

Architectural Design Guidelines

**Balmoral Village
Harbour Street West
Collingwood**



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1.0 INTRODUCTION

1.1 Purpose

Balmoral Village is a master planned, adult lifestyle mixed-use community that provides a range of housing options and commercial and personal service opportunities. Balmoral Village occupies a total area of 9.50 hectares comprised of both low and medium density housing, a retirement residence and clubhouse, retail and office commercial uses, stormwater management facilities and an Environmental Protection area.

The Architectural Design Guidelines have been prepared to assist in the review and approval of Balmoral Village in the Town of Collingwood. These guidelines should be read in conjunction with the Balmoral Village Urban Design Brief.

1.2 Location and Site Attributes

Balmoral Village is located within the existing built-up area of Collingwood and northwest of the Town's Regional Commercial Centre. The site is located within walking distance of the Town's major shopping areas, including the Town Centre and other services.



Key Plan

The property has approximately 325 metres of street frontage on the south side of Harbour Street and approximately 195 metres of frontage on the Georgian Trail, which is located adjacent to the south boundary of the property. The topography of the site is relatively flat with a grade that generally falls from west to east. A treed area occupies the southern portion of the property. The southeast property boundary abuts the Black Ash Creek corridor, which includes the channelized creek and walking trails.

To the north of the subject lands lie Harbour Street West and Cranberry Village. Cranberry Village is a medium density residential and resort residential community developed in the 1980's comprised primarily of one and two level town homes and apartment style units.

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Harbour Street West Looking West



Existing Cranberry Development

Georgian Trail, Black Ash Trail and Black Ash Creek are located immediately south of the subject lands. Vacant industrial lands and Collingwood's Regional Commercial Centre are located further to the south. The Regional Commercial Centre serves as Collingwood's largest retail shopping node and includes the Town's only major shopping centre and several large format retail stores.

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Looking North Along Dawson Drive



Black Ash Creek Corridor

Vacant resort commercial lands are located immediately east of the subject lands and the works yard for the Atoka Golf Course is located immediately west of the site. Atoka Golf Course, located northwest of the subject lands, is a public 18-hole course.



Surrounding Area

1.3 Policy Context

Official Plan Amendment No. 20 was adopted by the Council for the Town of Collingwood in September 2010 and approved by the County of Simcoe in February 2011. OPA 20 redesignates Balmoral Village from Industrial to "Residential", "Residential Mixed-Use" and "Environmental Protection" which permits the development of a range of housing options and may include a wide range of medical care facilities, personal support services and local commercial convenience uses.

OPA No. 20 requires that an Urban Design Brief (UDB) be prepared for the Mixed-Use Block. The Mixed-Use Block is comprised of Blocks 2, 3 and 4 on Plan 51M-1049 and includes 3 proposed seniors apartment and condominium apartment buildings, a retirement home, a Clubhouse, a Village Centre and a retail commercial and office building. The UDB has been prepared and submitted to the Town of Collingwood for review and approval.

OPA No. 20 also requires that "the architectural styles and forms of buildings, materials and details of any permitted buildings shall be compatible with and related to the architectural and urban design context of the site". This requirement was implemented through a conditions of draft plan of subdivision approval and in a

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Subdivision Agreement in which the owner has agreed to the submission of specific architectural guidelines and that the architectural style be consistent with the "Local Heritage Style" described in Collingwood's Urban Design Manual (UDM).

1.4 Objectives

It is the objective of this Guideline to achieve a harmonious design amongst the various elements that comprise the Balmoral Village development and maintain consistency with the Town of Collingwood Urban Design Manual (UDM).

The following objectives are proposed:

- to support the needs of the residents through specific design criteria and an appropriate mix of housing options suited for mature adults and seniors;
- to establish a high level of architectural design and detailing;
- to design buildings based on the "Local Heritage Style" theme as described in the Town's UDM;
- to provide a harmonious range of home models, elevations, sizes, roof forms, building materials and colours;
- to establish an attractive streetscape; and
- to ensure that building entrances are visible and prominent.

1.5 Terminology

Anticipated compliance of these guidelines is subject to the following terms:

- May, Encourage, or Recommend - it is desirable to comply with these Guidelines
- Should - it is highly encouraged and requires a good reason in order not to comply
- Must, Will, or Shall - compliance with the Guideline is mandatory

1.6 Administration

These Guidelines are intended to be applied throughout the period of development to ensure and maintain a high level of architectural quality. Minor amendments to the Architectural Design Guidelines to address specific conditions or concerns may be made in consultation with the Town of Collingwood.

