-Use Comm.	20	4	16
Building 03	Mixed-Use Res.	207	15	15 (U/G)
Building 04	Commercial	49	5	4
Grocery Store	Commercial	97	10	8
Building 06	Commercial	34	4	4
Building 07	Restaurant	23	4	4
Total			49	59

THE GATEWAY CENTRE - ZONE PROVISIONS

Provision	C4 Zone Requirement	Proposed
Minimum Lot Area	1,000.0 m2	37,604.1 m2
Minimum Lot Frontage (Huronario Street)	30.0 m	194.0 m
Minimum Front Yard (Huronario Street)	6.0 m	7.5 m
Minimum Exterior Side Yard (Poplar Sideroad)	9.0 m	15.0 m
Minimum County Setback @ Poplar Sideroad	15.0 m	15.0 m
Minimum Interior Side Lot Line (East Lot Line)	9.0 m	9.0 m
Minimum Rear Yard (North Lot Line)	7.5 m	7.5 m
Maximum Height	15.0 m	42.5 m
Maximum Lot Coverage	40%	26%
Minimum Landscape Open Space	10%	34%
Minimum Huronario Street CL Setback	15.0 m	29.3 m
Minimum Poplar Sideroad CL Setback	18.0 m	41.9 m
Minimum Parking Space Setback	6.0 metres	6.0 metres
Entrance Width	7.5 m to 15.0 m	9.0 m
Maximum Number of Dwelling Units	N/A	165 units

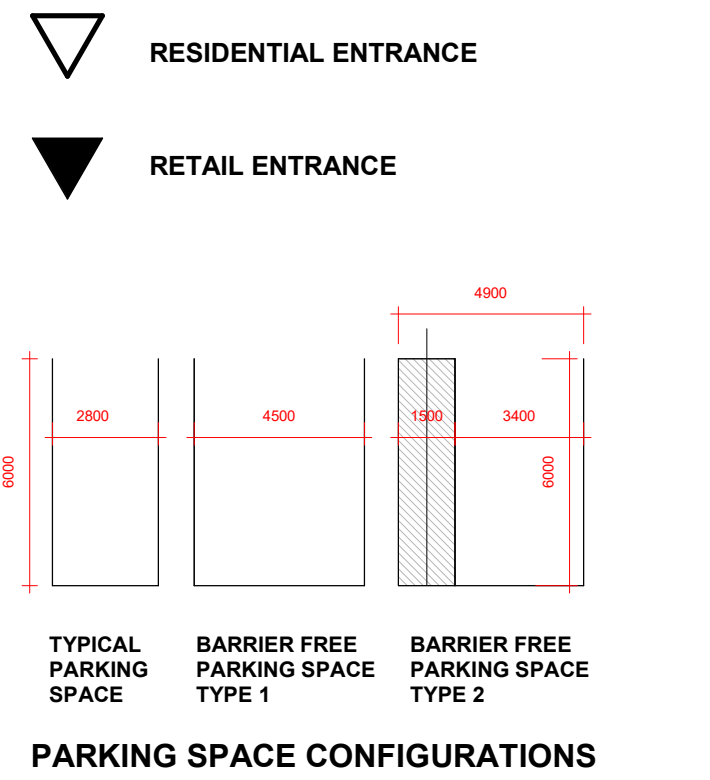
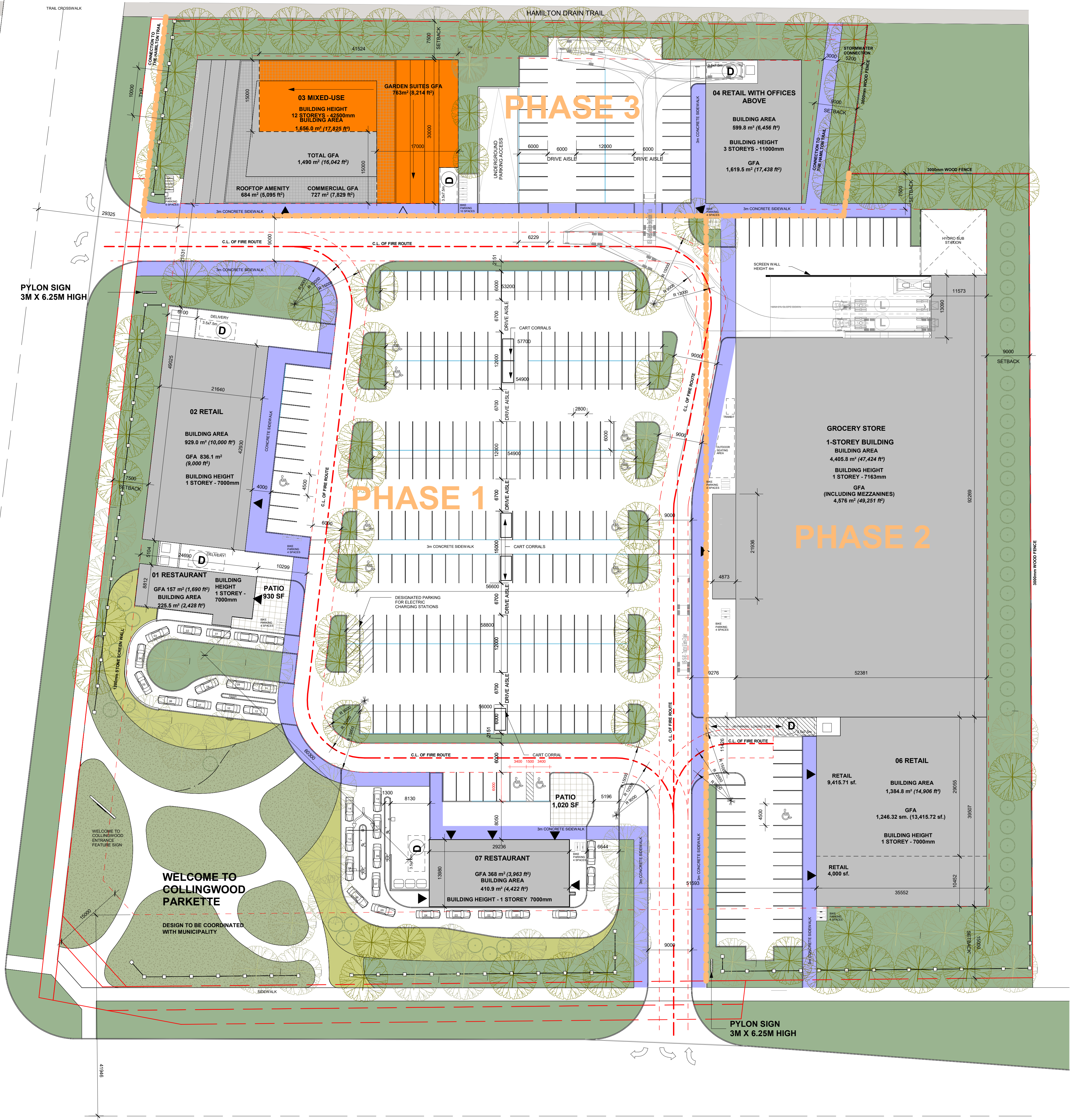
PARKING - RESIDENTIAL