The Zoning By-law formally regulates the size, height, location and massing of the buildings and represents a minimum level of design compliance. It is intended that the level of design will increase through the implementation of the design principles described in these Guidelines.

2.0 SITE DESIGN

The proposed site design has evolved since the initial concepts were prepared in support of the application to redesignate the subject lands from the former Industrial designation to the current Mixed-Use Residential, Residential and Environmental Protection designations. The Balmoral Concept Plan design is a product of numerous revisions and consultation with the Town and the public and additional inputs provided through the process of obtaining zoning and plan of subdivision approvals.

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2.1 Concept Plan



Balmoral Village Concept Plan

The Concept Plan has been configured to achieve the following design goals:

- a mature adult community that provides a well integrated and diverse range of housing options and commercial and personal service opportunities;
- a transition of residential densities that generally decrease from northeast to southwest;
- attractive and varied building facades including elevations that face Harbour Street West;
- a pedestrian oriented community with strong connections within the community and the surrounding area;
- provision of facilities that encourage an active and healthy lifestyle;
- provision of a Village Centre that:

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- will serve as a central meeting and community activity space;
- is located within easy walking distance of all Balmoral residents;
- is directly connected to the community Clubhouse;
- can be programmed to accommodate a range of potential uses and activities;
- is oriented to minimize the impacts of shadows;
- is oriented to allow sunlight penetration to maximize sunlight exposure during cooler months;
and
- is protected from prevailing winds.

The Balmoral Village Concept Plan proposes the following:

- **Block 1:** 96 semi-detached and streethome residential units
- **Block 2:** 140 senior residential condominium apartments
- **Block 3:** 2800 square metre 2 storey retail, medical services and office commercial building
- **Block 4:** 49 unit seniors rental apartments, 127 suite retirement residence, Clubhouse and outdoor Village Center amenity area accessible to all Balmoral Village residents
- **Block 5:** Stormwater Management
- **Block 6:** Environmental Protection Area

3.0 LOCAL HERITAGE STYLE ARCHITECTURAL THEME

The Town of Collingwood Urban Design Manual requires that residential buildings meet one of three architectural themes. Appendix A of the Town of Collingwood UDM sets out the characteristics that define the three themes. The characteristics that define the "Local Heritage Style" architectural theme are summarized as follows:

- **Massing:** Ranges from simple to complex incorporating projecting windows, balconies and porches.
- **Roofs:** Complex roof forms that are varied, roof lines that are not uniform, and steep roof slopes.
- **Fenestration/Openings:** Windows that are generally tall and narrow, doors with transoms and sidelights. Large "picture windows" are discouraged.
- **Materials:** Brick masonry, stone masonry, siding (clapboard, drop-siding, board and batten), and stucco.
- **Details:** Conform to various substyles (i.e., Victorian, Gothic Revival, Italianate, Mansard, French Empire or Queen Anne).
- **Specific Elements:**
 - Porches: Full frontage or entrance porch.
 - Bay Windows: Designed to reflect style of building.
 - Turrets/Towers: Topped with pyramidal roof if square, and containing windows
 - Balconies: May project past facade.

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- Front Entrances: Major feature with ornamental casings.
 - Dormers: Should be gabled and matching slopes
 - Chimneys: Brick or stone.
 - Brick details: Decorative detailing to be incorporated.
 - Pre-cast stone: Sills, keystones and belt courses are also to be used.
 - Window shutters: Should be half the width of the window and shaped to match the window
 - Soffits: Should extend beyond the walls not less than 12".
 - Skylights: Skylight should only be located on rear roof slopes.
- **Garages:** When attached, should conform to roof style of the main building, should not project more than 3.0 metres from the front wall and have a minimal impact on the facade by integrating into the main mass of the building. Garage doors should include windows and conform to the style of the main building.
 - **Decoration/Ornamentation:** Include decorative details in brick or stone and ornamentation (cornices, base/foundation plinths, porch eaves, gable edges, and windows/door surrounds).
 - **Colour:** Diverse range of colours from pale light colours to darker and dull colours. Bright colours are used on trim and decoration, and as accents.

Builders are encouraged to incorporate imaginative design solutions that draw from the elements that define the Local Heritage Theme to provide variety and interest.

4.0 PRIORITY LOT LOCATIONS

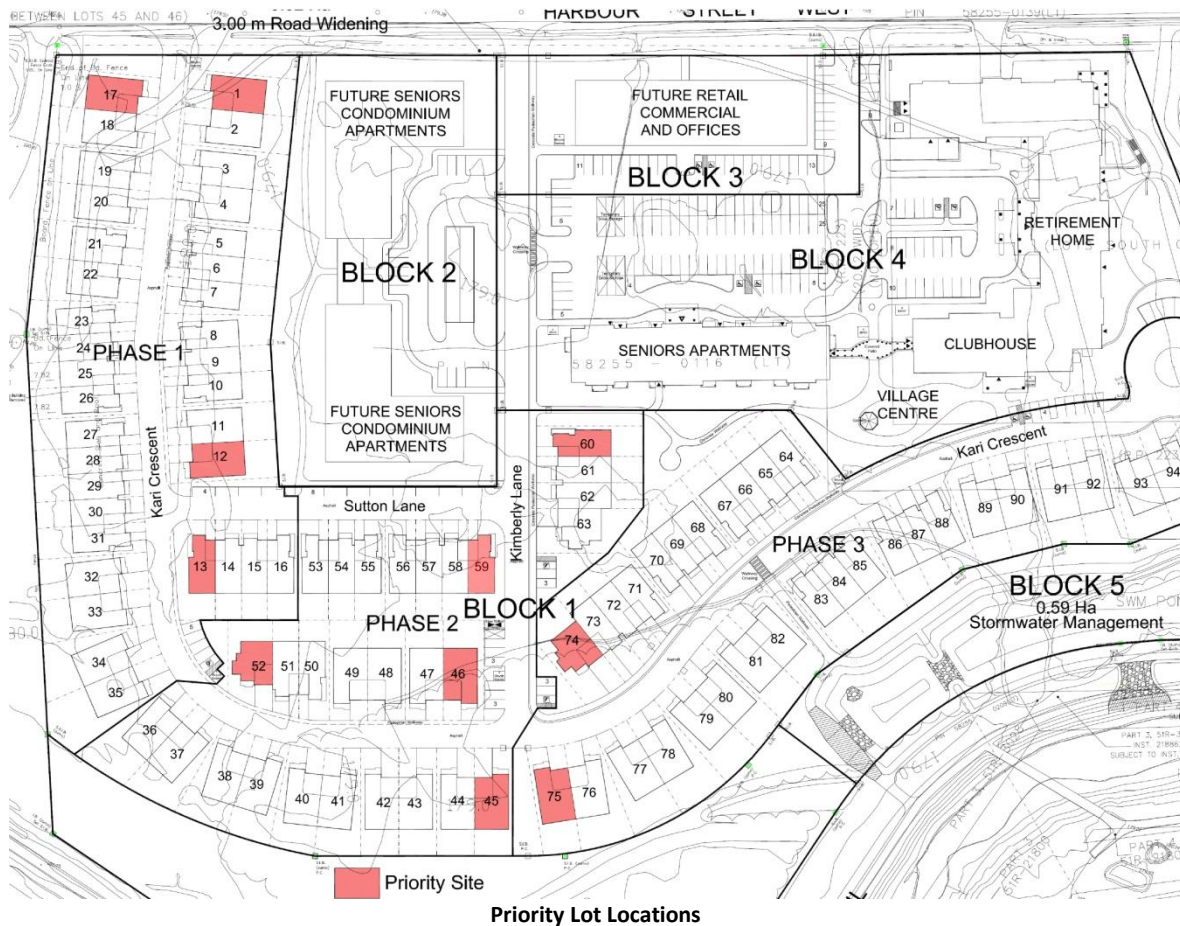
Section 5B of the UDM sets out guidelines for priority sites, which based on their location have a heightened potential to add to the visual and functional form of the community.

Given the location of Blocks 2, 3 and 4, and the height and mass of the buildings proposed in these blocks, they are by their nature prominent sites and the UDM guidelines should be applied. The plans to develop Block 4 have taken this into consideration by proposing a high level of architectural design for all buildings elevations and extensive landscaping throughout the block in keeping with the goals and objectives of Section 5B.

The same standards and level of detail should be incorporated in the development of Blocks 2 and 3 as well. Priority sites have been identified in Block 1 based on their location. These include end units that due to their location will be highly visible to the public. Units 45 and 75 have also been identified. They are located on either side of a view corridor that provides a view into the Environmental Protection Area from Kimberly Lane.

Although Balmoral Village will be developed on private roads, the principles that support the priority site guidelines are applicable in a private community setting as well.