Parking aisle minimum width of 6.0 metres
Parking space minimum dimensions of 2.8 m x 6.0 m
Accessible parking space minimum dimensions 4.5 m x 6.0 m
Dual accessible parking spaces at 3.4 m x 6.0 m with 1.5 m shared aisle

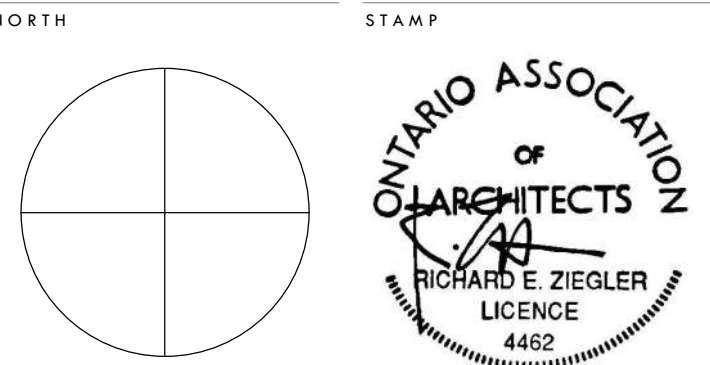
Residential	Rate	# of Units	Resident Parking Required	Visitor Parking Required	Total Required	Total Provided
Building 03	1/unit + 0.25/unit for Visitors	165	165	42	207	297

HURONTARIO ST

POPLAR SIDEROAD



01	ISSUED FOR PLANNING APPROVALS	2024.09.17
NO.	ISSUANCE	DATE
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DO NOT USE THIS DRAWING FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT.		