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5.0 DESIGN CRITERIA FOR LOW DENSITY RESIDENTIAL DEVELOPMENT

Block 1 of Balmoral Village is comprised of 46 semi-detached and 50 townhouse residential units. The townhouse units are located in blocks ranging between 4 and 6 units per block. Block 1 will be developed by way of a vacant land plan of condominium and site plan approval. All internal roads will be private.

The theme for Balmoral Village Community is the Local Heritage Style as defined in the Town of Collingwood UDM. The architectural style of all buildings shall reflect the Local Heritage Style as described in Appendix A of the the Town of Collingwood Urban Design Manual.

5.1 Design Criteria

5.1.1 Model Repetition

The frequency at which identical homes designs are sited within a continuous streetscape shall be limited to ensure variety.

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For semi-detached homes, the same model and elevation, in combination shall not repeat within a single semi-detached block. The same colour package may be used with variations between the units. The same model and elevation in combination shall not be located adjacent to each other in different blocks. In no case is the same exterior colour package to be located adjacent to each other in separate blocks. A single shingle style and colour shall be used within a semi-detached block.

For townhomes, the same model and elevation in combination shall not be repeated within a single townhouse block. The same model, elevation and colour package in combination shall not be located adjacent to each other in different blocks. A single shingle style and colour shall be used within a townhouse block.

5.1.2 Building Setbacks

Semi-detached and townhouse blocks are encouraged to be setback within 1.0 metre of the minimum 6.0 metre setback measured from the front of the garage to the private roadway to create a continuous definition of roadway while allowing for the porches and other projections to create a varied and interesting streetscape.

5.1.3 Front Entrances

Front entrances and front porches should be designed to be visually prominent.

5.1.4 Driveways

The slope of the driveway between the garage and the street shall be kept to a minimum in accordance with the Town of Collingwood standards. Paired or grouped garages are encouraged to reduce the amount of front yard asphalt.

5.1.5 Grading

Units should be designed with the finished grading design appearing as natural as possible, avoiding forced and unnatural configurations. The number of risers at the front door should be minimized at the front of the unit and grading design for abutting units should be complementary and seamless

5.1.6 Garages

Garages should be integrated into the design and mass of the main building. Second storey walls that are flush with the garage are discouraged unless appropriate design treatment is incorporated.

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5.1.6 Garage Doors

A variety of garage door styles is encouraged. Glazing in overhead doors is required in all garage doors. Garage doors shall be sectional and paneled. Repetition of the same garage door style is discouraged and a variety of door styles per model elevations is encouraged.

5.1.7 Prominent Units

Certain units within Balmoral Village are considered prominent locations where a higher level of architectural detail is required due to their visual prominence in the community. Prominent units are those located adjacent to public right-of ways, units located adjacent to internal street intersections.

For dwellings considered prominent units, the location of the main entrance and covered porch is encouraged on the flankage side of the unit. Upgraded design treatments consistent with the front elevation is encouraged to the flanking elevation of all prominent units.

5.1.8 Roofs

Visible roof fronts are to have a typical range in pitch of 6:12 to 10:12 minimum for all semi-detached and townhouse dwellings.

The roof overhang shall be a minimum of 300mm (12"). Gas flues and plumbing vents should be not be located where possible, on the front facing slope to minimize their visual prominence. Such items should be blended in colour with the roof shingle. Skylights shall be located on the rear facing slope of the roof concealed by the ridge and shall be of the flat glass type.

5.1.9 Exterior Materials and Finishes

Each block of dwelling unit shall be finished in one of the 5 colour packages described in Section 5.2.3 of this document.

5.1.10 Window Design

Casement and/or single hung windows should only be used. Vertical sliders are not permitted. Vinyl or aluminum clad windows should only be used. Window which are set into wall panels comprising siding or other non masonry or non stone materials shall be cased within board surrounds.

5.2 Design Proposal

5.2.1 Semi-Detached Units

There are four model types proposed with two optional elevations for each model plus an option for a loft. This results in a total of 16 front elevation variations. Although the size of the units vary, all units have a uniform width to permit every semi-detached unit to be matched with any other unit. This provides the greatest flexibility to respond to market demand, and will help create a more diverse and interesting streetscape.

All units will be finished with a combination of stone masonry, horizontal and/or vertical composite wood siding, and/or shakes. The amount of stone masonry depends on the model and elevation type. All roofs will be finished with asphalt shingles. Five colour packages are proposed. Each semi-detached block will be finished in a single roof shingle colour. In addition, rear and side elevations will be finished in matching colours. Each block will have one colour package. Left and right units in the same semi-detached block will have variations within the same colour package.

5.2.2 Townhouse Units

Four townhouse models types are proposed with two optional elevations for each model. This results in a total of 8 front elevation variations. With the exception of TH Model 4, the models are of the same width to allow a mixing of units within a single townhouse block of units. TH Model 4, which has a 2-car garage, has been designed to accommodate an irregular shaped lot (lots 52, 63 and 74).

The units will be finished with the same materials as the semi-detached and with the same colour packages and detailing to provide continuity between the two different unit types. Each townhouse block will be finished in a single colour package and single roof shingle colour. Rear elevations will be finished in matching colours.



SD-3 ELEVATION "A"
NO LOFT

RENDERING 1

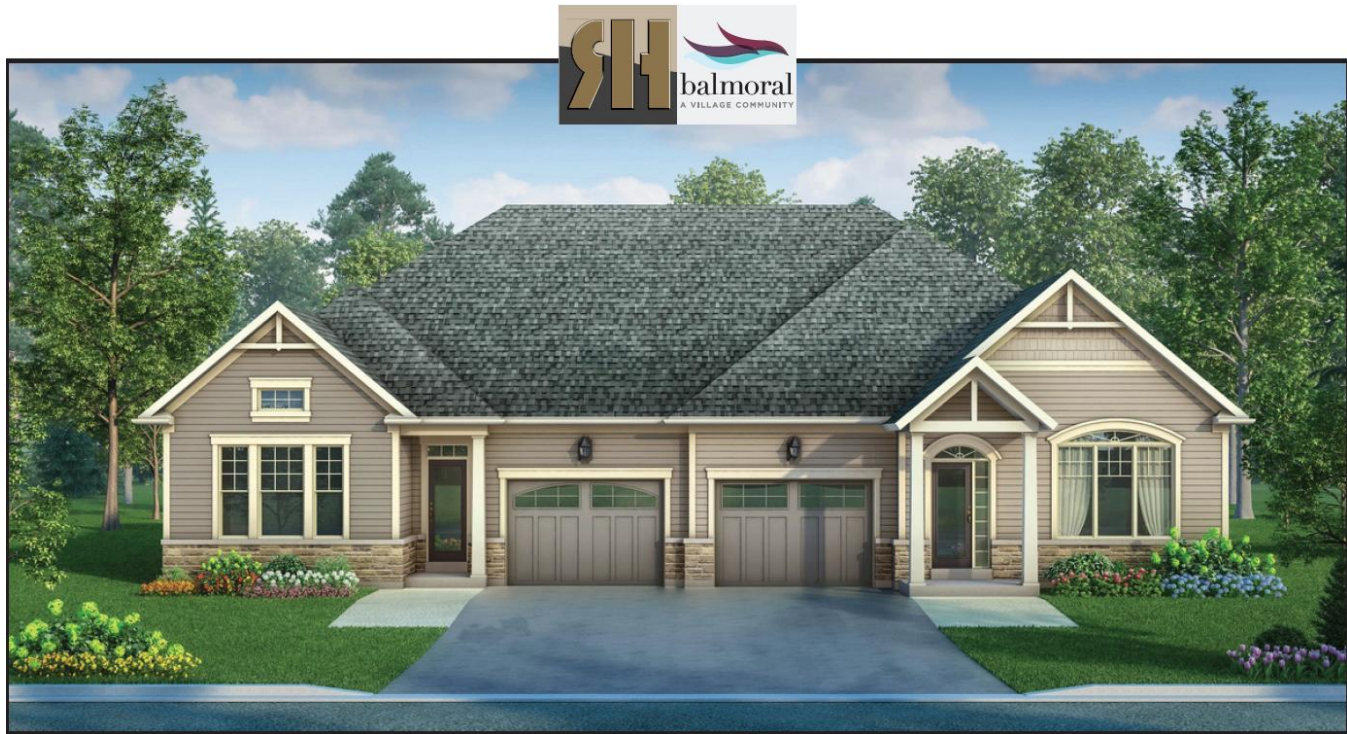
SD-1 ELEVATION "A"
NO LOFT



SD-4 ELEVATION "B"
WITH LOFT

RENDERING 2

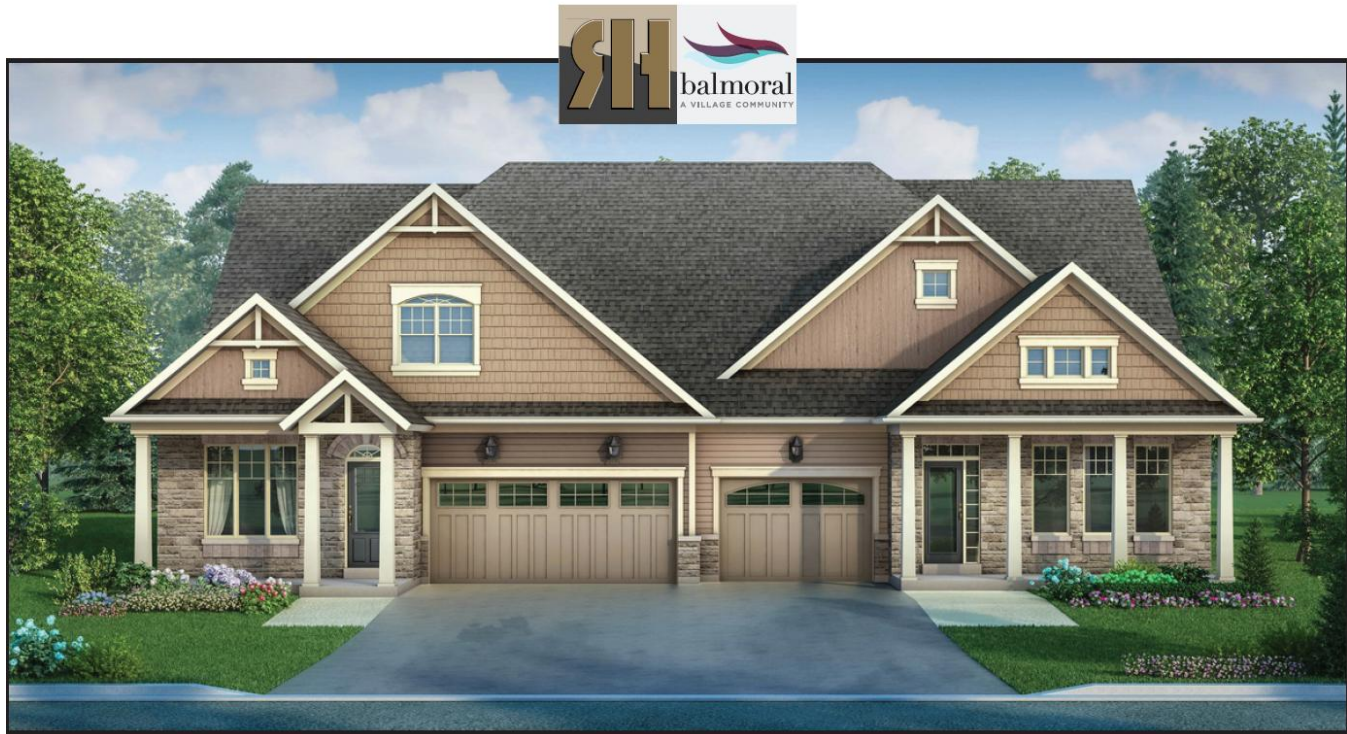
SD-1 ELEVATION "B"
WITH LOFT



SD-4 ELEVATION "A"
NO LOFT

RENDERING 3

SD-5 ELEVATION "A"
NO LOFT



SD-3 ELEVATION "B"
WITH LOFT

RENDERING 4

SD-5 ELEVATION "B"
WITH LOFT



TH-3 ELEVATION "A" TH-2 ELEVATION "A" TH-1 ELEVATION "A" TH-4 ELEVATION "A"

RENDERING 5



TH-4 ELEVATION "B" TH-1 ELEVATION "B" TH-2 ELEVATION "B" TH-3 ELEVATION "B"

RENDERING 6



SD-1 ELEVATION "B"
WITH LOFT

RENDERING 7

SD-5 ELEVATION "B"
WITH LOFT



TH-3 ELEVATION "B"

TH-2 ELEVATION "B"

TH-1 ELEVATION "B"

TH-4 ELEVATION "B"

RENDERING 8



TH-4 ELEVATION "A" TH-1 ELEVATION "A" TH-2 ELEVATION "A" TH-3 ELEVATION "A"