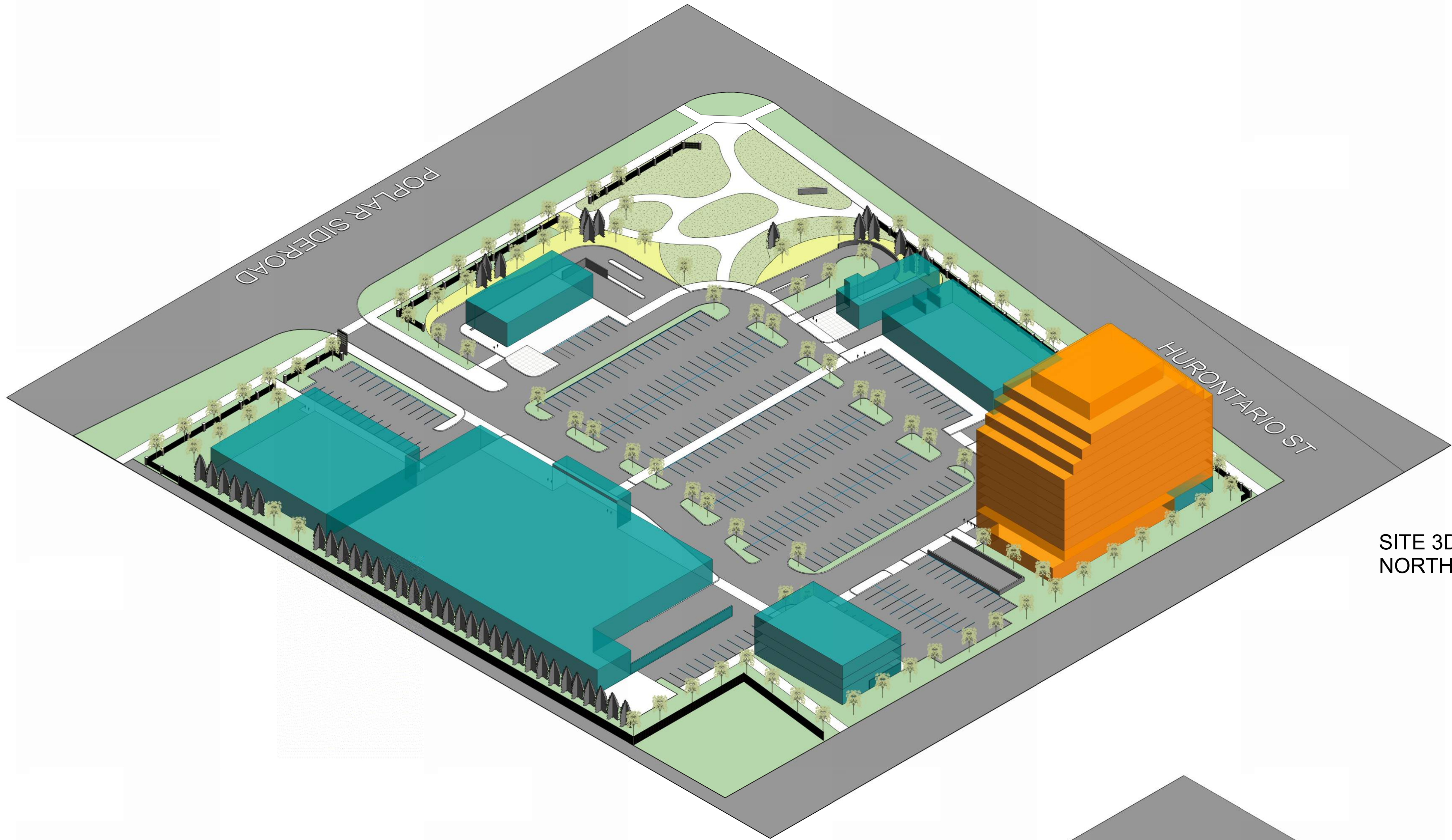


THE GATEWAY CENTRE
CHARIS DEVELOPMENTS
HIGHWAY 124 & POPLAR SIDE ROAD
COLLINGWOOD, ONTARIO

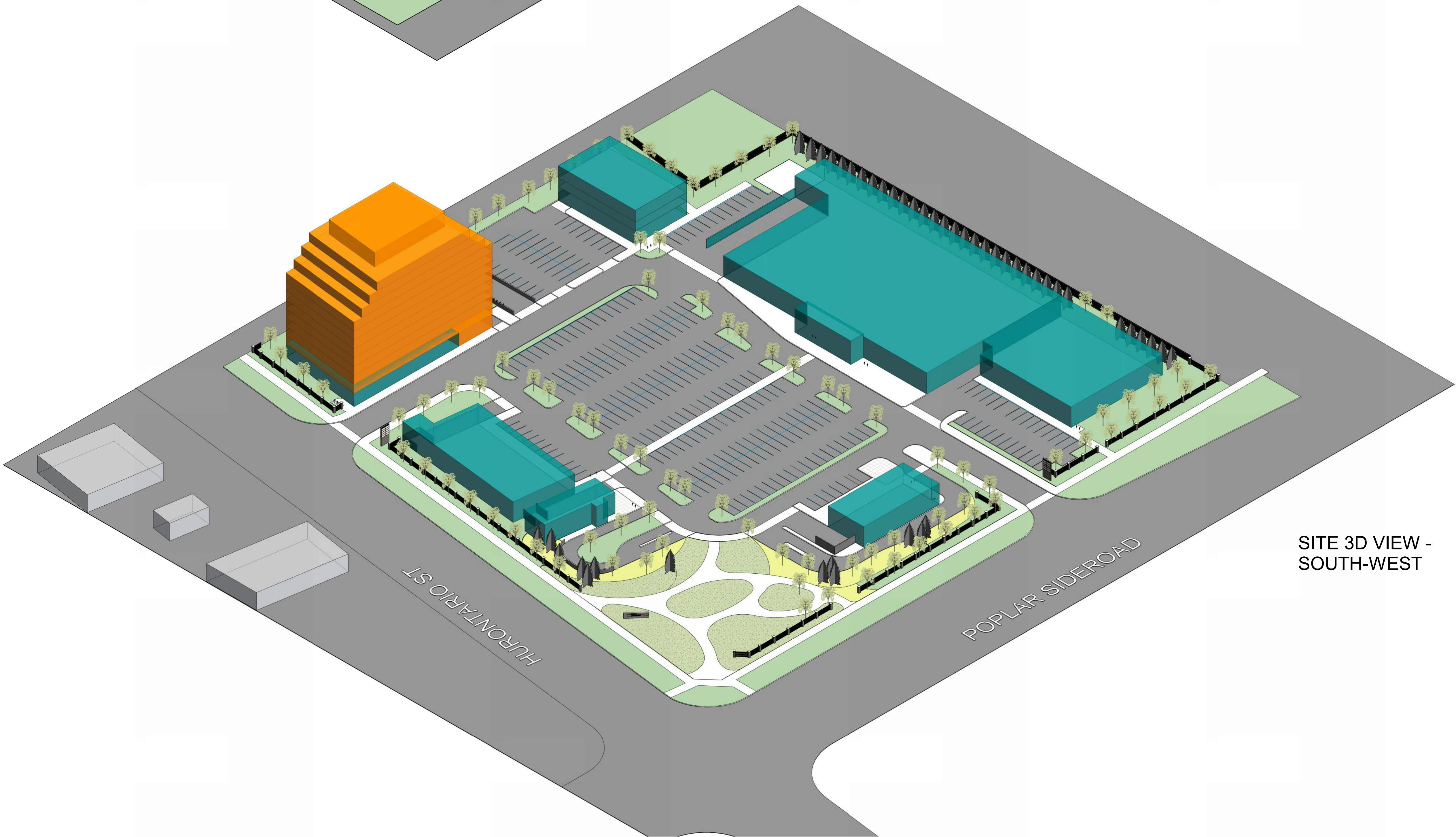
SITE PLAN - OPTION C3

SCALE	As indicated	PROJECT NUMBER
DATE	2024-09-17 11:28:09 AM	202022
DRAWN	SO	
CHECKED	REZ	
SHEET		REVISION

A101

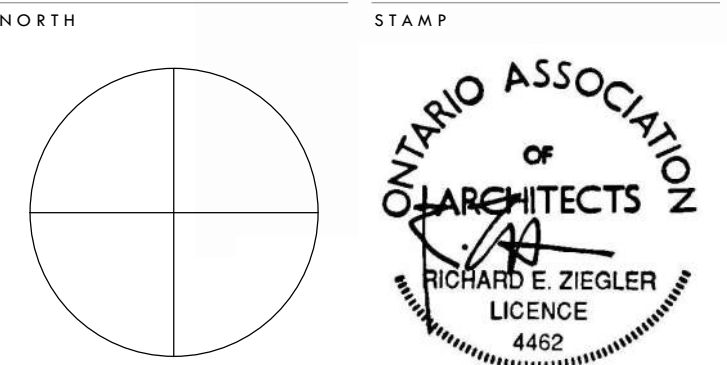


SITE 3D VIEW -
NORTH-EAST



SITE 3D VIEW -
SOUTH-WEST

01	ISSUED FOR PLANNING APPROVALS	2024.09.17
NO.	ISSUANCE	DATE
THE GENERAL CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT. DO NOT SCALE THE DRAWINGS. DO NOT USE THIS DRAWING FOR CONSTRUCTION UNLESS SIGNED AND SEALED BY THE ARCHITECT.		



THE GATEWAY CENTRE

CHARIS DEVELOPMENTS
HIGHWAY 124 & POPLAR SIDE ROAD
COLLINGWOOD, ONTARIO

SITE PLAN 3D VIEW

SCALE		PROJECT NUMBER
DATE	2024-09-17 11:28:12 AM	202022
DRAWN	BB	
CHECKED	REZ	
SHEET		REVISION

A103