RENDERING 9

5.2.3 Semi-Detached and Townhouse Finishing and Colour Packages



Exterior Colour Packages



Client: ROYALTON HOMES INC. 10114 HWY 26, UNIT 4 COLLINGWOOD, ON. L9Y 3Z1			Project: BALMORAL VILLAGE TOWN OF COLLINGWOOD C1513 Date Issued: 8-Sep-15 Revised:			Page 01 of 01	
Item	Manufacturer	Package #1	Package #2	Package #3	Package #4	Package #5	Package #6
Roof Shingles	CERTAINTED LANDMARK & LANDMARK PLUS	MOIRE BLACK	DRIFTWOOD	GEORGETOWN GREY	HEATHER BLEND	WEATHERWOOD	
Fascia/Soffit/Gutter	KAYCAN	LINEN/CHAMPAGNE	LINEN/CHAMPAGNE	LINEN/CHAMPAGNE	LINEN/CHAMPAGNE	LINEN/CHAMPAGNE	
Frieze/Corner/Accent Trim	KWP	ALMOND	ALMOND	ALMOND	ALMOND	ALMOND	
Gable Accent	BENJAMIN MOORE	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	
Stone	NG STONE	CATHEDRAL BLEND	MAPLE BLEND	MERLOT BLEND	INDIANA BLEND	OLD ONTARIO GREY	
Vertical Siding	KWP	THUNDER BLUE	THUNDER BLUE	ACADIA	SIERRA	PINE	
Front Elevation	PROVINCIAL DOUBLE 5"	THUNDER BLUE	THUNDER BLUE	ACADIA	SIERRA	PINE	
Horizontal Siding	KWP	RED WINE (LAURENTIAN B-127)	CACTUS	ACADIA RUSTIC	SIERRA RUSTIC	KHAKI	
Sides & Rear Elevation	KWP	COUNTRY RED	GRANITE	KHAKI	YELLOW STONE RUSTIC	PEARL GREY	
Horizontal Siding	KWP	COUNTRY RED	GRANITE	KHAKI	YELLOW STONE RUSTIC	PEARL GREY	
Shake	HAMPTON SHAKE	ACADIA	PINE	PINE	YELLOW STONE	COFFEE	
Front Door	BENJAMIN MOORE	GRAY (2121-10)	NORTH SEA (R-9979)	ASCOT BROWN (R-9987)	TUXEDO (R-9983)	SOAPSTONE (R-9994)	
Garage Door	BENJAMIN MOORE	STEEL WOOL (2121-20)	TROUT GRAY (2144-20)	ASPHALT (CC-548)	STAMPEDE (CC-540)	TAIGA (CC696)	
Vinyl Windows/ Frames	JELDWEN	FRENCH VANILLA	FRENCH VANILLA	FRENCH VANILLA	FRENCH VANILLA	FRENCH VANILLA	
Garage Door Frame	BENJAMIN MOORE	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	
Railing & Picket (if appl.)	BENJAMIN MOORE	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	
Post	BENJAMIN MOORE	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	SEBRING WHITE (OC-137)	
576 Bryne Dr. Unit D, Barrie, Ontario L4N 9Y6 Tel:705-733-8181 Fax:733-0227 www.renaissancenouveau.com mail@renaissancenouveau.com							

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5.3 Compliance with Local Heritage Style Theme

The following summarizes how the proposed design of the semi-detached and townhouse units comply with the Local Heritage Style theme.

- Use of full frontal or entrance porches on all front elevations
- Roof forms that are varied and roof lines that are not uniform
- Roofs have a relatively steep pitch (6:12 to 10:12)
- Windows that are generally tall and narrow (no large "picture windows")
- Exterior front doors generally include transoms and/or sidelights
- Exterior finishes include a combination of stone masonry, composite wood siding and shakes
- Front entrances and windows include decorative stone details, keystones and sills
- Dormers are gabled and matching slopes
- Garages are integrated into the main mass of the building and do not project more than 3.0 metres from the front wall
- All garage doors include windows that conform to the style of the main building.
- Colours are pale in nature with brighter colours used on the trim and decoration.

6.0 DESIGN CRITERIA FOR MIXED USE DEVELOPMENT

6.1 Design Criteria

6.1.1 Facades

Projections and recesses in the facade that serve to break the plane of the building face and provide visual interest through detailing, cast shadows and highlights shall be incorporated. Stone and siding, together with horizontal banding to differentiate floor plates and define the base, middle, and top of the building shall be used. The upper floors shall be differentiated from the ground floor through a change in materials, colour, and window size.

6.1.2 Exterior Materials and Finishes

Exterior finishes shall include a combination of stone masonry, and composite board siding. The same exterior finishes and colours shall apply to all elevations of a building. Colours shall be complimentary to colours used elsewhere in the Balmoral Village community. All ground floors shall be finished in stone masonry.

6.1.3 Entrances, Porches and Balconies

Use of porches and balconies are encouraged. All main entrances shall be covered and made to be distinguishable from other facade elements.

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6.1.4 Windows

Windows that are generally tall and narrow (no large "picture windows") are encouraged. All window should be proportioned to the size of the wall with sufficient space in between them to set them apart. The only exception are storefront windows located at the ground floor of commercial uses. Recessed windows that are well defined within the facade through the use of decorative trim, projecting sills and lintels are encouraged. Windows should be symetrically placed across the facade and align with windows on floors above and below.

6.1.5 Roofs

Different roof heights to break the horizontal plane on the upper portion of the building shall be incorporated to modulate the roof line. Parapet walls shall be used on flat roof sections.

6.2 Design Proposal

Block 4 of Balmoral Village is comprised of a 4 storey 49 unit senior residential rental apartments, a 4 storey 127 suite retirement residence, Clubhouse and outdoor Village Centre. It is proposed that the apartment building and the retirement residence/clubhouse share a common architectural style including the finishes, complimentary colours, and architectural details that conform to the "Local Heritage Style" architectural theme.

The following design elements have been incorporated:

- Projections and recesses in the facade that align with individual roof structures that serve to break the plane of the building face and provide visual interest through detailing, cast shadows and highlights.



North and East Elevations (Viewed from Harbour Street West)

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- Use of parapet walls and individual roof structures to break the horizontal plane on the upper portion of the building and modulate the roof line.
- Use of cornices moulding and corbels consistent with the Local Heritage Style of the building.
- Use of cresting at building projections and raised parapets to further articulate the roof line.



Parapet Walls, Cornice and Decorative Railings



East Elevation of Retirement Residence

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- Use of building materials that are unified in appearance with complimentary colours.
- Use of a single vertical colour on the building projections to help break up the length of the building.
- Introduction of porches and balconies, which add variety and interest. This includes a porch/balcony at the northeast corner adjacent to the Harbour Street West, as well as the southwest corner overlooking the Village Centre, and at each of the senior apartment units.



North Elevation of Apartment Building

- Windows that are symetrically placed across the facade and align with windows on floors above and below.
- Larger windows are provided on the ground and lower levels to provide more natural light.



West Elevation of Retirement Residence

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- The use of stone, and siding together with horizontal banding to differentiate floor plates and define the base, middle and top of the building.
- The upper floors are differentiated from the ground floor through a change in materials, colour, and window size.
- Use of vertical trim at the corners to provide additional articulation of the facade.
- Use of a covered drop-off and building entrances that are distinguishable from other facade elements.



Covered Entrance to Retirement Residence



Covered Entrance to Apartment Building

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Retirement Home and Seniors Apartment Finishing and Colours

Block 4 Exterior Finishes		
	Material	Colour
Retirement Residence		
First Floor	NG Stone L Series Cultured Stone	Old Ontario Grey
Second & Third Floors	Siding	Timber Bark
Fourth Floor	Siding	Monterey Taupe
Window Trim		White
Seniors Apartment		
First Floor	NG Stone L Series Cultured Stone	Old Ontario Grey
Second & Third Floors	Siding	Khaki Brown
Fourth Floor	Siding	Cobblestone
Window Trim		White



Retirement Residence Colours



Seniors Apartment Colours

5.3 Compliance with Local Heritage Style Theme

The following summarizes how the proposed design of the retirement home and seniors apartment comply with the Local Heritage Style theme.

- Introduction of porches and balconies, which add variety and interest. This includes a porch/balcony at the northeast corner adjacent to the Harbour Street West and southwest corner overlooking the Village Centre and at each seniors apartment unit.
- Use of a covered drop-off and building entrances that are distinguishable from other facade elements.
- Windows that are proportioned to the size of the wall with sufficient space in between them to set them apart as well as larger ground floor and lower level windows to provide more natural light.
- Recessed windows that are well defined within the facade through the use of decorative trim, projecting sills and lintels.
- Use of cornices and corbels consistent with the Local Heritage Style of the building.
- Roof forms that are varied and roof lines that are not uniform through the incorporation of raised parapets and cresting.
- Windows that are generally tall and narrow (no large "picture windows").
- Exterior finishes include a combination of stone masonry, and siding that provide texture and dimension.
- Colours which vary between buildings, but are complimentary, are pale in nature with brighter colours used on the trim and decoration.